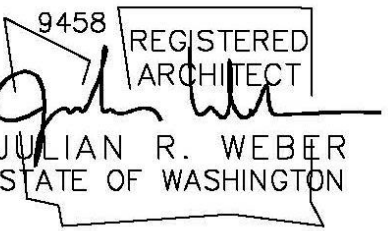




JULIAN WEBER ARCHITECTS, LTD

1257 S King St
Seattle, WA 98144
206.953.1305

www.jwaseattle.com



COOMBS DEVELOPMENT

4701 SW ADMIRAL WAY, SUITE 385
SEATTLE, WA 98116
P 206.420.7672

Coombes Residence

6221 83rd Pl SE
Mercer Island

Coombes Residence

6221 83rd Pl SE
Mercer Island

PROJECT INFORMATION

MUP #
BP #

PROJECT DESCRIPTION:
DEMO EXISTING SFR; CONSTRUCT NEW SFR WITH ATTACHED 2-CAR GARAGE AND 1 OPEN PARKING STALL

LEGAL DESCRIPTION:
LOT 22, BLOCK 1, MERCER VISTA, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 67 OF PLATS, PAGE 1, RECORDS OF KING COUNTY, WASHINGTON.

TAX # :
545420-0220

PROJECT TEAM

OWNER/ APPLICANT :
COOMBS DEVELOPMENT
4701 SW ADMIRAL WAY, SUITE 385
SEATTLE, WA 98116
P 206.420.7672

STRUCTURAL ENGINEER :
MALSAM TSANG STRUCTURAL ENGINEERING
122 S JACKSON ST #210
SEATTLE, WA 98104
P 206.789.6038

ARCHITECT/PROJECT CONTACT:
JULIAN WEBER ARCHITECTS, LTD
1257 S KING ST
SEATTLE, WA 98144
P 206.953.1305

LANDSCAPE ARCHITECT :
DEVIN PETERSON
ROOT OF DESIGN, LLC
7104 265TH ST NW, SUITE #218
STANWOOD, WA 98292
P 206.491.9545

SURVEYOR :
TERRANE
10801 MAIN STREET, SUITE 102
BELLEVUE, WA 98004
P 425.458.4488

CIVIL ENGINEER :
HAN PHAN
5130 SOUTH 146TH LANE
SEATAC, WA 98188
P 206.229.6422
PBG

PROJECT DATA

ZONE: R-9.6

LOT AREA: 10,248 SF

FLOOR AREA RATIO:
SEE SHEET A0.2 FOR DIAGRAM

GFA TABLE			
FLOOR AREA LABEL	GFA	CHARGEABLE FLOOR AREA	EXEMPT PER
Basement	314 SF	314.36 SF	
Basement	808 SF	0.00 SF	MICC Title 19 -Appendix B
covered deck	333 SF	332.69 SF	
Garage	619 SF	619.44 SF	
Level 1	1,371 SF	1,371.30 SF	
Level 2	1,439 SF	1,438.74 SF	
stairs	107 SF	0.00 SF	MICC 19.02.020.D.2.c
TOTAL	4,992 SF	4,076.52 SF	

SETBACKS PER MIIC 19.02.020.C:

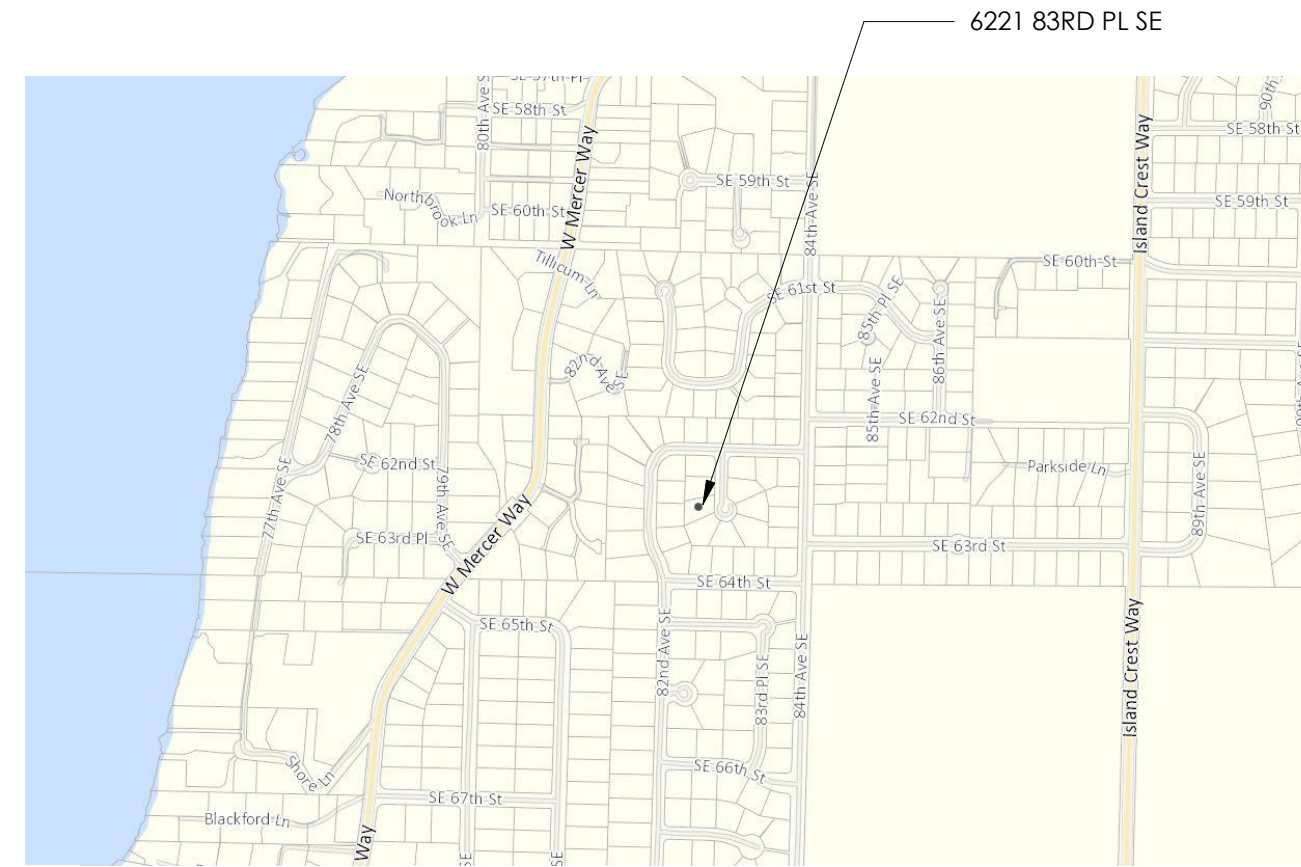
	REQUIRED	ACTUAL
FRONT	20'-0"	22'-7 1/2"
SIDE, NORTH	10'-0"	11'-0"
SIDE, SOUTH (>25' HEIGHT)	10'-0"	10'-8 1/2"
SIDE, SOUTH (<15' HEIGHT)	5'-0"	7'-6"
REAR	25'-0"	36'-10 1/4"

STRUCTURE HEIGHT LIMIT PER PER MIIC 19.02.020.E:

30' MAXIMUM HEIGHT
(SEE SHEET A1.2 FOR HEIGHT CALCULATION)

LOT COVERAGE PER MIIC 19.02.020.F:

EXISTING = 3,364 SF
PROPOSED = 3,995.21 SF
(SEE SHEET A1.2 FOR CALCUALTION)



VICINITY MAP

SCALE: N.T.S.

ARCHITECTURAL NOTES:

(THE FOLLOWING APPLY UNLESS SHOWN OTHERWISE ON THE PLANS)

- ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE INTERNATIONAL RESIDENTIAL CODE (2018 EDITION) WITH MERCER ISLAND AMENDMENTS.
- CONTRACTOR: SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED.
- CONTRACTOR: SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS.
- CONTRACTOR: SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE WORK.
- DRAWINGS: INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED. SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT/DESIGNER.
- ALL WOOD PLATES: IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED WITH AN APPROVED PRESERVATIVE. PROVIDE 2 LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER BETWEEN UNTREATED LEDGERS, BLOCKING, ETC., AND CONCRETE OR MASONRY.
- PRESSURE TREATED LUMBER: ALL FASTENERS AND CONNECTORS THAT ARE IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED WITH A MINIMUM COATING OF G90 (.90oz/sf) PER ASTM A123 AND/OR ASTM A153. 304 OR 316 STAINLESS STEEL MAY BE SUBSTITUTED IN LIEU OF GALVANIZED PRODUCTS. NO STAINLESS STEEL PRODUCTS SHALL COME IN CONTACT WITH GALVANIZED PRODUCTS.
- ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO WASHINGTON STATE ENERGY CODE (2018 EDITION).

- * ALL INTERIOR WALLS TO BE 2x4 @ 24" O.C. (U.N.O.)
- * ALL EXTERIOR WALLS 2x6 PER STRUCTURAL
- * HEADERS PER STRUCTURAL
- * WINDOW SIZES ARE NOMINAL ROUGH OPENING, WIDTH AND HEIGHT.
- * PROVIDE FIREBLOCKING AT ALL PLUMBING OPENINGS.
- * PROVIDE SOLID BLOCKING OVER SUPPORTS.
- * SEISMIC ANCHORAGE AND STRAPPING OF WATER HEATERS SHALL BE IN ACCORDANCE WITH SECTION 507.2 OF THE UNIFORM PLUMBING CODE.
- * PROVIDE OUTDOOR COMBUSTION AIR FOR FURNACE AND WATER HEATER PER IRC G2407.6.

NO SEDIMENT SHALL BE TRACKED INTO THE STREET OR ONTO PAVED SURFACES. SEDIMENT SHALL BE REMOVED FROM TRUCKS AND EQUIPMENT PRIOR TO LEAVING THE SITE. IN THE EVENT OF FAILURE OF EROSION CONTROL SYSTEM RESULTING IN SEDIMENT BEING TRACKED ONTO PAVED SURFACES, THE CONTRACTOR SHALL IMMEDIATELY IMPLEMENT MEASURES TO CORRECT THE SITUATION, AND STREET SWEEPING SHALL BE EMPLOYED ON AN EMERGENCY BASIS. IF STREET SWEEPING VEHICLES ARE UTILIZED, THEY SHALL BE OF THE TYPE THAT ACTUALLY REMOVES SEDIMENT FROM THE PAVEMENT.



LIST OF DRAWINGS

GENERAL	
A0.0	COVERSHEET
A0.1	SITE PLAN
SURVEY	
V1	TOPOGRAPHIC SURVEY
CIVIL	
C1	TREE PROTECTION PLAN TSEC-PLAN
C2	TREE PROTECTION PLAN TSEC-PLAN
C3	TSEC DETAILS
C4	STORMWATER/UTILITY PLAN AND DETAILS
C5	STORMWATER/UTILITY PLAN AND DETAILS
C6	DETENTION PIPE SYSTEM DETAILS
C7	DETAILS
LANDSCAPE	
L1	REPLACEMENT TREE PLAN
L2	LANDSCAPE DETAILS & NOTES
ARCHITECTURAL	
A1.2	SITE DIAGRAMS
A1.3	CRITICAL AREAS

MUP #

BP #

Δ	Date	Description
	06.02.2022	Critical Area Submittal BP Submittal

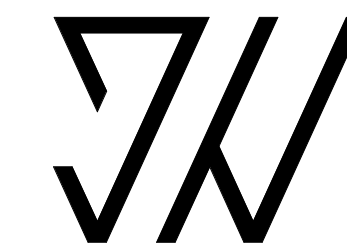
COVERSHEET

Scale **As indicated**

Date **04/29/2022**

A0.0

Project Number **JWA#611**



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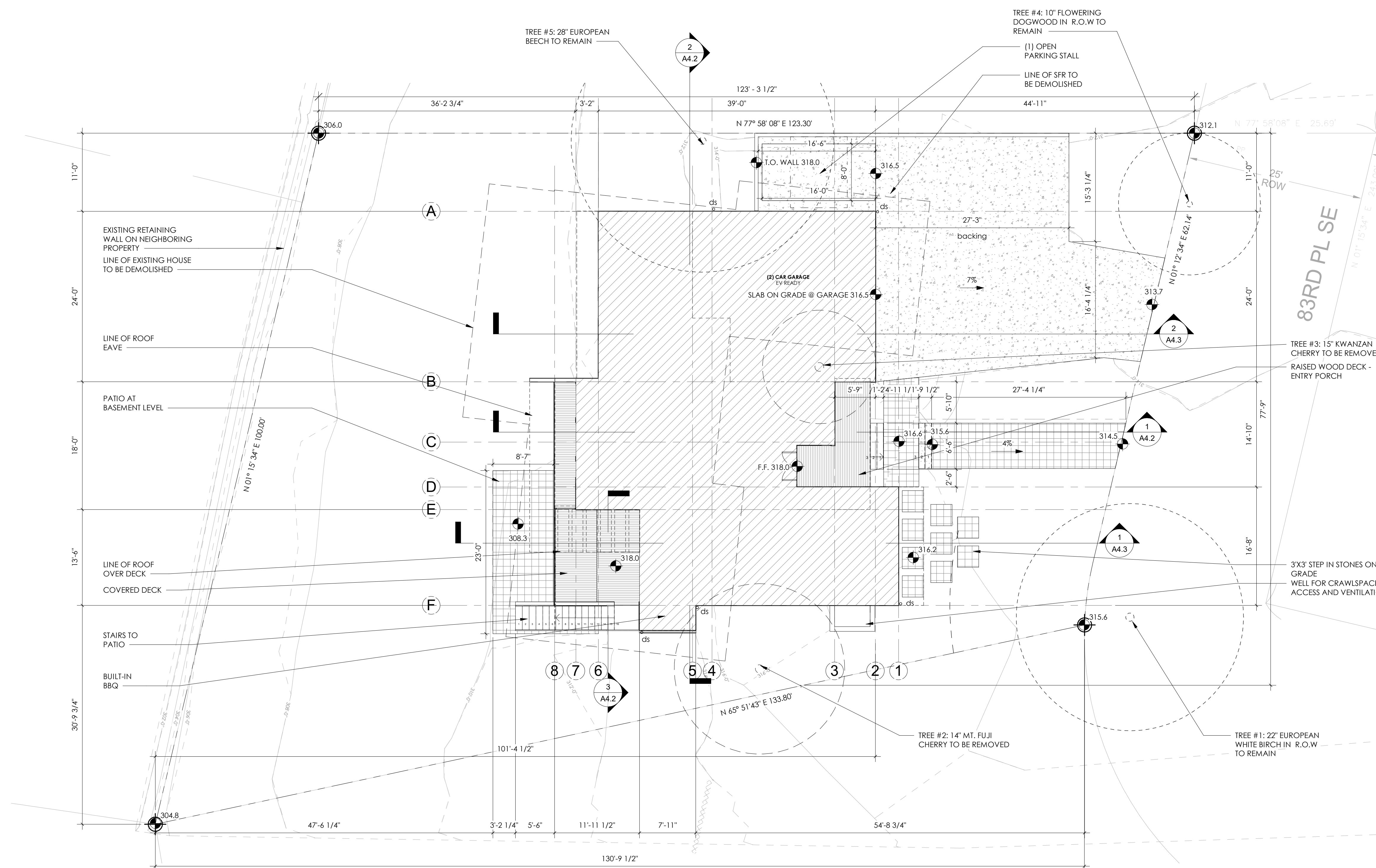
9458 REGISTERED ARCHITECT
JULIAN R. WEBER
STATE OF WASHINGTON

COOMBS DEVELOPMENT

4701 SW ADMIRAL WAY, SUITE 385
SEATTLE, WA 98116
P 206.420.7672

Coombes Residence

6221 83rd Pl SE
Mercer Island



1 Site Plan

SCALE: 1/8" = 1'-0"

*PLEASE REFERENCE 1/A1.3 FOR AVERAGE BUILDING CALCULATIONS.
**PLEASE REFERENCE 1/A0.2 FOR BASEMENT FLOOR AREA CALCULATIONS.

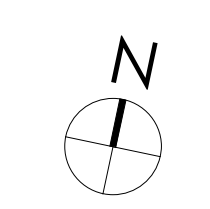
MUP #		
BP #		
Δ	Date	Description
	06.02.2022	Critical Area Submittal
		BP Submittal

SITE PLAN

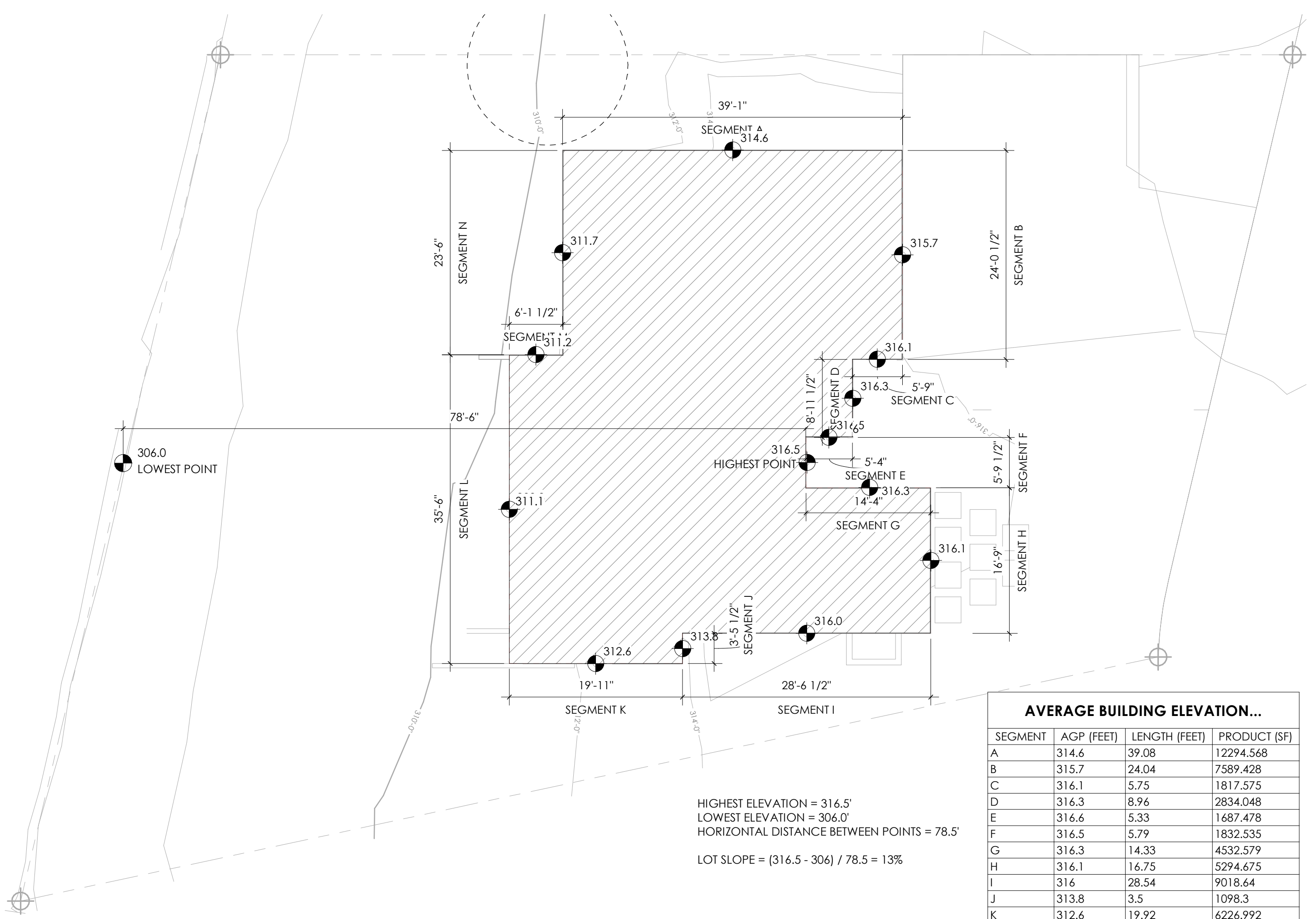
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Date 04/29/2022

A0.1

Project Number JWA#611



6/2/2022 3:24:06 PM

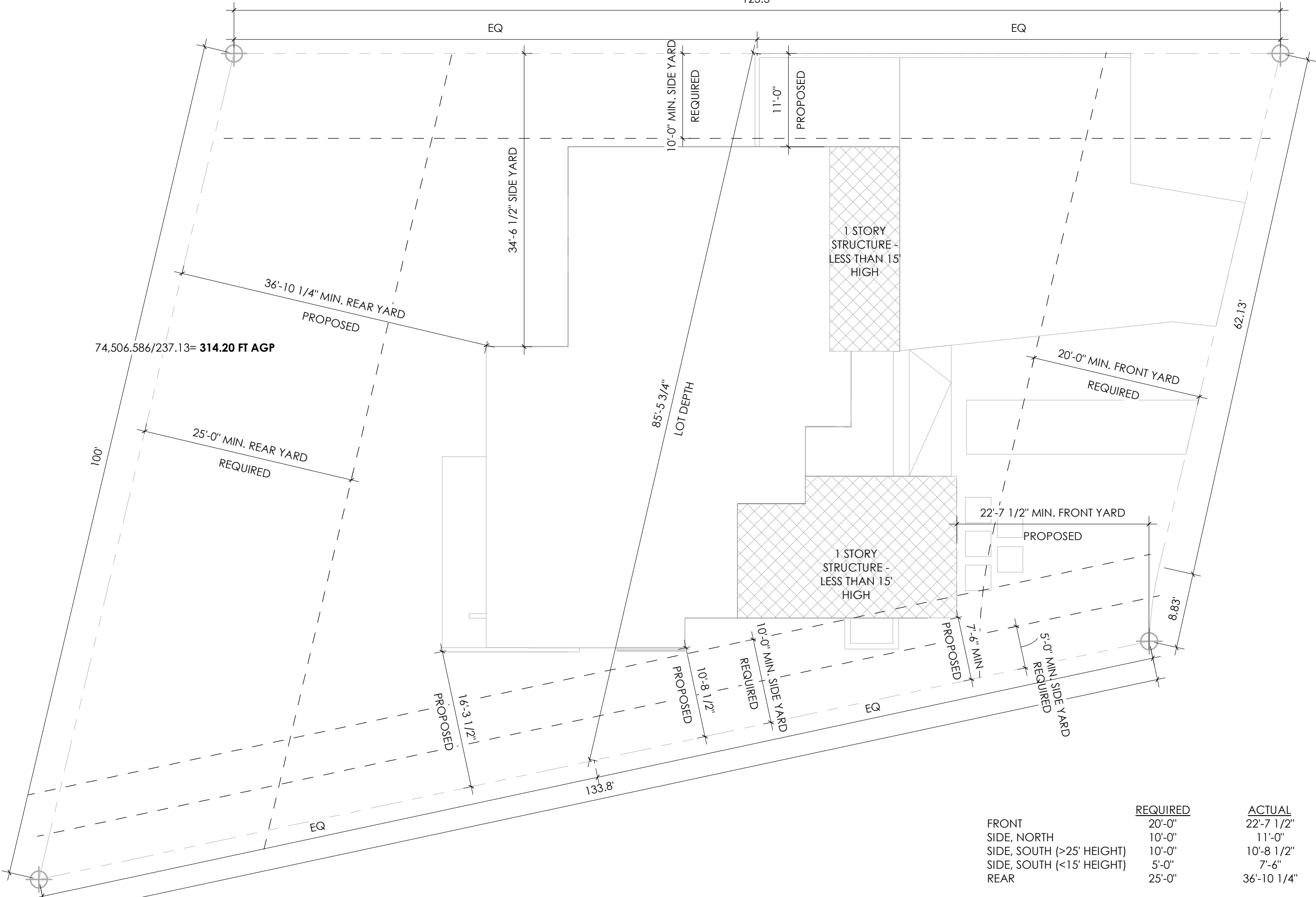


AVERAGE BUILDING ELEVATION...

SEGMENT	AGP (FEET)	LENGTH (FEET)	PRODUCT (SF)
A	314.6	39.08	12294.568
B	315.7	24.04	7589.428
C	316.1	5.75	1817.575
D	316.3	8.96	2834.048
E	316.6	5.33	1687.478
F	316.5	5.79	1832.535
G	316.3	14.33	4532.579
H	316.1	16.75	5294.675
I	316	28.54	9018.64
J	313.8	3.5	1098.3
K	312.6	19.92	6226.992
L	311.1	35.5	11044.05
M	311.2	6.14	1910.768
N	311.7	23.5	7324.95
	4404.6	237.13	74506.586

ABE = 74506.586 / 237.13 = 314.20'

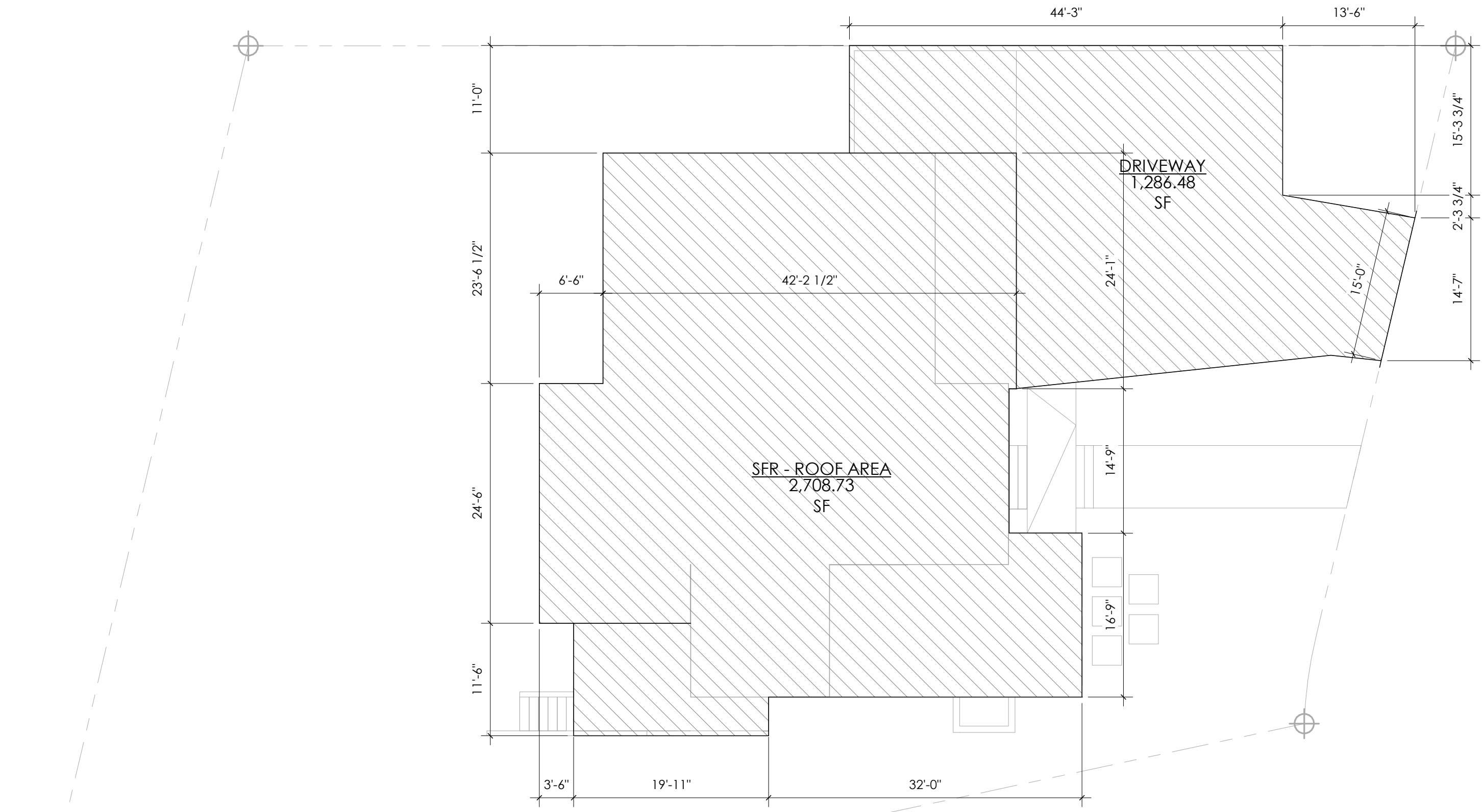
1 Diagram Average Building Elevation
SCALE: 1" = 10'-0"



	REQUIRED	ACTUAL
FRONT	20'-0"	22'-7 1/2"
SIDE, NORTH	10'-0"	11'-0"
SIDE, SOUTH (>25' HEIGHT)	10'-0"	10'-8 1/2"
SIDE, SOUTH (<15' HEIGHT)	5'-0"	7'-6"
REAR	25'-0"	36'-10 1/4"

TOTAL SIDE YARD WIDTH PER MIC 19.02.020.C.1c = 15'-0"
TOTAL PROPOSED MINIMUM SIDE YARD TOTAL = 18'-6"

2 Diagram Setbacks
SCALE: 1" = 10'-0"



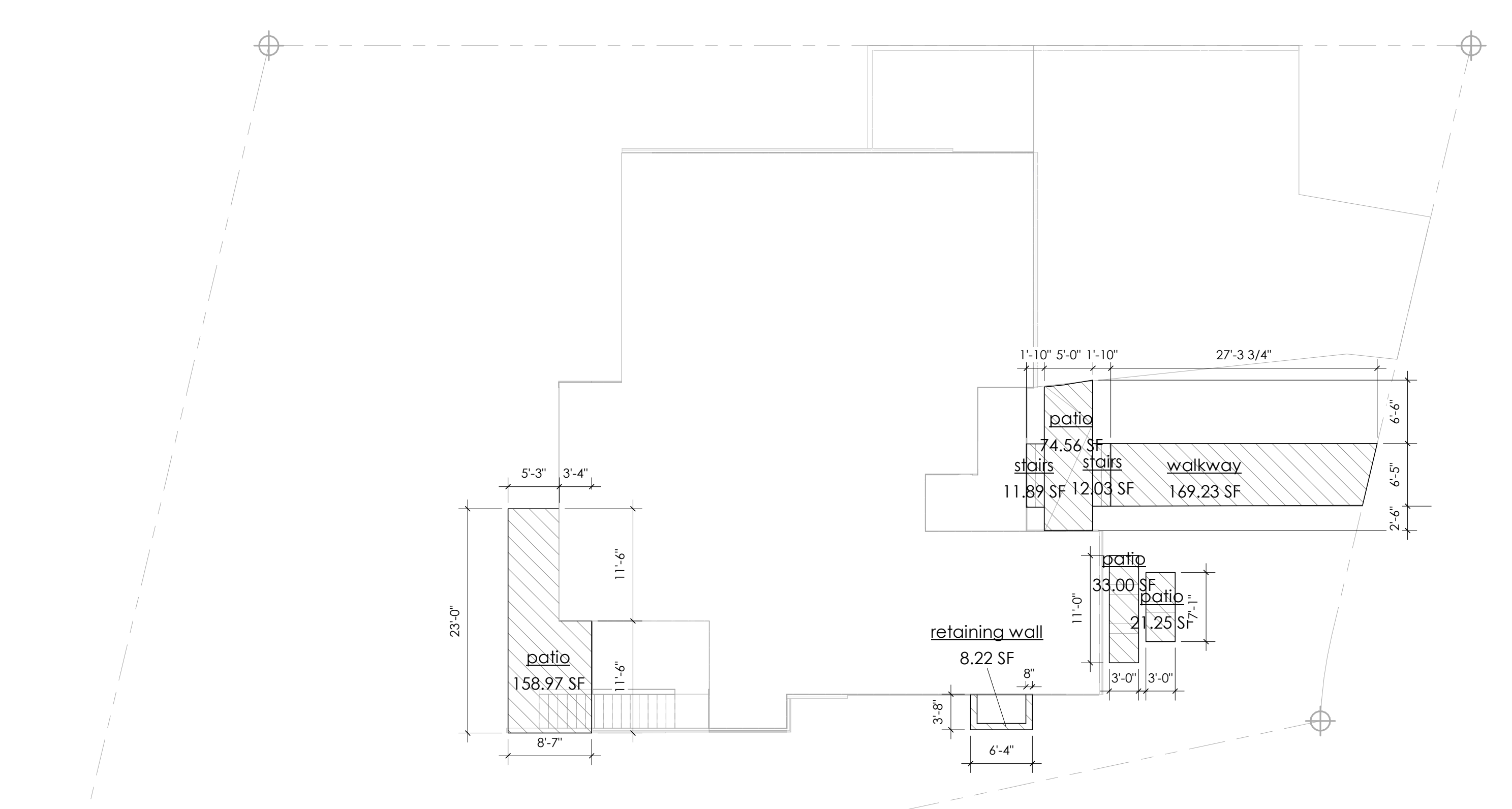
LOT COVERAGE SUMMARY

Name	Area
DRIVEWAY	1,286.48 SF
SFR - ROOF AREA	2,708.73 SF
	3,995.21 SF

LOT COVERAGE ALLOWED FOR LOTS WITH LESS THAN 15% SLOPE = 40%
LOT SIZE = 10,248 SF x 40% = 4,113.6 SF ALLOWED
PROPOSED = 3,995.21 SF. **COMPLIES**

EXISTING LOT COVERAGE = 3,364 REMOVED

3 Diagram Lot Coverage
SCALE: 1" = 10'-0"



HARDSCAPE SUMMARY

Name	Area
patio	287.77 SF
retaining wall	8.22 SF
stairs	23.92 SF
walkway	169.23 SF
	489.15 SF

HARDSCAPE ALLOWED = 9%
LOT SIZE = 10,248 SF x 9% = 925.56 SF ALLOWED
PROPOSED = 489.15 SF. **COMPLIES**

EXISTING HARDSCAPE = 423 SF - REMOVED

4 Diagram Hardscape
SCALE: 1" = 10'-0"

MUP #
BP #
Date
Description

Date	Description
06.02.2022	Critical Area Submittal BP Submittal

SITE DIAGRAMS

Scale 1" = 10'-0"
Date 04/29/2022

A1.2
Project Number JWA#611



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9458 REGISTERED ARCHITECT
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Coombes Residence

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Mercer Island

MUP #

BP #

Δ Date Description

06.02.2022 Critical Area Submittal

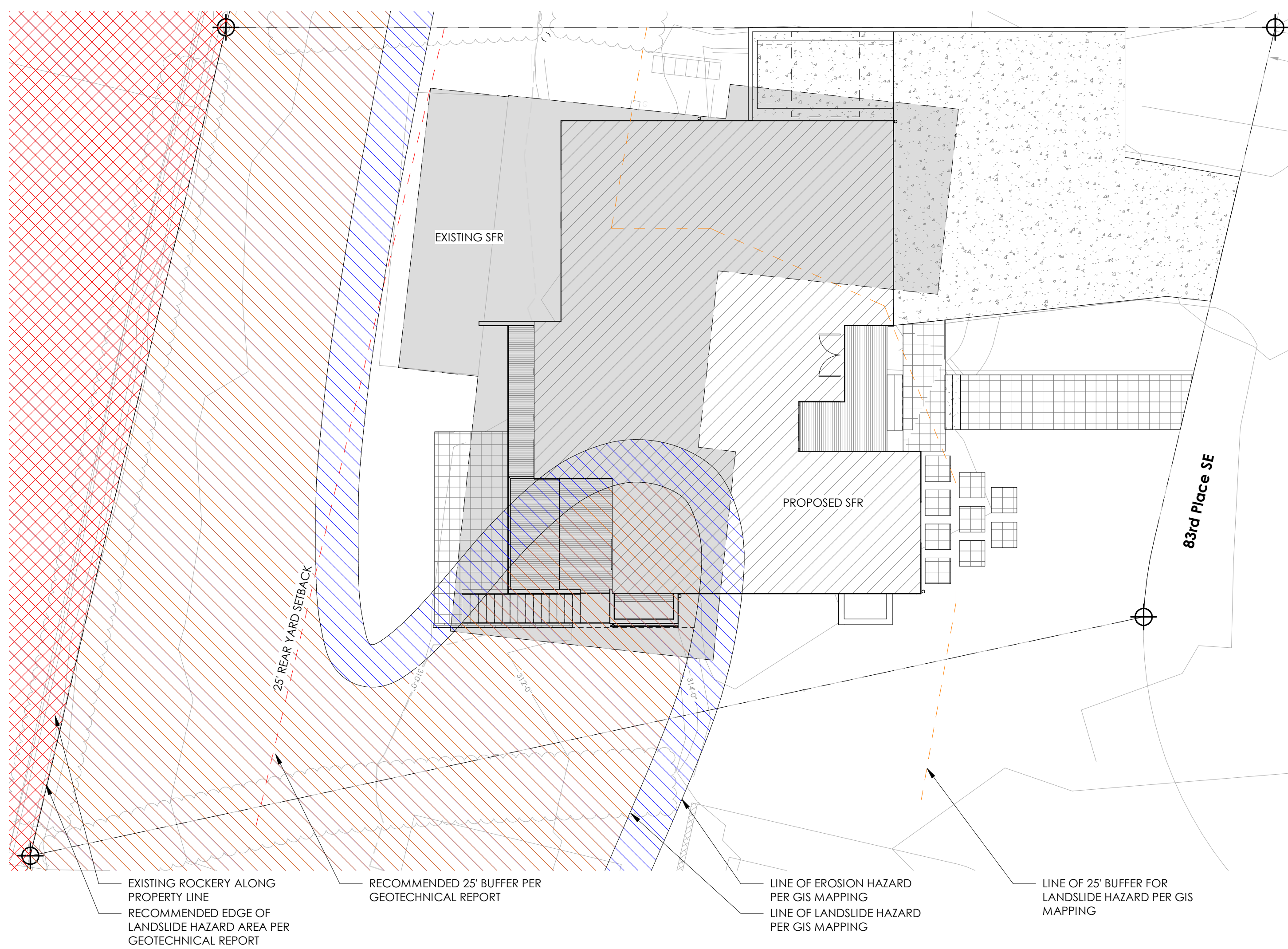
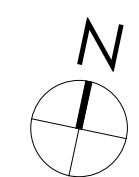
CRITICAL AREAS

Scale 1" = 10'-0"

Date 04/29/2022

A1.3

Project Number JWA#611



1 CRITICAL AREAS

SCALE: 1" = 10'-0"

TOPOGRAPHIC & BOUNDARY SURVEY

LEGAL DESCRIPTION

LOT 22, BLOCK 1, MERCER VISTA, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 67 OF PLATS, PAGE 1, RECORDS OF KING COUNTY, WASHINGTON.

BASIS OF BEARINGS

N 03°26'44" W BETWEEN SURVEY MONUMENTS FOUND AND HELD AS SHOWN HEREON, AS CALCULATED PER R1.

REFERENCES

R1 MERCER VISTA, RECORDED IN VOL. 67 OF PLATS, PAGE 1, RECORDS OF KING COUNTY, WASHINGTON.

VERTICAL DATUM

NAVD(88) PER CITY OF MERCER ISLAND BENCHMARK #4231 "SAC MON 83RD AVE SE, OPP HSE #6234" ELEV=314.90'

SITE BM: SET NAIL W/SHINER IN ASPHALT NEAR S COR OF SITE DRIVE APRON, ELEV=314.19'

SURVEYOR'S NOTES

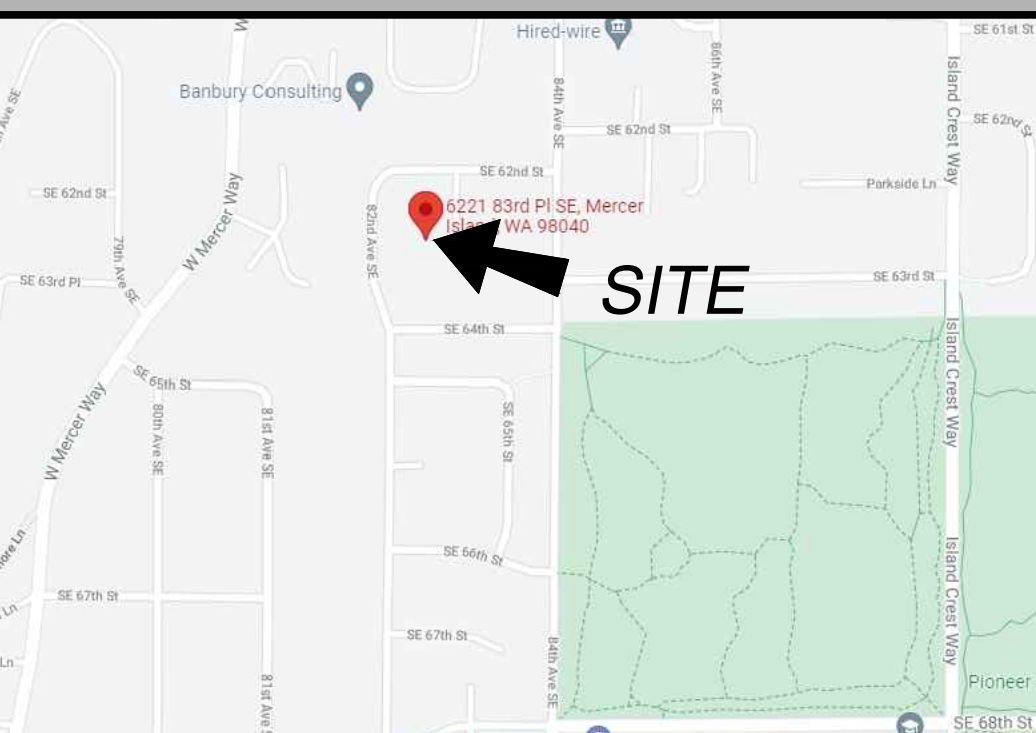
1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN NOVEMBER OF 2021. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES; TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
4. SUBJECT PROPERTY TAX PARCEL NO. 545420-0220
5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 10,284 S.F. (0.24 ACRES)
6. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN HEREON.
7. EXISTING STRUCTURE(S) LOCATION AND DIMENSIONS ARE MEASURED FROM THE FACE OF THE SIDING UNLESS OTHERWISE NOTED.
8. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

LEGEND

	BENCHMARK		SEWER LINE
	ASPHALT SURFACE		SEWER MANHOLE
	BRICK SURFACE		TREE (AS NOTED)
	BUILDING		WATER LINE
	CENTERLINE ROW		WATER METER
	CONCRETE SURFACE		BIRCH
	RETAINING WALL		CENTER CHANNEL
	DECK		CALCULATED
	GAS LINE		CHERRY
	GAS METER		CONCRETE
	GUY ANCHOR		CORNER
	HAND RAIL		DEODIOUS
	HEDGE FOLIAGE LINE		ELEVATION
	LUMINAIRE		FINISH FLOOR
	MONUMENT IN CASE (FOUND)		LAND SURVEYOR NUMBER
	NAIL AS NOTED		MEASURED
	POWER POLE		MONUMENT
	POWER POLE		PROPERTY
	REBAR AS NOTED (FOUND)		RECORD DATA
	REBAR & CAP (SET)		SANITARY SEWER MANHOLE
	ROCKERY		SANITARY SIDE SEWER

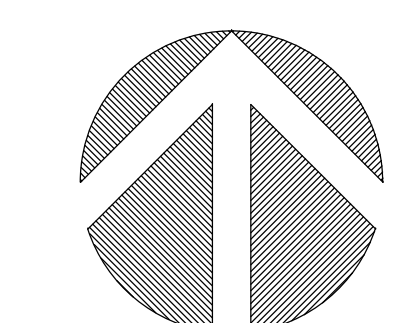
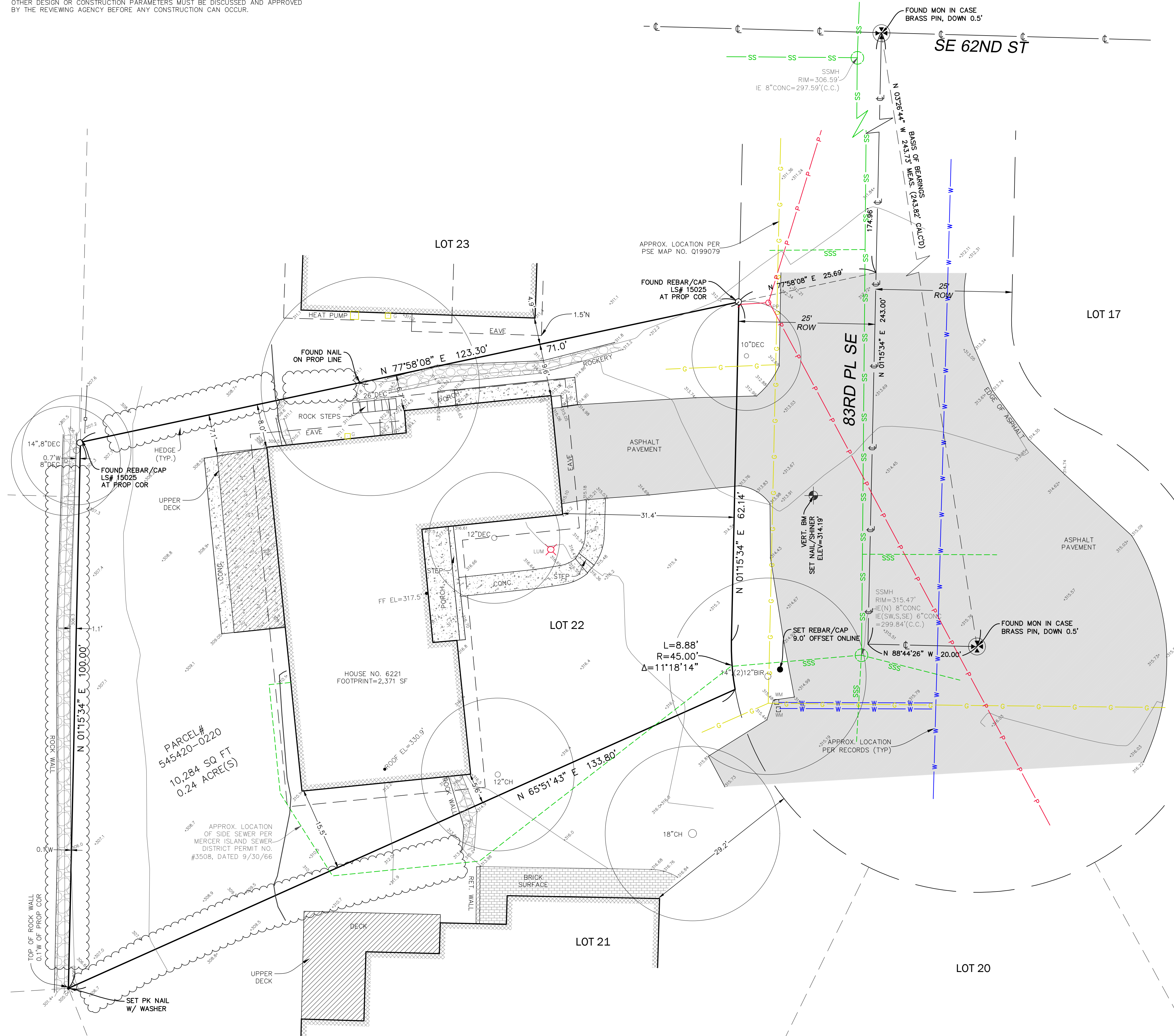
VICINITY MAP

N.T.S.



STEEP SLOPE/BUFFER DISCLAIMER:

THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS; AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.

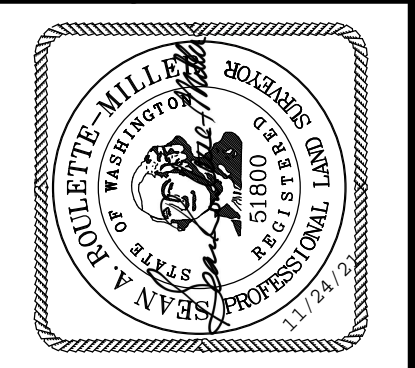


(IN FEET)
1 INCH = 10 FT.

INDEXING INFORMATION	
SE 1/4	SE 1/4
SECTION: 24	TOWNSHIP: 24N
RANGE: 04E, W.M.	COUNTY: KING

10801 Main Street, Suite 102
Bellevue, WA 98004
p: 425-458-4488 | e: info@terrane.net
We are the measure | terrane.net

TOPOGRAPHIC & BOUNDARY SURVEY
PARCEL NO. 545420-0220
COOMBS DEVELOPMENT - 83RD PL SE
6221 83rd Pl SE
MERCER ISLAND, WA 98040

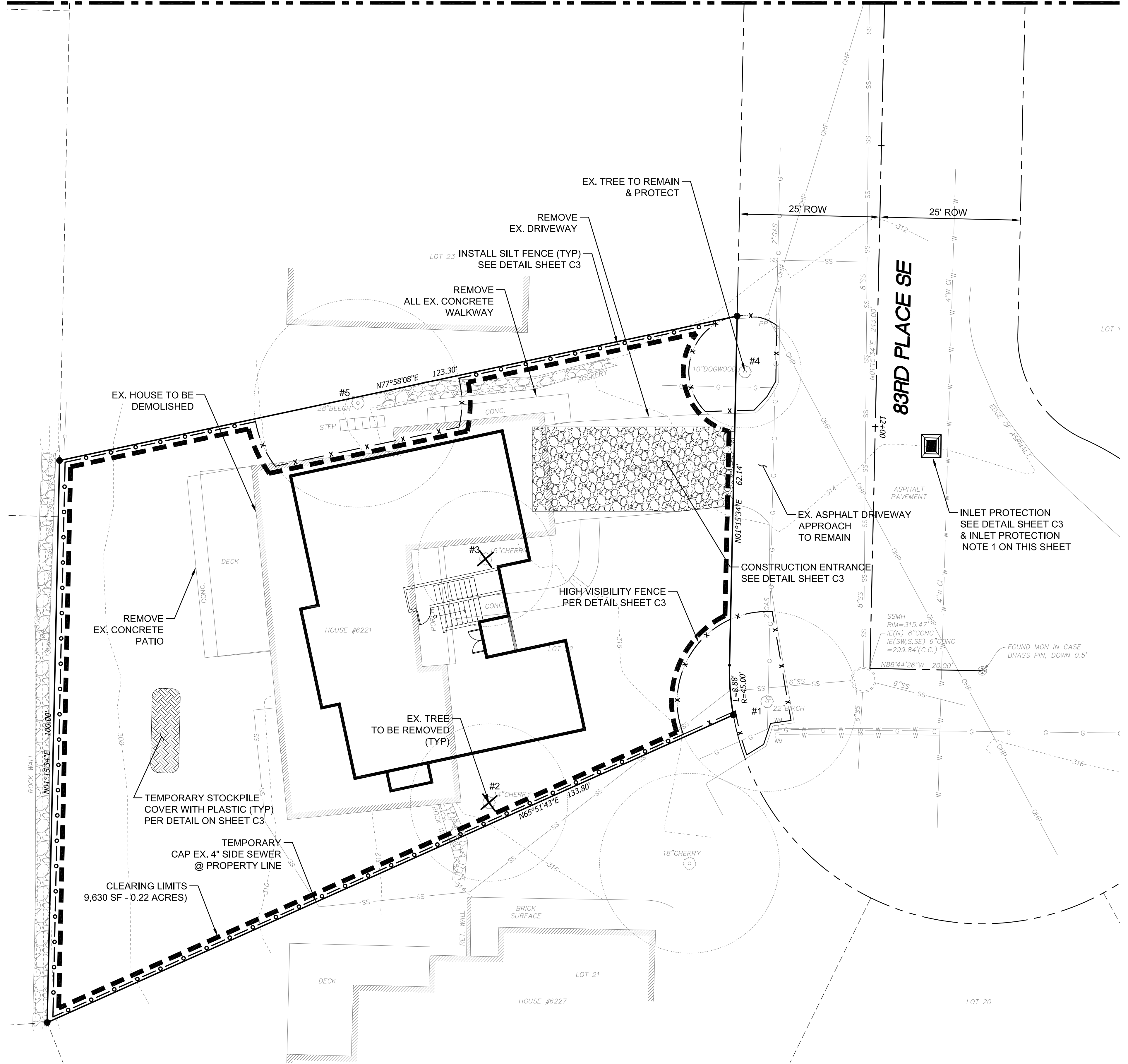
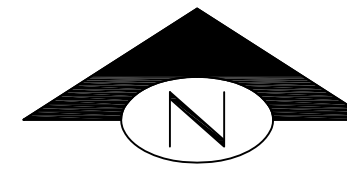


TERRANE

JOB NUMBER:	212419
DATE:	11/22/21
DRAFTED BY:	TLR
CHECKED BY:	SRM/RLS
SCALE:	1" = 10'
REVISION HISTORY	
SHEET NUMBER	1 OF 1

Jun 01, 2022 - 5:03pm Han Pham L:\Working\R22465 - 6221 83rd Place SE (COOMBES Development)\CADD\Drawings\R22465-PS-C1.dwg Layout Name: C1

MATCHLINE - SEE SHEET C2



TREE INVENTORY:

#1 - 14"	EUROPEAN WHITE BIRCH (BETULA PENDULA)	REGULATED-YES
#2 - 14"	MT. FUJI CHERRY (PRUNUS SERRULATA 'SHIROTAE')	REGULATED-YES
#3 - 15"	KWANZAN CHERRY (PRUNUS SERRULATA 'KWANZAN')	REGULATED-YES
#4 - 7"	FLOWERING DOGWOOD (CORNUS FLORIDA)	REGULATED-YES
#5 - 28"	EUROPEAN BEECH (FAGUS SYLVATICA L.)	REGULATED-YES

STABILIZE SOILS:

TEMPORARY COVER MEASURES SHALL BE PROVIDED WHEN NECESSARY TO PROTECT DISTURBED AREAS. THE INTENT OF THESE MEASURES IS TO PREVENT EROSION BY HAVING AS MUCH AREA AS POSSIBLE COVERED DURING ANY PERIOD OF PRECIPITATION. TOPSOIL LAYERS SHALL BE RETAINED AND PROTECTED TO THE MAXIMUM EXTENT FEASIBLE. ANY TOPSOIL THAT IS STOCKPILED ONSITE SHALL BE COVERED TO PREVENT EROSION AND SATURATION, AND SHALL BE REUSED IN LANDSCAPED AREAS UPON COMPLETION OF THE GROUND DISTURBING ACTIVITIES. TEMPORARY COVER SHALL BE INSTALLED IF AN AREA IS TO REMAIN UNWORKED FOR MORE THAN 7 DAYS DURING THE DRY SEASON (MAY 1 TO SEPTEMBER 30) OR FOR MORE THAN TWO CONSECUTIVE WORKING DAYS DURING THE WET SEASON (OCTOBER 1 TO APRIL 30). COVER METHODS INCLUDE THE USE OF SURFACE ROUGHENING, MULCH, EROSION CONTROL NETS AND BLANKETS, PLASTIC COVERING, SEEDING, AND SODDING. MULCH AND PLASTIC SHEETING ARE PRIMARILY INTENDED TO PROTECT DISTURBED AREAS FOR A SHORT PERIOD OF TIME, TYPICALLY DAYS TO A FEW MONTHS. SEEDING AND SODDING ARE MEASURES FOR AREAS THAT ARE TO REMAIN UNWORKED FOR MONTHS. EROSION NETS AND BLANKETS ARE TO BE USED IN CONJUNCTION WITH SEEDING STEEP SLOPES

GENERAL NOTE:

1. LAND CLEARING, GRADING, FILLING, AND FOUNDATION WORK ARE NOT PERMITTED BETWEEN OCTOBER 1ST AND APRIL 1ST. ANY WORK THAT IS PROPOSED DURING THE WET SEASON MUST SUBMIT A SEASONAL DEVELOPMENT LIMITATION WAIVER FOR APPROVAL BY THE BUILDING OFFICIAL

PROJECT ENGINEER'S CERTIFICATION:

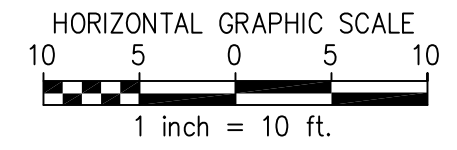
I HEREBY STATE THAT THIS CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN FOR JABOODA HOMES RESIDENCE HAS BEEN PREPARED BY ME OR UNDER MY SUPERVISION AND MEETS THE STANDARD OF CARE AND EXPERTISE WHICH IS USUAL AND CUSTOMARY IN THIS COMMUNITY OF PROFESSIONAL ENGINEERS. I UNDERSTAND THAT THE CITY OF MERCER ISLAND DOES NOT AND WILL NOT ASSUME LIABILITY FOR THE SUFFICIENCY, SUITABILITY, OR PERFORMANCE OF CONSTRUCTION SWPPP Bmps PREPARED BY ME.

INLET PROTECTION NOTE:

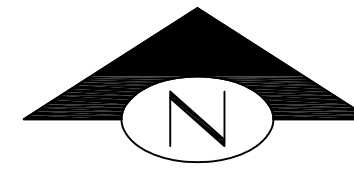
1. CONTRACTOR TO INSTALL INLET PROTECTION ON ALL CATCH BASINS DOWNSTREAM WITHIN 50'

LEGEND

- PROPERTY LINE
- - - - - ADJACENT PROPERTY LINE
- RIGHT OF WAY LINE
- - - - - RIGHT OF WAY CENTERLINE
- ▭ PROPOSED STRUCTURE



REFERENCE SHEET NO.	C	SHEET	1
		OF	7
		SHEETS	
COOMBES DEVELOPMENT 6221 83RD PLACE SE MERCER ISLAND, WA 98040 TREE PROTECTION PLAN TESC PLAN - 1			
PBC Land Development and Civil Engineering Consultants 5130 South 166th Lane Seattle, WA 98188 T (206) 229-6422			
ISSUE DATE	6-05-2022	DESIGNED BY:	L. PHAN
JOB NO.	R22465	DRAWN BY:	L. PHAN
REVISION DESCRIPTION		CHECKED BY:	H.H. PHAN
BY		PROJ. MNGR:	H.H. PHAN
NO.		DATE	



INLET PROTECTION NOTE:
 1. CONTRACTOR TO INSTALL INLET PROTECTION ON ALL CATCH BASINS DOWNSTREAM WITHIN 50'

LEGEND
 ————— PROPERTY LINE
 - - - - - ADJACENT PROPERTY LINE
 - - - - - RIGHT OF WAY LINE
 - - - - - RIGHT OF WAY CENTERLINE



MATCHLINE - SEE SHEET C1

REFERENCE SHEET NO. **Q2**
 SHEET **2** OF **7** SHEETS

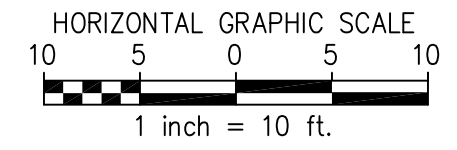
COOMBES DEVELOPMENT
 6221 83RD PLACE SE
 MERCER ISLAND, WA 98040
TREE PROTECTION PLAN
TESC PLAN - 2

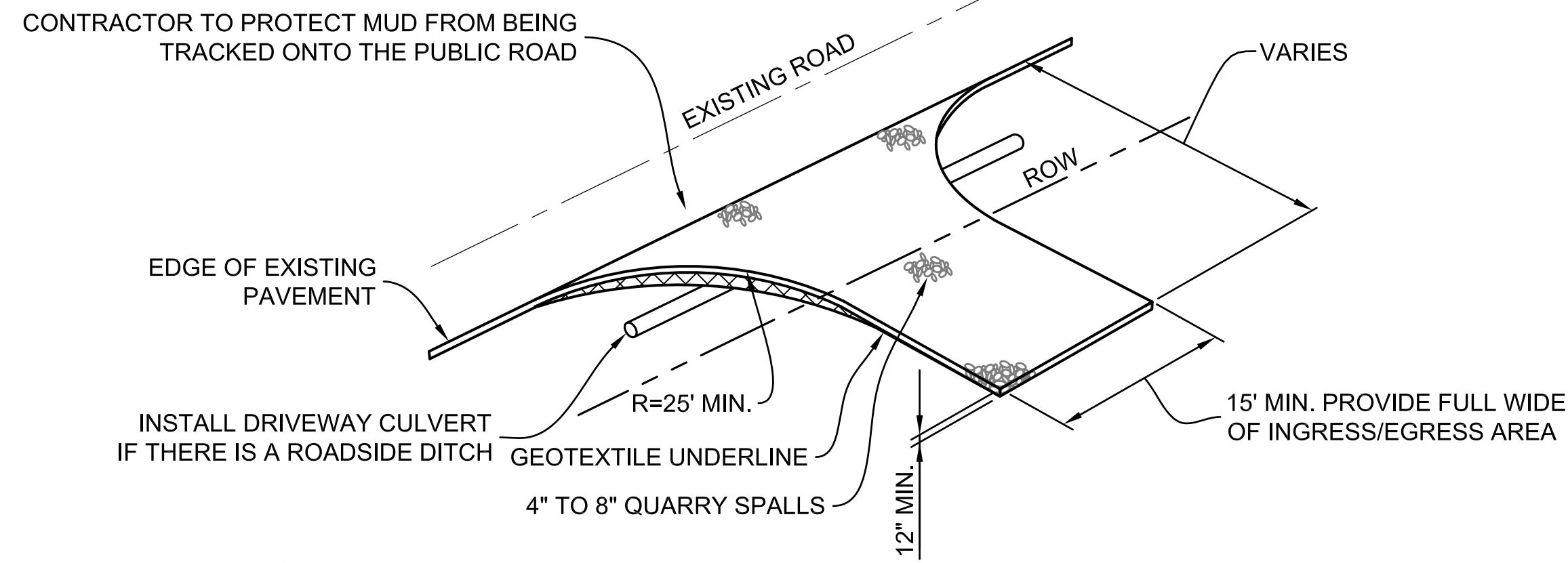


PBC
 Land Development and Civil Engineering Consultants
 5130 South 166th Lane
 SeaTac, WA 98188
 T (206) 229-6422

JOB NO.	ISSUE DATE
R22465	6-05-2022
DESIGNED BY:	L. PHAN
DRAWN BY:	L. PHAN
CHECKED BY:	H.H. PHAN
PROJ. MNGR:	H.H. PHAN

NO.	DATE	BY	REVISION DESCRIPTION





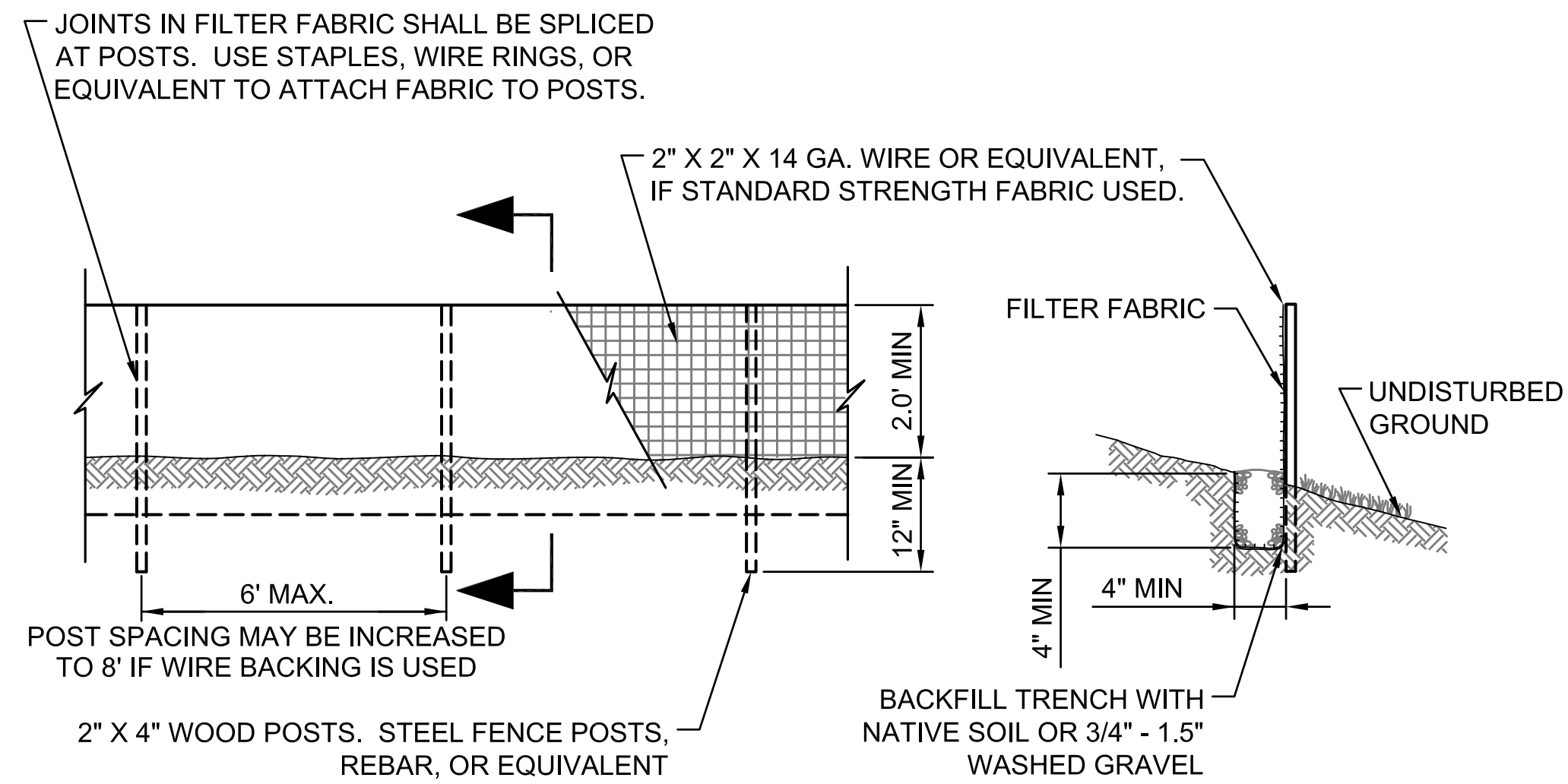
NOTES:

DRIVEWAYS SHALL BE PAVED TO THE EDGE OF RIGHT-OF-WAY PRIOR TO INSTALLATION OF THE CONSTRUCTION ENTRANCE TO AVOID DAMAGING OF THE ROADWAY.

IT IS RECOMMENDED THAT THE ENTRANCE BE CROWNED SO THAT RUNOFF DRAINS OFF THE ROAD.

CONSTRUCTION ENTRANCE DETAIL

SCALE: NONE

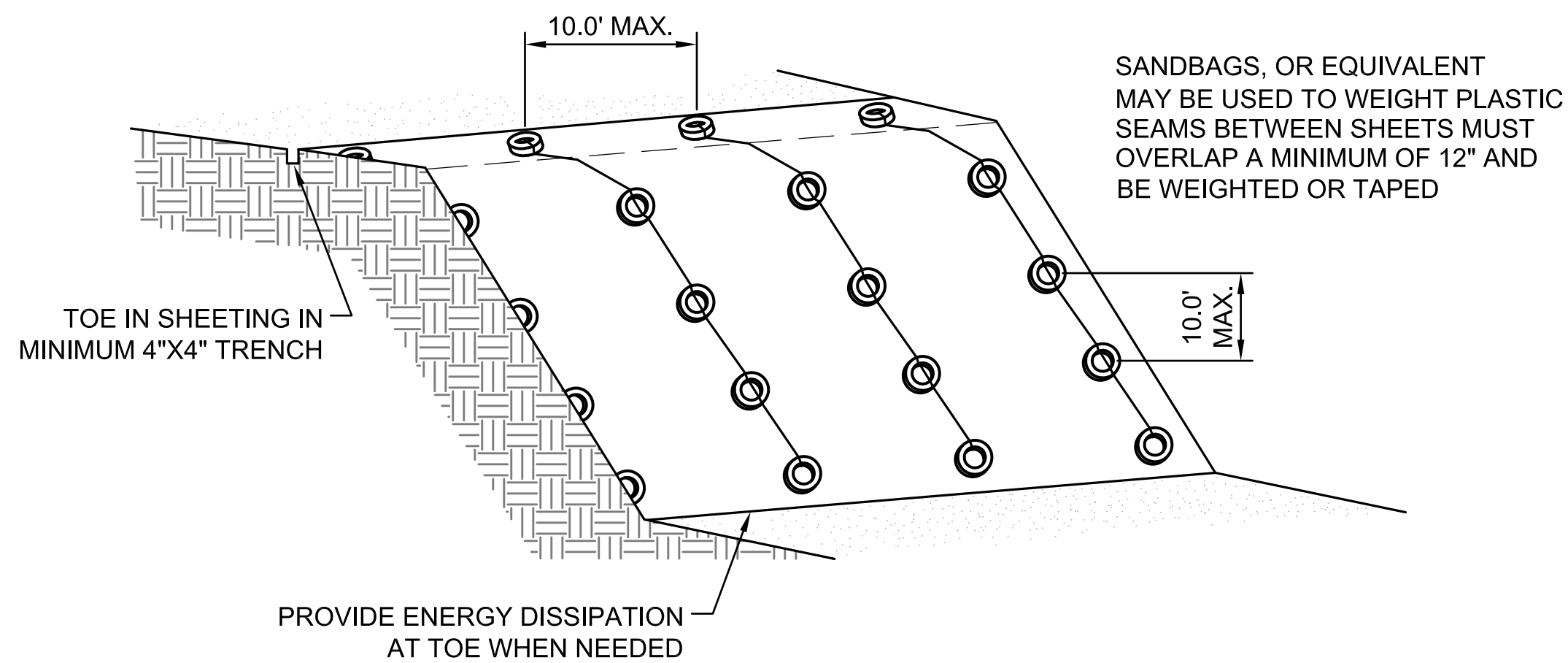


NOTES:

FILTER FABRIC FENCES SHALL BE INSTALLED ALONG CONTOUR WHENEVER POSSIBLE.

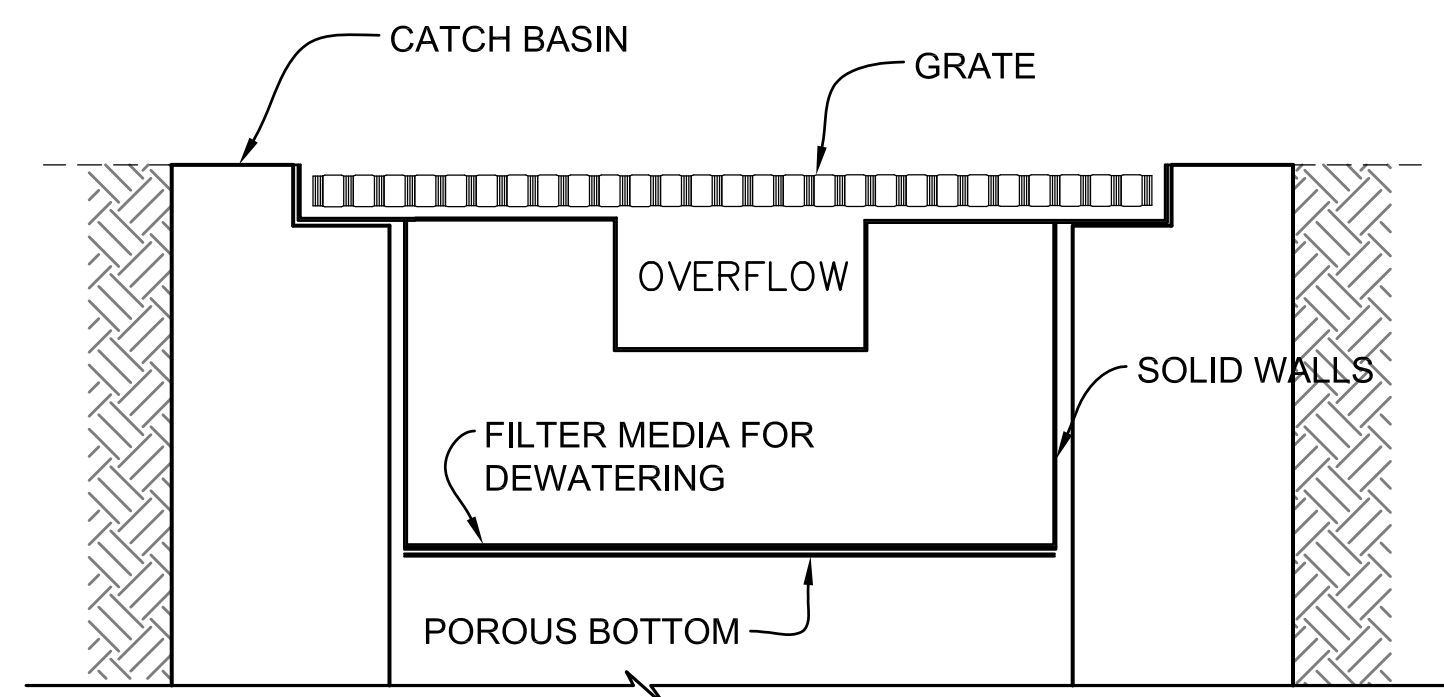
SILT FENCE DETAIL

SCALE: NONE



PLASTIC COVERING DETAIL

SCALE: NONE

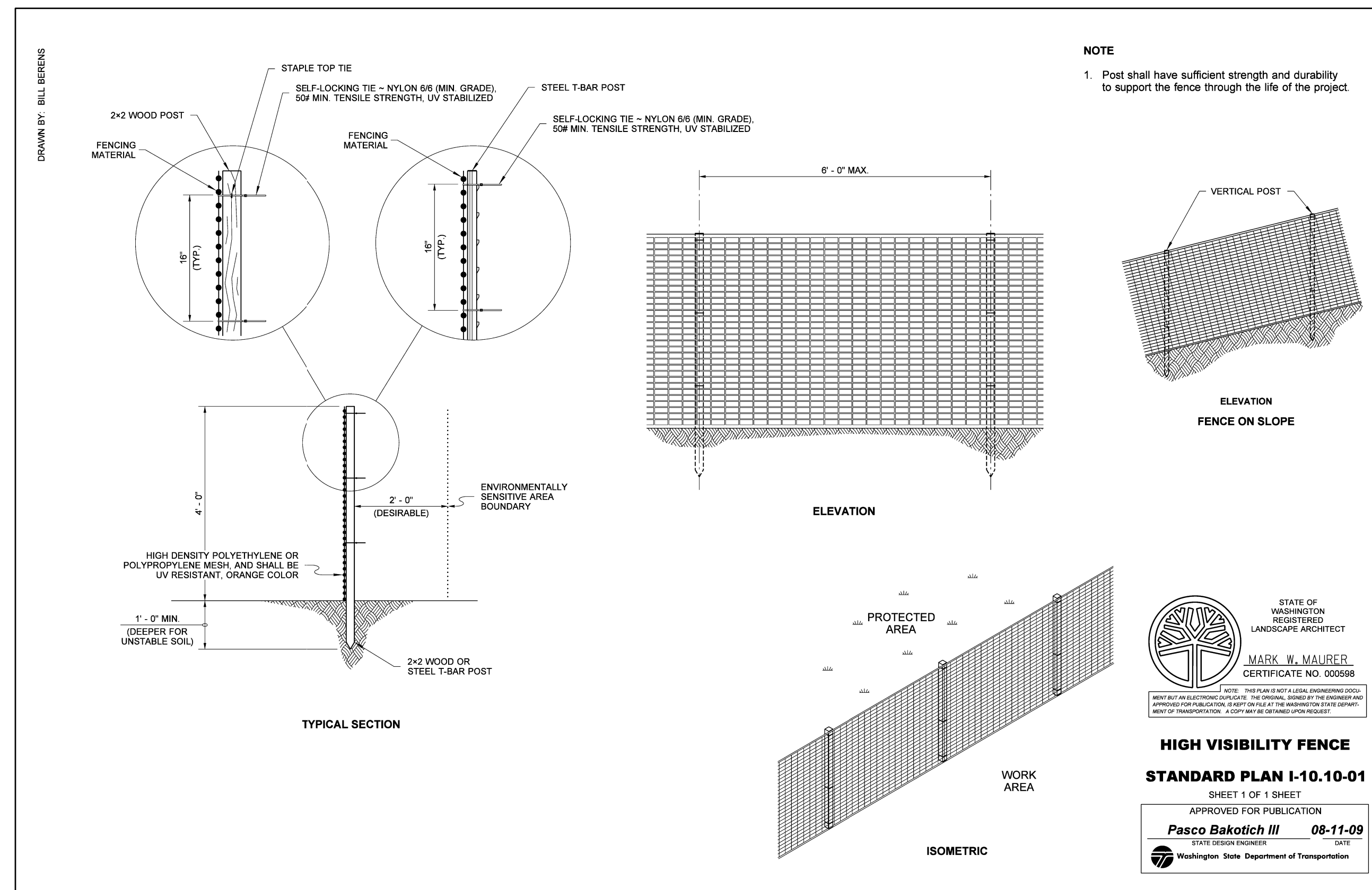


NOTES:

THIS DETAIL IS ONLY SCHEMATIC. ANY INSERT IS ALLOWED THAT HAS A MIN. 0.5 CUBIC FEET OF STORAGE WITH THE MEANS TO DEWATER THE STORED SEDIMENT, PROVIDE AN OVERFLOW, AND CAN BE EASILY MAINTAINED.

INLET PROTECTION DETAIL

SCALE: NONE



REFERENCE SHEET NO.

C3

SHEET 3 OF 7 SHEETS

COOMBS DEVELOPMENT
6221 83RD PLACE SE
MERCER ISLAND, WA 98040

TESC DETAILS



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5130 South 166th Lane
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ISSUE DATE

6-05-2022

DESIGNED BY:

L. PHAN

DRAWN BY:

L. PHAN

CHECKED BY:

H. H. PHAN

PROJ. MGR:

H. H. PHAN

REVISION DESCRIPTION

NO. DATE BY



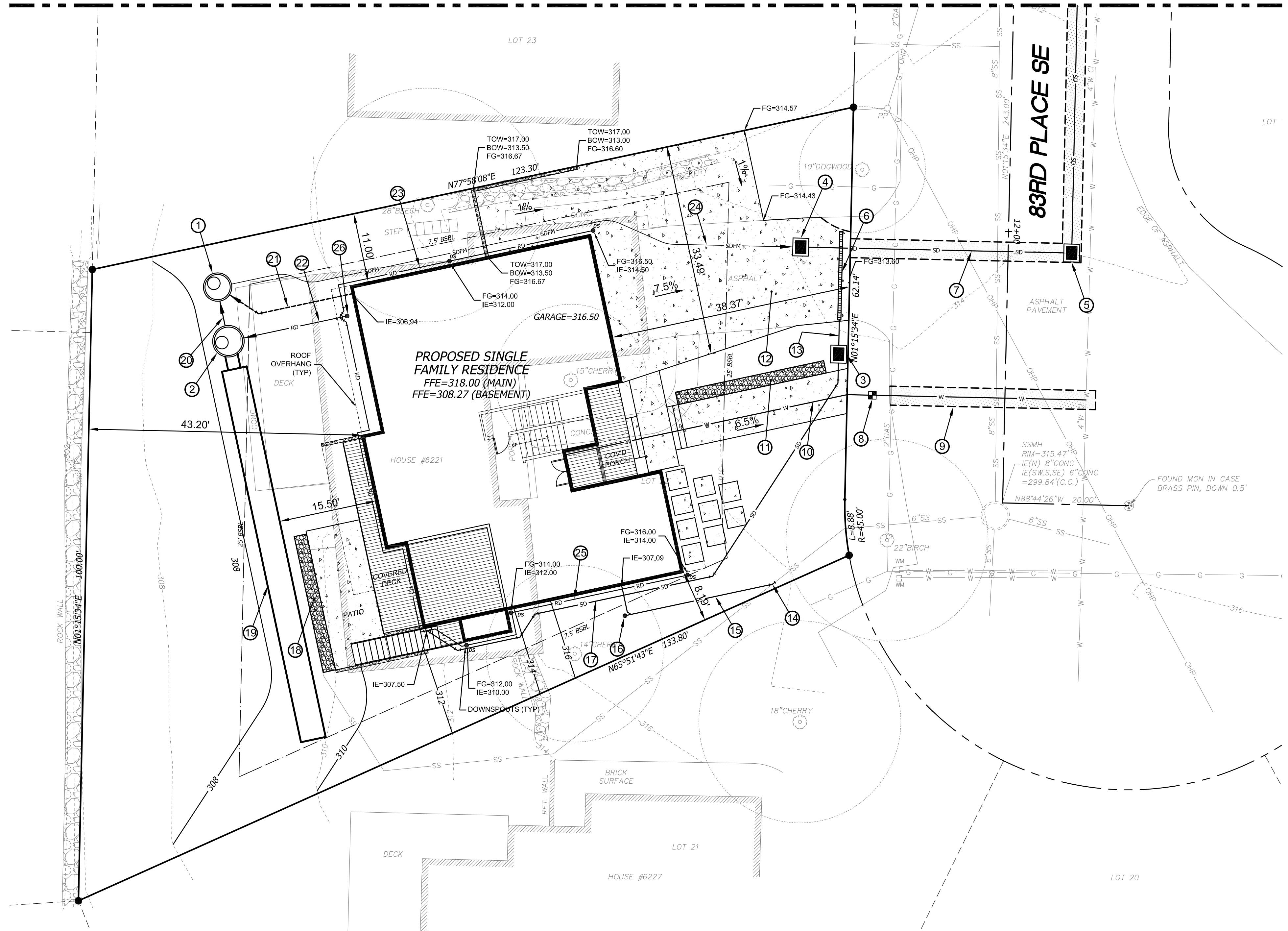
HIGH VISIBILITY FENCE
STANDARD PLAN I-10.10-01
SHEET 1 OF 1 SHEET

APPROVED FOR PUBLICATION
Pasco Bakotich III 08-11-09
STATE ENGINEER
Washington State Department of Transportation



Jun 01, 2022 - 5:55pm Hon Pham L:\Working\R22465 - 6221 83rd Place SE (COOMBES Development)\CADD\Drawings\R22465-PS-C4.dwg Layout Name: C4

MATCHLINE - SEE SHEET C5



NOTES:

1. NEW WATER METER LOCATE 27.5' NORTH OF EXISTING WATER METER AND 4' EAST OF PROPERTY LINE. CONTRACTOR TO FIELD VERIFY THE EXISTING WATER LINE AND COORDINATE WITH CITY WATER DEPARTMENT DURING CONSTRUCTION.
2. THE TV INSPECTOR OF THE EXISTING SIDE SEWER TO THE CITY SEWER MAIN ON 83RD PLACE SE IS REQUIRED PRIOR TO ANY WORK RELATED TO THE SIDE SEWER. IF THE RESULT OF THE TV INSPECTION IS NOT IN SATISFACTORY CONDITION, AS DETERMINED BY THE CITY OF MERCER ISLAND INSPECTOR, THE REPLACEMENT OF THE EXISTING SIDE SEWER IS REQUIRED.

A BACKUP GENERATOR IS REQUIRED FOR THE FOOTING DRAIN PUMP SYSTEM

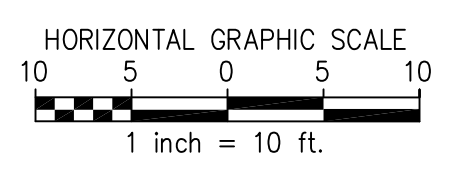
PRIVATE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY AND ALL CLAIMS FOR INJURIES AND DAMAGE DUE TO THE OPERATION OR NON-OPERATION OF THE PUMP SYSTEM

SOIL AMENDMENT NOTE:

THE LAWN AND LANDSCAPE AREAS ARE REQUIRED TO PROVIDE POST-CONSTRUCTION SOIL QUALITY AND DEPTH IN ACCORDANCE WITH BMP T5.13. THE PROJECT CIVIL ENGINEER MUST PROVIDE A LETTER OF CERTIFICATION TO ENSURE THAT THE LAWN AND LANDSCAPE AREAS ARE MEETING THE POST-CONSTRUCTION SOIL QUALITY AND DEPTH REQUIREMENTS SPECIFIED ON THE APPROVED PLAN SET PRIOR TO FINAL INSPECTION OF THE PROJECT.



Know what's below.
Call before you dig.



LEGEND

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- - - RIGHT OF WAY LINE
- - - RIGHT OF WAY CENTERLINE
- - - OVERHANG / EAVE
- ▭ PROPOSED STRUCTURE
- ▨ SOIL AMENDMENT AREA
- ▨ CEMENT CONCRETE PAVEMENT
- ▨ ASPHALT PAVEMENT

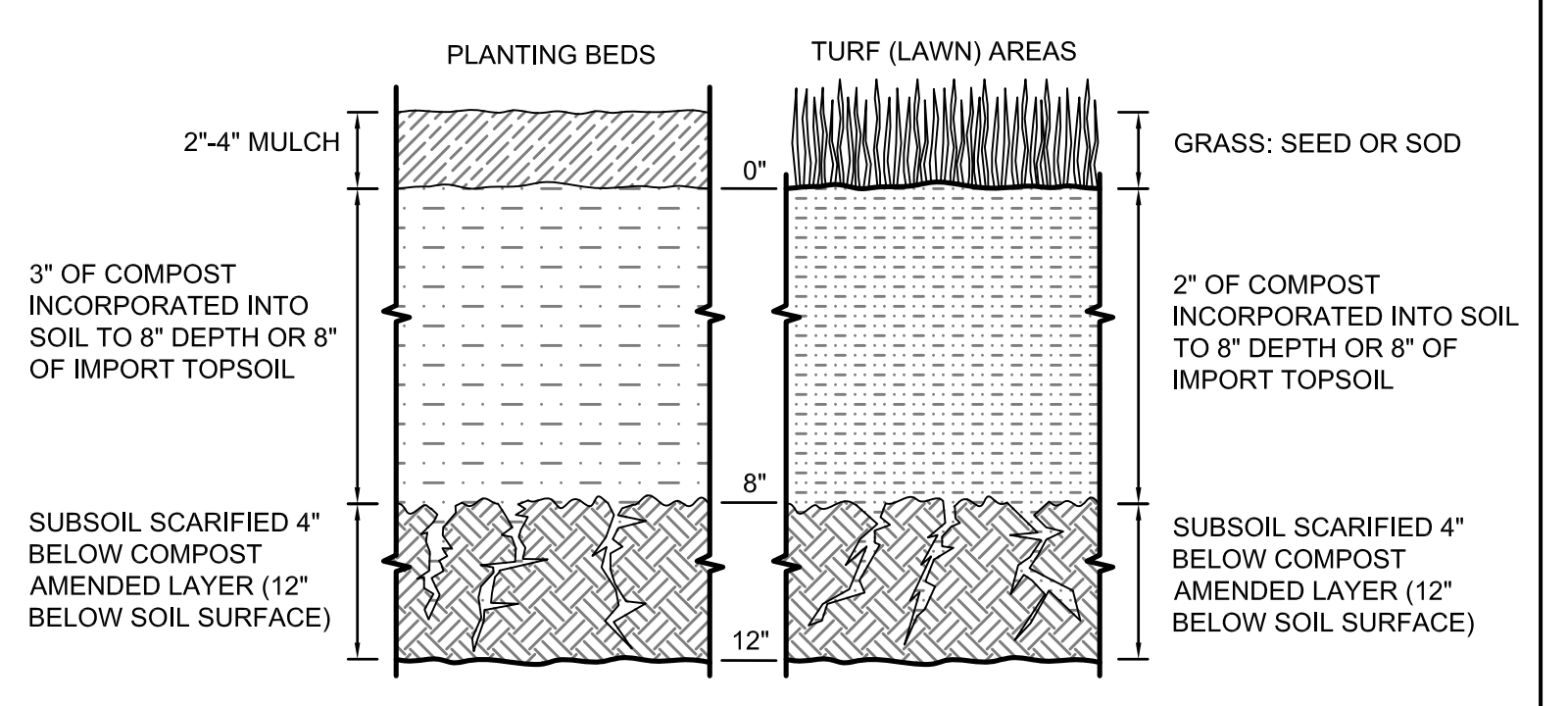
CONSTRUCTION NOTES:

1. INSTALL CB #3 TYPE 1 - 48" WITH SOLID LID & DUPLEX PUMP STATION PER DETAIL ON SHEET 7
RIM=308.50
IE (S)=303.42
IE (SE)=304.00
IE (E)=304.42
SUMP=300.42
2. INSTALL CB #2 TYPE 2 - 54" WITH FLOW CONTROL & SOLID LOCKING LID PER DETAIL ON SHEET C6
RIM=308.50
IE (N,S)=303.50
IE (E)=305.50
3. CB #1-TYPE 1 WITH SOLID LID & OIL SEPARATOR (RISER TEE)
RIM=314.10
IE (N)=311.70
IE (S)=311.60
4. INSTALL CB #4-TYPE 1 WITH SOLID LID
RIM=313.90
IE (W)=312.75
IE (E)=312.49
5. CB #5-TYPE 1 WITH SOLID LID
RIM=314.00
IE (W)=311.67
IE (N)=311.57
6. 14' LONG x 5" WIDE SLOTTED DRAIN (DURA) H2O RATED TRAFFIC LID
RIM=313.70
IE=313.30
7. 41 LF 6" DI SD @ 2.00%
8. 1" WATER METER WITH 33 LF 2" SERVICE WATER SEE NOTE 1
9. SAWCUT & PAVEMENT PATCHING DETAILS TO BE APPROVED BY CITY INSPECTOR
10. 49 LF 1 1/2" WATER SERVICE LINE (POLYETHYLENE PIPE SDR 7)
11. INSTALL 2' WIDE x 24' LONG x 18" DEEP GRAVEL STRIP FOR WALKWAY DISPERSION
12. 4" CEMENT CONC. PAVEMENT
13. 4 LF 4" DI SD @ 50.00%
14. CONNECT TO EX. 4" SIDE SEWER (FIELD VERIFY) SEE NOTE 2
15. 29 LF 4" SDR 35 PVC GRAVITY SIDE SEWER @ 2.00%
16. 4" SSCO #2
IE=307.00
17. 89 LF 4" SDR 35 PVC SD @ 2.00% MIN. CONNECT TO 4" ROOF DRAIN LINE
18. INSTALL 2' WIDE x 20' LONG x 18" DEEP GRAVEL STRIP FOR PATIO DISPERSION
19. INSTALL 4' DIA. X 60' LONG CMP DETENTION TANK
TOP=307.00
BOTTOM=303.00
PER DETAIL ON SHEET C6
20. INSTALL 4 LF 8" PVC SDR 35 @ 2.00%
21. 21 LF 4" SOLID SDR 35 PVC FOOTING DRAIN COLLECTOR @ 14.00%
22. 17 LF 6" SDR 35 PVC ROOF DRAIN COLLECTOR @ 3.00%
23. 46 LF 4" SDR 35 PVC ROOF DRAIN @ 2.00% MIN.
24. INSTALL 91 LF 2" PVC SCHEDULE 80 STORM DRAIN FORCE MAIN
25. 105 LF 4" SDR 35 PVC ROOF DRAIN @ 2.00% MIN.
26. 6" SDCO #1
IE=306.01

ESTIMATED COMPOST REQUIRED FOR SOIL AMENDMENT

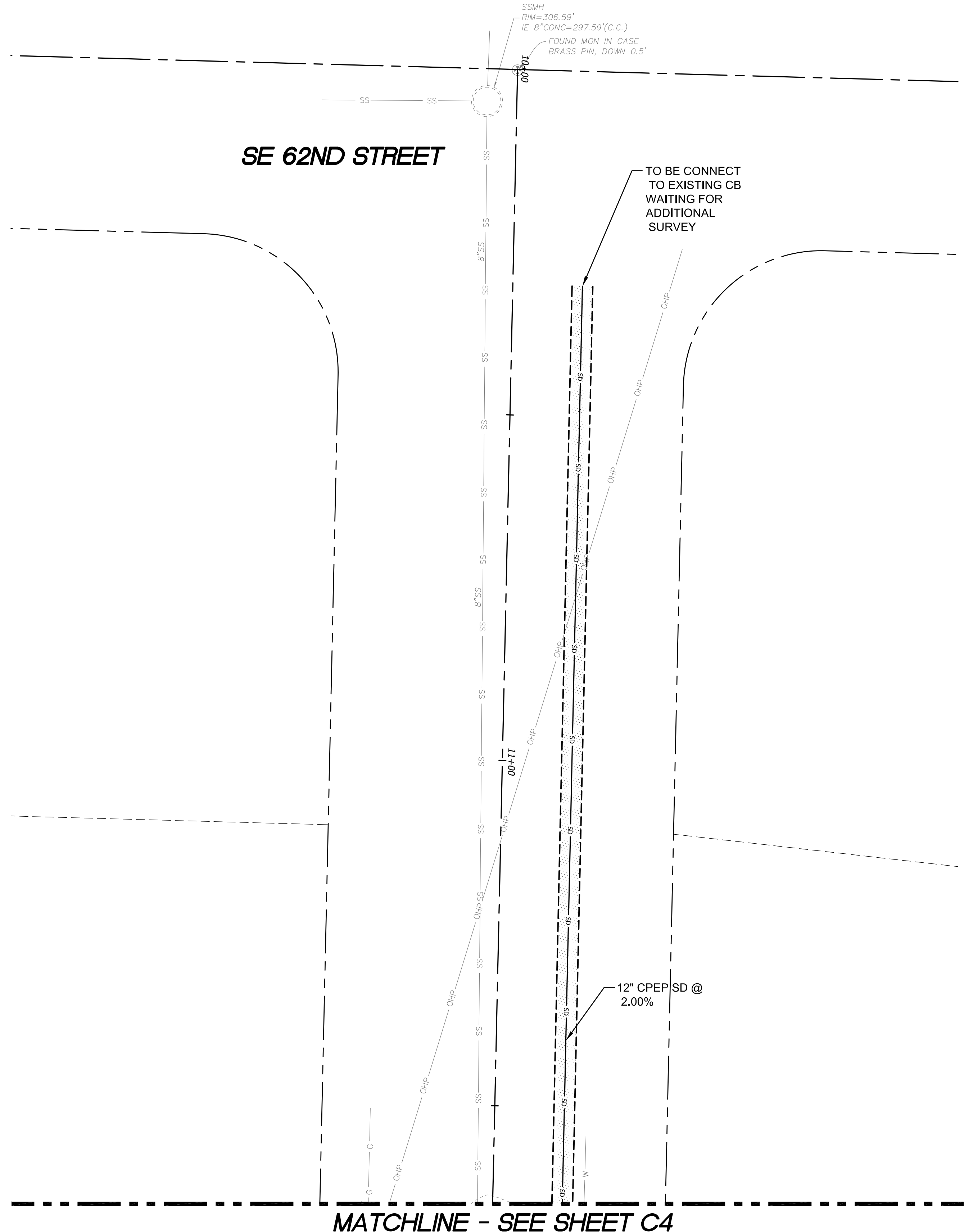
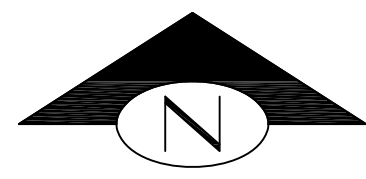
3,475 (SQUARE FEET) X 0.0062 *** = 22 (CUBIC YARDS)
DISTURBED AREA REQUIRING AMENDMENT REQUIRED COMPOST

*** 2 INCH LAYER OF COMPOST (FT/12 INCH) X (CY/27 CF) = 0.0062



REFERENCE SHEET NO.	C4	SHEET	4
		OF	7
		SHEETS	
COOMBES DEVELOPMENT 6221 83RD PLACE SE MERCER ISLAND, WA 98040 STORMWATER / UTILITY PLAN AND DETAILS - 1			
ISSUE DATE	6-05-2022	DESIGNED BY:	L. PHAN
		DRAWN BY:	L. PHAN
		CHECKED BY:	H.H. PHAN
		PROJ. MNGR:	H.H. PHAN
JOB NO.	R22465	NO.	
REVISION DESCRIPTION		DATE	

Jun 01, 2022 5:14pm Hon Phan L:\Working\R22465 - 6221 83rd Place SE (COOMBES Development)\CADD\Drawings\R22465-PS-C5.dwg Layout Name: C5



STORM DRAIN PROFILE

LEGEND

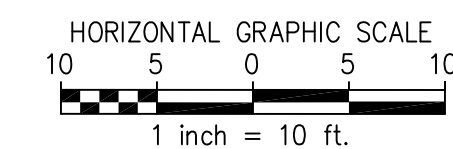
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- RIGHT OF WAY LINE
- RIGHT OF WAY CENTERLINE
- ASPHALT PAVEMENT

EXISTING CB NOTE:

IF THE EXISTING CATCH BASIN IS NOT IN SATISFACTORY CONDITION, AS DETERMINED BY THE CITY OF MERCER ISLAND INSPECTOR, THE REPLACEMENT OF THE EXISTING CATCH BASIN IS REQUIRED.



Know what's below.
Call before you dig.



REFERENCE SHEET NO.
C5

SHEET 5 OF 7 SHEETS

COOMBES DEVELOPMENT
6221 83RD PLACE SE
MERCER ISLAND, WA 98040
STORMWATER / UTILITY
PLAN AND DETAILS - 2



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5130 South 166th Lane
SeaTac, WA 98188
T (206) 229-6422

JOB NO. R22465	ISSUE DATE 6-05-2022
DESIGNED BY: L. PHAN	
DRAWN BY: L. PHAN	
CHECKED BY: H.H. PHAN	
PROJ. MNGR: H.H. PHAN	

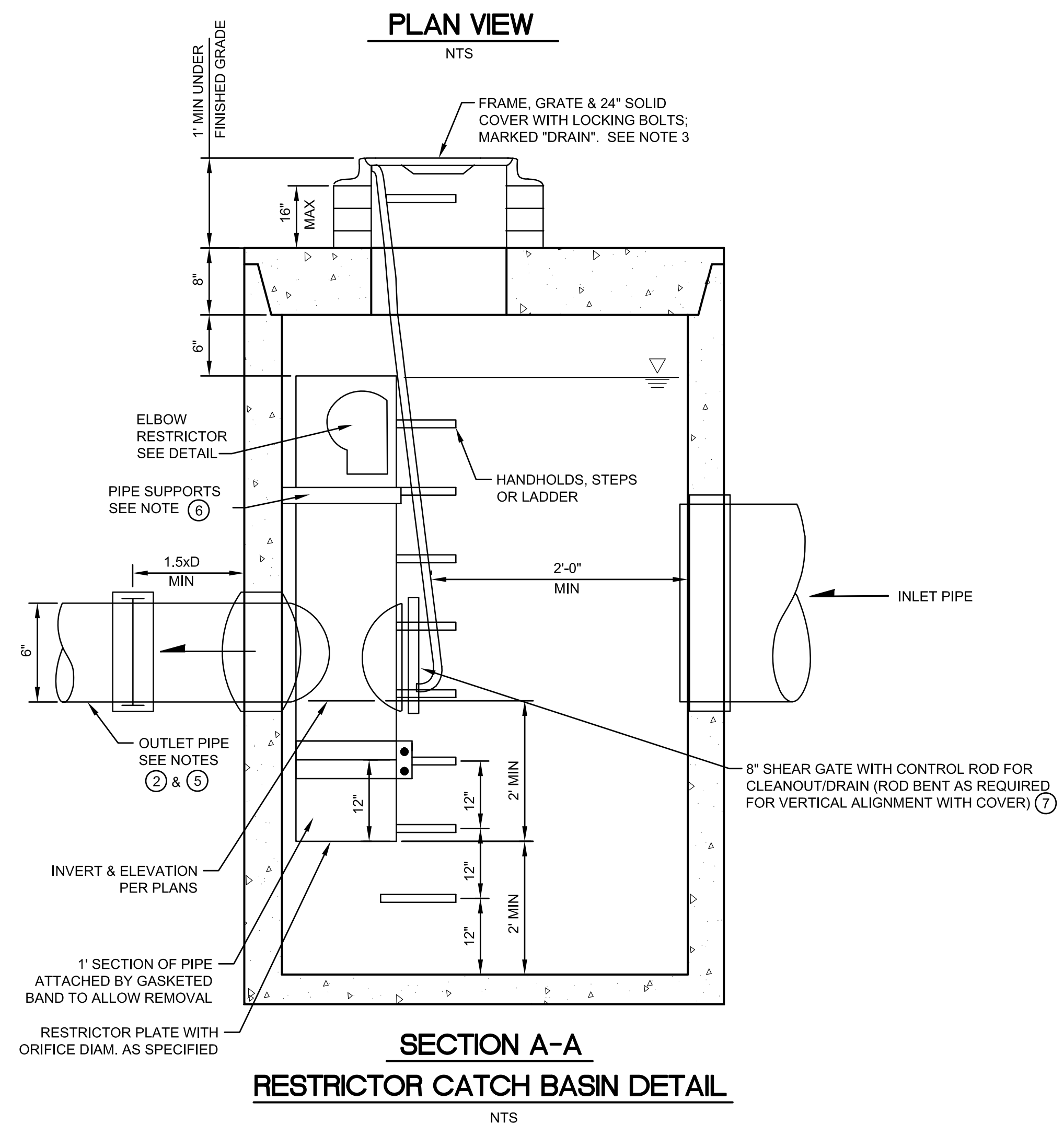
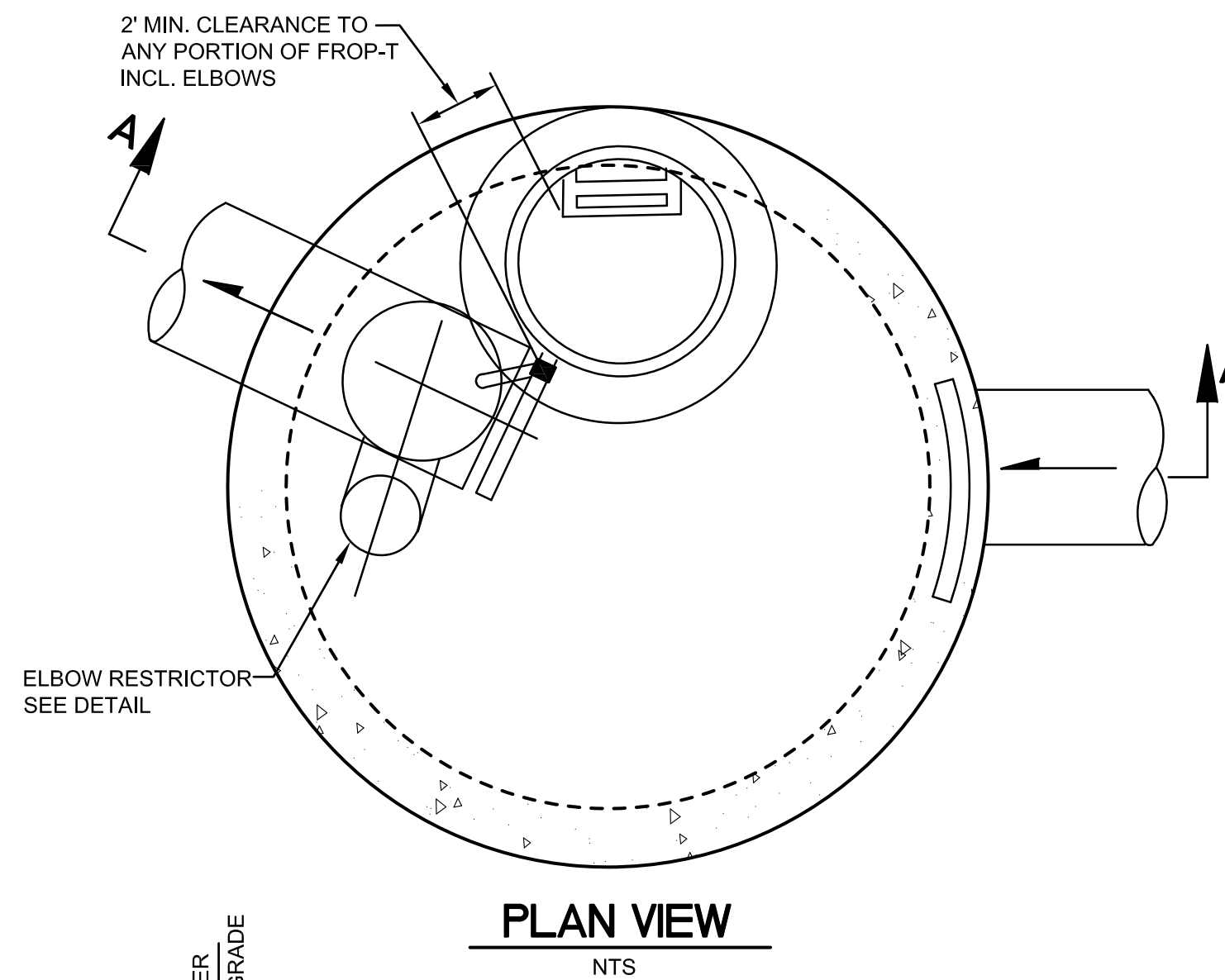
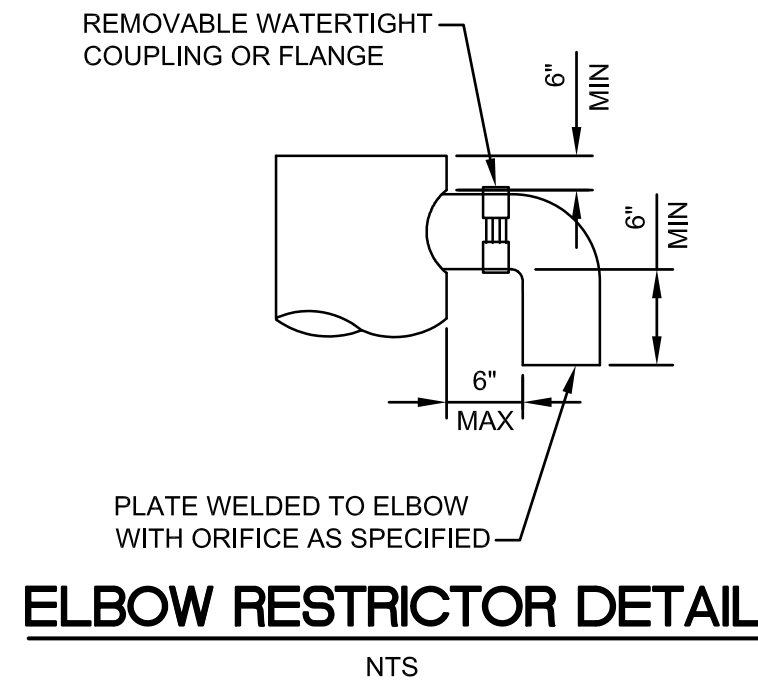
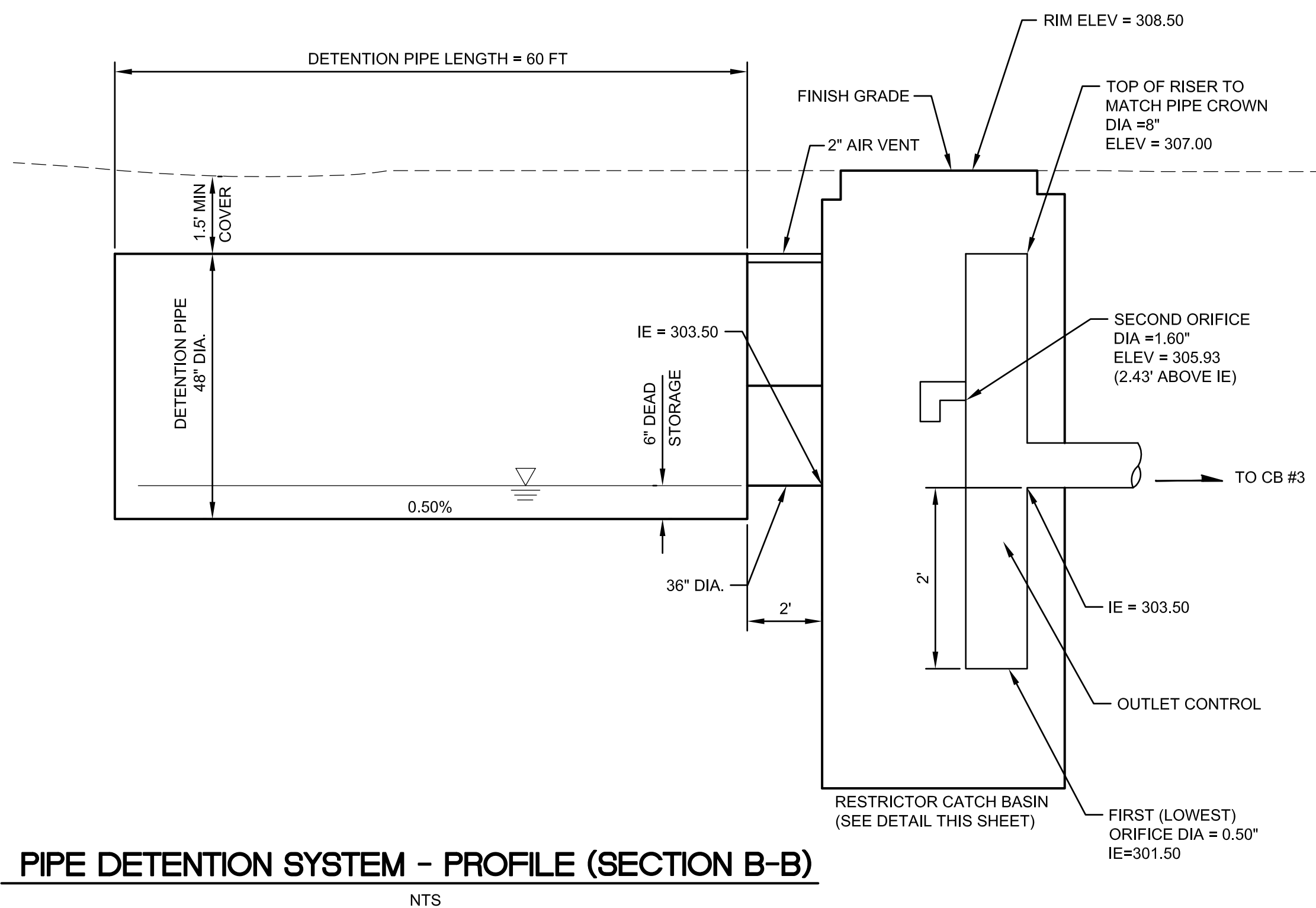
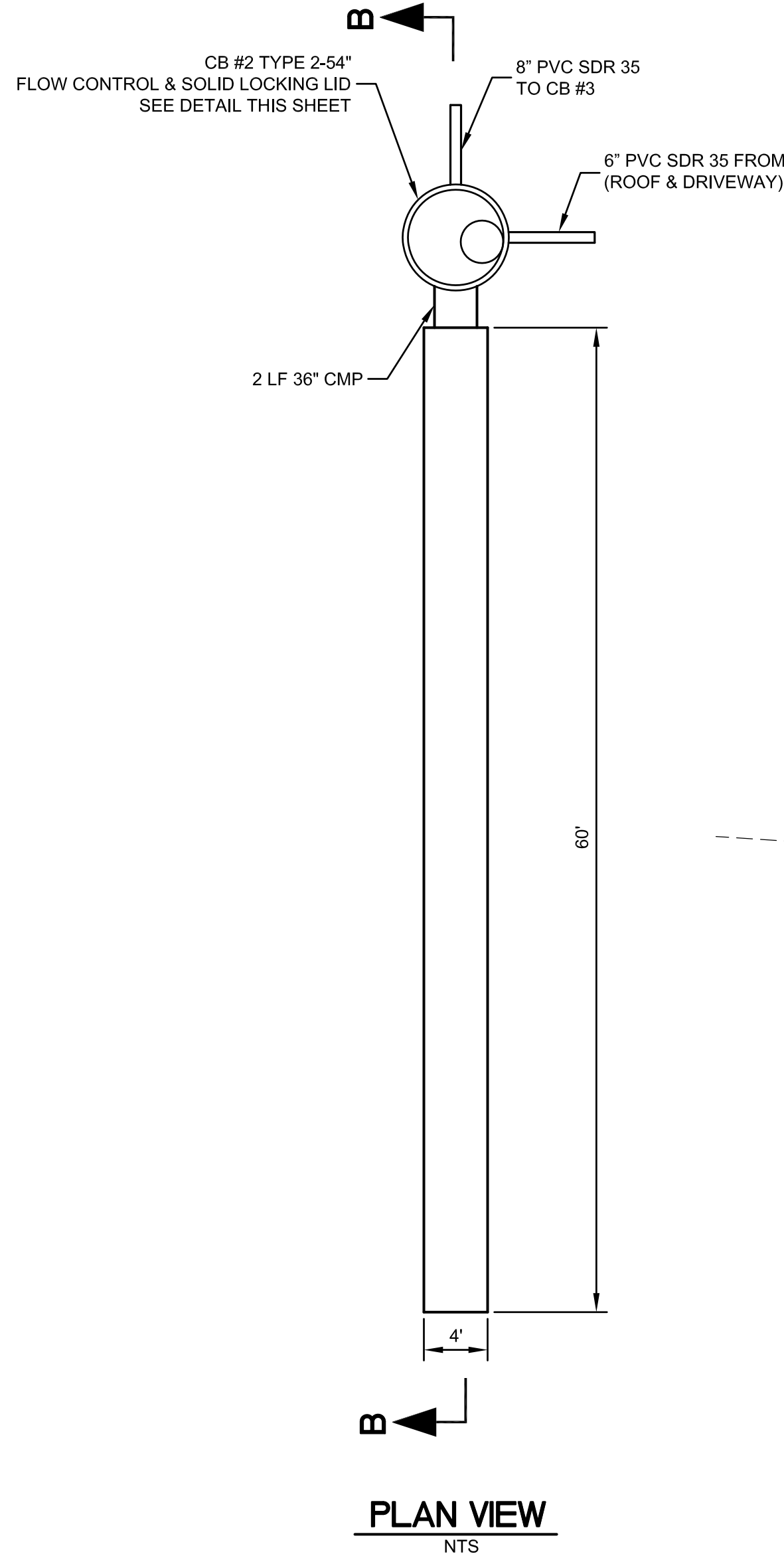
NO.	DATE	BY	REVISION DESCRIPTION

STANDARD DETENTION SYSTEM NOTES:

- CALL DEVELOPMENT SERVICES (206-275-7605) 24 HOURS IN ADVANCE FOR A DETENTION SYSTEM INSPECTION BEFORE BACKFILLING AND FOR FINAL INSPECTIONS.
- RESPONSIBILITY FOR OPERATION AND MAINTANANCE OF DRAINAGE SYSTEMS ON PRIVATE PROPERTY IS RESPONSIBILITY OF THE PROPERTY OWNER. MATERIAL ACCUMULATED IN THE STORAGE PIPE MUST BE REMOVED FROM CATCH BASINS TO ALLOW PROPER OPERATION. THE OUTLET CONTROL ORIFICE MUST BE KEPT OPEN AT ALL TIMES.
- PIPE MATERIAL, JOINT, AND PROTECTIVE TREATMENT SHALL BE IN ACCORDANCE WITH SECTION 7.04 AND 9.05 OF THE WSDOT STANDARD SPECIFICATION FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION, LATEST VERSION. SUCH MATERIALS INCLUDE THE FOLLOWING: LINED CORRUGATED POLYETHYLENE PIPE (LCPE), ALUMINIZED TYPE 2 CORRUGATED STEEL PIPE AND PIPE ARCH (MEETS AASHTO DESIGNATIONS M274 AND M36), CORRUGATED OR SPIRAL RIB ALUMINUM PIPE, OR REINFORCED CONCRETE PIPE. CORRUGATED STEEL PIPE IS NOT ALLOWED.

OWNER: JON COOMBES ADDRESS: 6221 83RD PLACE SE PREPARED BY: HAN PHAN, PE
 PERMIT #: _____ ADDRESS: MERCER ISLAND, WA 98040 PHONE: 206-229-6422
 DATE: 5-05-2022
 IMPERVIOUS SURFACE AREA (SF): 4,437 DETENTION PIPE DIA (INCH) 48 DETENTION PIPE LENGTH (FT): 60 ORIFICE #1 DIA = 0.50 INCH, ELEV = 301.50
 PIPE MATERIAL: CMP ORIFICE #2 DIA = 1.60 INCH, ELEV = 305.93

FOOTING DRAINS SHALL NOT BE CONNECTED TO DETENTION SYSTEM



RESTRICTOR CATCH BASIN NOTES:

- USE A MINIMUM OF A 72" DIA. TYPE 2 CATCH BASIN WHEN CONNECTING PIPE MATERIAL IS CONCRETE OR LCPE. A 54" DIA. TYPE 2 CATCH BASIN MAY BE USED FOR OTHER CIRCULAR SINGLE WALL PIPE (SUCH AS CORRUGATED ALUMINUM PIPE).
- OUTLET PIPE: MIN. 6".
- METAL PARTS: CORROSION RESISTANT. NON-GALVANIZED PARTS PREFERRED. GALVANIZE PIP PARTS TO HAVE ASPHALT TREATMENT 1.
- FRAME AND LADDER OR STEPS OFFSET SO:
 - CLEANOUT GATE IS VISIBLE FROM TOP;
 - CLIMB-DOWN SPACE IS CLEAR OF RISER AND CLEANOUT GATE;
 - FRAME IS CLEAR OF CURB.
- IF METAL OUTLET PIPE CONNECTS TO CEMENT CONCRETE PIPE, OUTLET PIPE TO HAVE SMOOTH O.D. EQUAL TO CONCRETE PIPE I.D. LESS 1/4 IN.
- PROVIDE AT LEAST ONE 3 X 0.090 GAUGE SUPPORT BRACKET ANCHORED TO CONCRETE WALL WITH 3/8 IN. STAINLESS STEEL EXPANSION BOLTS OR EMBEDDED SUPPORTS 2 IN. INTO CATCH BASIN WALL (MAXIMUM 3'-0" VERTICAL SPACING).
- THE SHEAR GATE SHALL BE MADE ON ALUMINUM ALLOY IN ACCORDANCE WITH ASTM B 26M AND ASTM B 275, DESIGNATION ZG32A; OR CAST IRON IN ACCORDANCE WITH ASTM A 48, CLASS 30B. THE LIFT HANDLE SHALL BE MADE OF A SIMILAR METAL TO THE GATE (TO PREVENT GALVANIC CORROSION), IT MAY BE OF SOLID ROD OR HOLLOW TUBING, WITH ADJUSTABLE HOOK AS REQUIRED. A NEOPRENE RUBBER GASKET IS REQUIRED BETWEEN THE RISER MOUNTING FLANGE AND THE GATE FLANGE. INSTALL THE GATE SO THAT THE LEVEL-LINE MARK IS LEVEL WHEN THE GATE IS CLOSED. THE MATING SURFACES OF THE LID AND THE BODY SHALL BE MACHINED FOR PROPER FIT. ALL SHEAR GATE BOLTS SHALL BE STAINLESS STEEL.

REFERENCE SHEET NO. **C6**

SHEET **6** OF **7** SHEETS

COOMBES DEVELOPMENT
6221 83RD PLACE SE
MERCER ISLAND, WA 98040

**DETENTION PIPE SYSTEM
DETAILS**



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5130 South 166th Lane
Seattle, WA 98188
T (206) 229-6422

ISSUE DATE	6-05-2022
DESIGNED BY:	L. PHAN
DRAWN BY:	L. PHAN
CHECKED BY:	H.H. PHAN
PROJ. MNGR:	H.H. PHAN

REVISION DESCRIPTION

NO. DATE BY

Jun 01, 2022 - 4:52pm Hon Pham L:\Working\R22465 - 6221-83rd Place SE (COOMBES Development)\CADD\Drawings\R22465-PS-C7.dwg Layout Name: Layout1

Soil Type*	New Impervious Area (sf)														
	500 to 1,000 sf			1,001 to 2,000 sf			2,001 to 3,000 sf			3,001 to 4,000 sf			4,001 to 5,000 sf		
	Detention Pipe Size (in.) and Length (ft)			Detention Pipe Size (in.) and Length (ft)			Detention Pipe Size (in.) and Length (ft)			Detention Pipe Size (in.) and Length (ft)			Detention Pipe Size (in.) and Length (ft)		
B	36"	48"	60"	36"	48"	60"	36"	48"	60"	36"	48"	60"	36"	48"	60"
C	30	18	11	66	34	22	90	48	30	120	62	42	186	90	48
	22	11	7	43	23	14	66	36	20	78	42	26	132	60	37

NEW IMPERVIOUS CALC.

ROOF AREA (INCLUDING OVERHANG): 2,693 SF
 DRIVEWAY: 1,282 SF
 WALKWAY & PATIO: 462 SF
 TOTAL: 4,437 SF

REFERENCE SHEET NO. **C7**
 SHEET 7 OF 7 SHEETS

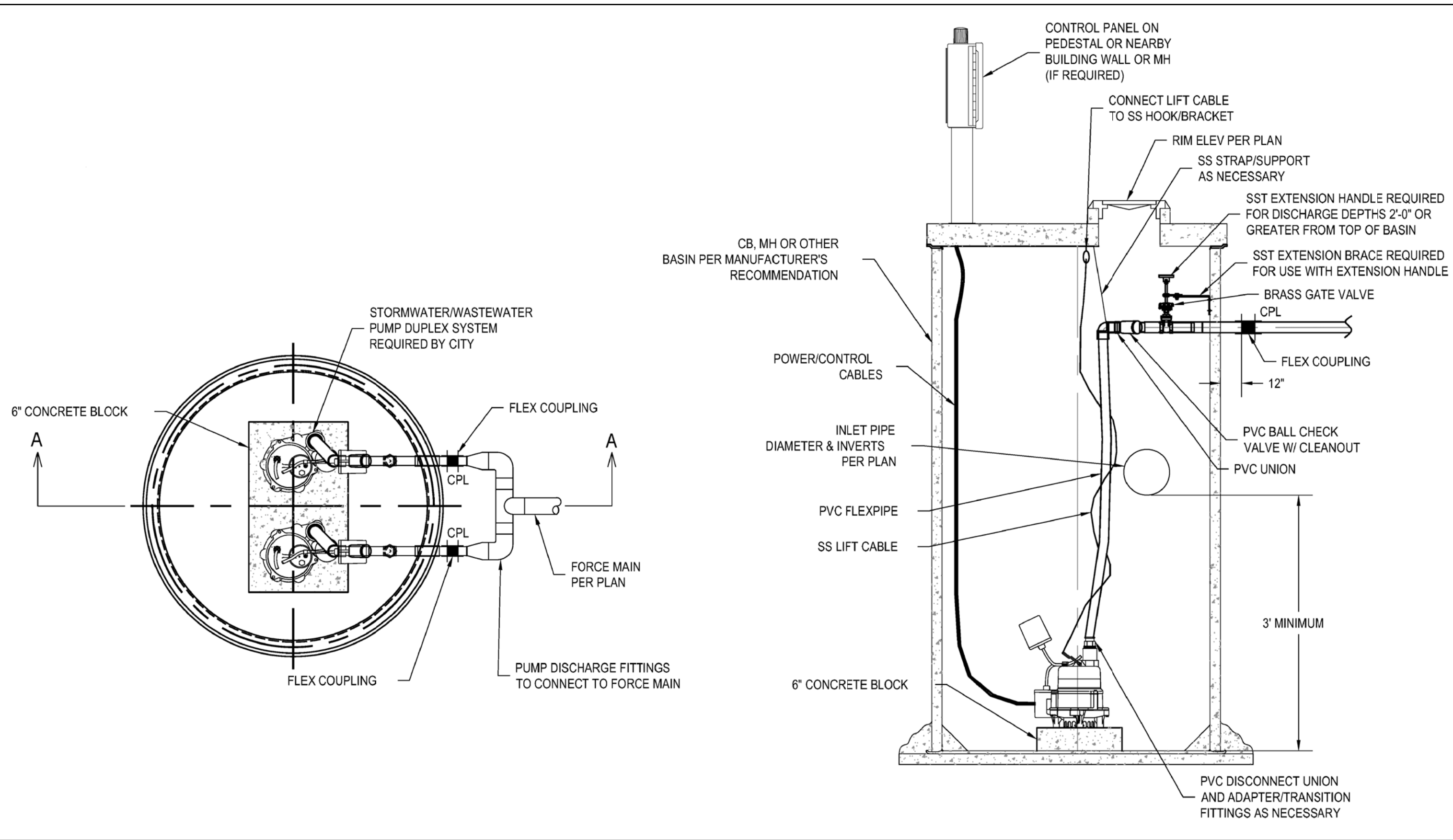
COOMBES DEVELOPMENT
 6221 83RD PLACE SE
 MERCER ISLAND, WA 98040

DETAILS



Outlet Orifice Size and Design Height for Type B Soils Only															
Detention Pipe Size (in)	Lowest Orifice Diameter (inches)	Distance from Outlet to Second Orifice (feet)	Second Orifice Diameter (inches)	Lowest Orifice Diameter (inches)	Distance from Outlet to Second Orifice (feet)	Second Orifice Diameter (inches)	Lowest Orifice Diameter (inches)	Distance from Outlet to Second Orifice (feet)	Second Orifice Diameter (inches)	Lowest Orifice Diameter (inches)	Distance from Outlet to Second Orifice (feet)	Second Orifice Diameter (inches)	Lowest Orifice Diameter (inches)	Distance from Outlet to Second Orifice (feet)	Second Orifice Diameter (inches)
36	0.5	2.2	0.5	0.5	2.2	0.94	0.5	2.2	0.94	0.5	2.4	1.4	0.5	2.44	1.4
48	0.5	3.3	0.94	0.5	3.2	0.9	0.5	3.1	0.9	0.5	2.8	0.8	0.5	2.7	0.75
60	0.5	4.15	0.47	0.5	4.3	0.94	0.5	4.2	0.94	0.5	3.8	0.94	0.5	4.14	0.9

Outlet Orifice Size and Design Height for Type C Soils Only															
Detention Pipe Size (in)	Lowest Orifice Diameter (inches)	Distance from Outlet to Second Orifice (feet)	Second Orifice Diameter (inches)	Lowest Orifice Diameter (inches)	Distance from Outlet to Second Orifice (feet)	Second Orifice Diameter (inches)	Lowest Orifice Diameter (inches)	Distance from Outlet to Second Orifice (feet)	Second Orifice Diameter (inches)	Lowest Orifice Diameter (inches)	Distance from Outlet to Second Orifice (feet)	Second Orifice Diameter (inches)	Lowest Orifice Diameter (inches)	Distance from Outlet to Second Orifice (feet)	Second Orifice Diameter (inches)
36	0.5	2	0.8	0.5	2.3	1.41	0.5	2.4	1.9	0.5	2.15	1.64	0.5	1.72	2.3
48	0.5	3.2	0.8	0.5	3.3	1.17	0.5	2.83	1.5	0.5	2.9	1.3	0.5	2.43	1.6
60	0.5	3.4	0.6	0.5	3.6	0.89	0.5	3.7	1.1	0.5	3.9	1.28	0.5	4.3	2.2



GENERAL DESCRIPTION	DUPLEX PARALLEL SUBMERSIBLE GRINDER PUMPS
DESIGN CALCULATIONS	FROM RATIONAL METHOD CALCULATION: PEAK INFLOWS: 25-YR = XXXX GPM 100-YR = XXXX GPM
DESIGN FLOW AND TDH	1 PUMP: XXXX GPM @ XXXX' TDH 2 PUMP: XXXX GPM @ XXXX' TDH
PUMP ELECTRICAL	1/3 HP, 1 PHASE, 115 V, GOULD WS_BHF SERIES (MODEL WS0311BHF OR EQ.)
PUMP CONTROLS	ALTERNATE PUMP STARTS, LOW AND HIGH LEVEL ALARM LIGHT
PUMP MOUNTING AND DISCHARGE	INCREASER TO 2" DISCHARGE WITH 2" UNION, CHECK VALVE, AND GATE VALVE FROM EACH PUMP
DISCHARGE MANIFOLD	2" x 2" DISCHARGE TO FORCE MAIN
FORCE MAIN & FITTINGS	2"
FLOAT SPECIFICATIONS	
REDUNDANT OFF AND LOW LEVEL ALARM	PER MANUFACTURE'S REQUIREMENTS
OFF	PER MANUFACTURE'S REQUIREMENTS
ON (1ST PUMP)	1.5' ABOVE OFF
ON (2ND PUMP)	2.5' ABOVE OFF
HIGH LEVEL ALARM	0.5' ABOVE 2ND PUMP ON
MIN. HEIGHT FROM HIGH LEVEL ALARM TO LOWEST INLET	0.5'
NOTES:	
1. THESE SPECIFICATIONS ARE SCHEMATIC IN NATURE AND SHALL BE CONFIRMED BY SUPPLIER AND CONTRACTOR.	
2. PUMP FLOATS/CONTROLS SHALL BE FIELD TESTED AND ADJUSTED TO ACHIEVE OPTIMUM PUMP CYCLE TIMES PER MANUFACTURE'S RECOMMENDATIONS.	
3. EXPLOSION PROOF PUMPS, CONTROLS, AND ELECTRICAL COMPONENTS SHALL BE INSTALLED IF REQUIRED BY CODE.	

STORM DRAIN DUPLEX PUMP STATION SPECIFICATIONS

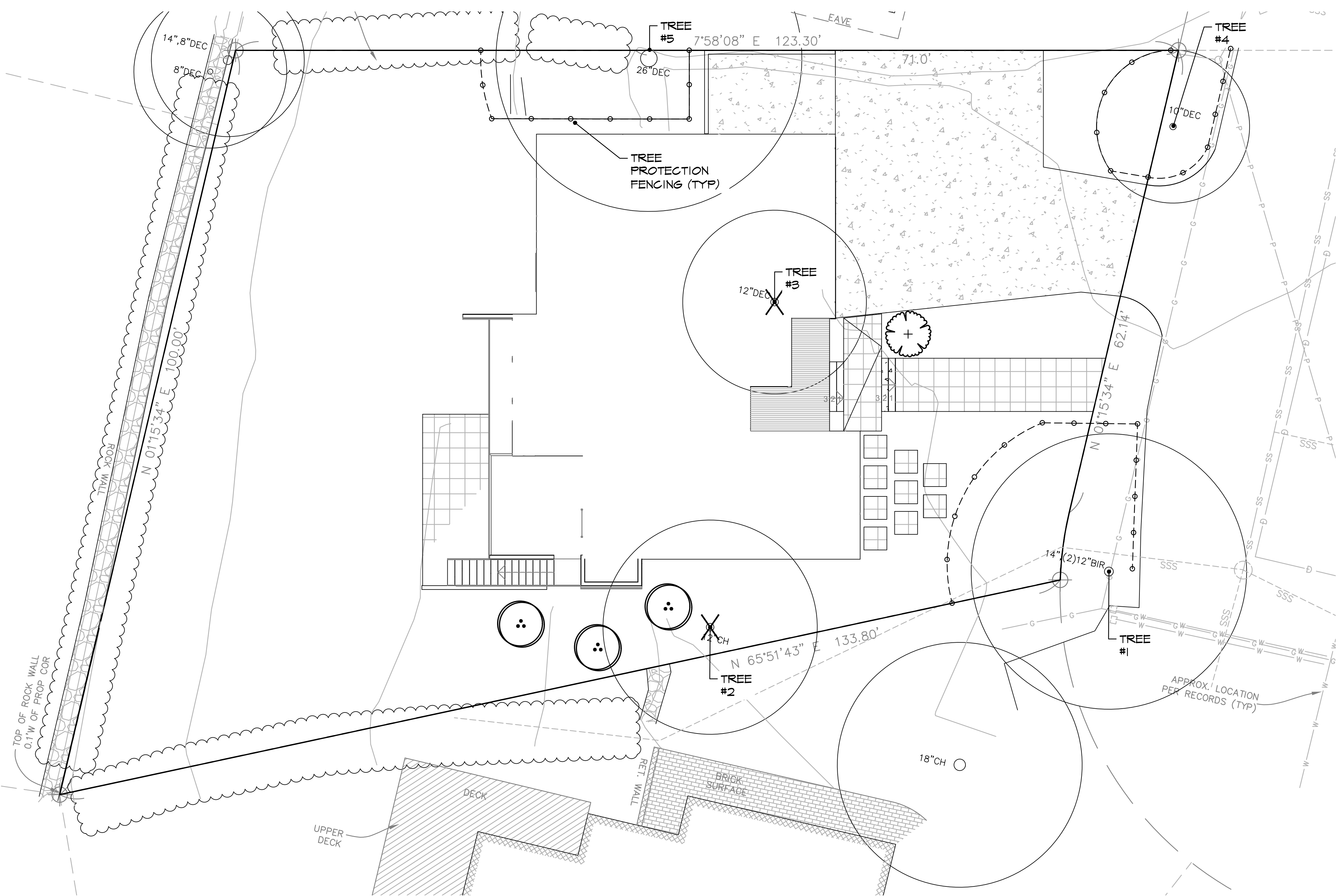
PBC
 Land Development and Civil Engineering Consultants
 5130 South 166th Lane
 Seattle, WA 98188
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ISSUE DATE	6-05-2022
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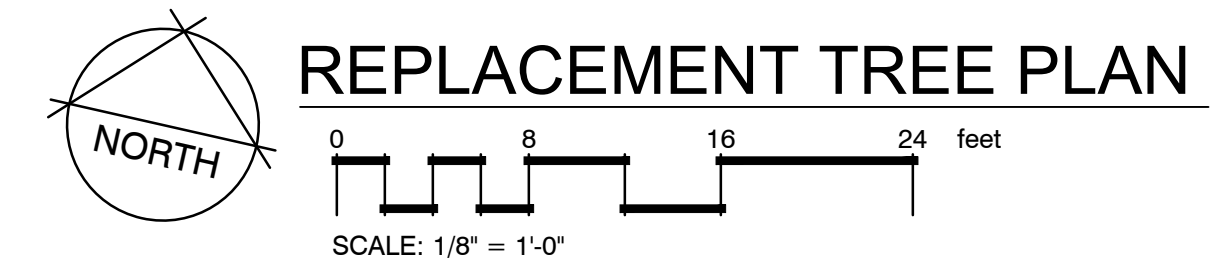
PLANT SCHEDULE

REPLACEMENT TREES	BOTANICAL / COMMON NAME	SIZE	QTY
	Acer circinatum / Vine Maple	1.5" Cal	3
	Acer japonicum 'Autumn Moon' / Autumn Moon Maple	1.5" Cal	1



Tree/ Tag #	Species Common Name	Species Scientific Name	DBH (inches)	Height (feet)	Drip-Line / Limits of Disturbance (feet)				Condition	Regulated Yes/No	Exceptional Yes/No	Comments	Proposal
					N	S	E	W					
1	European white birch	<i>Betula pendula</i>	14,13,10 (22)	55	18/14	14	18	16/14	Fair-Good	Yes	No	fairly good form and vigor	Save
2	Mt. Fuji Cherry	<i>Prunus serrulata 'Shirotae'</i>	*14	20	8	12	12	6	Good	Yes	No	young specimen, close to house	Remove
3	Kwanzan cherry	<i>Prunus serrulata 'Kwanzan'</i>	15	22	10	6	8	8	Fair	Yes	No	topped in past, close to house	Remove
4	flowering dogwood	<i>Cornus florida</i>	7,5,4,4 (10)	16	10	10/7	6	8/7	Good	Yes	No	typical cluster, topped in past	Save
5	European beech	<i>Fagus sylvatica L.</i>	28	78	22	18/5	22/16	18/16	Good	Yes	No	good form, good vigor, close to house	Save
Neighboring Trees													
Trees #1 and #5 possibly 'boundary line' trees													

* - caliper measurement at one-foot above ground
 Drip-Line and Limits of Disturbance measurements from face of trunk
 Calculated DBH: the DBH is parenthesis is the square root of the sum of the dbh for each individual stem squared (example with 3 stems: dbh = square root [(stem1)² +(stem2)² +(stem3)²]).



PROJECT ARBORIST TO MONITOR ANY EXCAVATION WITHIN THE DRIPLINES OF RETAINED/OR IMPACTED TREES. CARE SHALL BE TAKEN WHEN WORKING NEAR TREES TO PROTECT SOILS AND SURFACE ROOTS THAT LIKELY EXTEND BEYOND THE DRIPLINE. COVER AREAS WITH A PROTECTIVE 6-8-INCH LAYER OF WOOD CHIPS OR HOG FUEL TO PROTECT SOILS FROM COMPACTION AND DAMAGED TO SURFACE ROOTS.

Tree Protection Measures

The following guidelines are recommended to ensure that the designated space set aside for the preserved trees are protected and construction impacts are kept to a minimum. Standards have been set forth under MICC 19.10.080. Please review these standards prior to any development activity.

- Tree protection fencing shall be erected per attached tree plan prior to moving any heavy equipment on site. Doing this will set clearing limits and avoid compaction of soils within root zones of retained trees.
- Excavation limits shall be laid out in paint on the ground to avoid over excavating.
- Excavations within the driplines shall be monitored by a qualified tree professional so necessary precautions can be taken to decrease impacts to tree parts. A qualified tree professional shall monitor excavations when work is required and allowed within the drip-line or critical root zone.
- To establish sub grade for foundations, curbs and pavement sections near the trees, soil shall be removed parallel to the roots and not at 90-degree angles to avoid breaking and tearing roots that lead back to the trunk within the dripline. Any roots damaged during these excavations shall be hand-excavated and exposed to sound tissue and cut cleanly with a saw prior to backfilling or finishing areas.
- Areas excavated within the drip-line of retained trees shall be thoroughly irrigated weekly during dry periods.
- Preparations for final landscaping shall be accomplished by hand within the driplines of retained trees. Large equipment shall be kept outside of the tree protection zones at all times.

CITY OF MERCER ISLAND
 COMMUNITY PLANNING & DEVELOPMENT
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TREE INVENTORY & REPLACEMENT SUBMITTAL INFORMATION

EXCEPTIONAL TREES
Exceptional Trees- means a tree or group of trees that because of its unique historical, ecological or aesthetic value constitutes an important community resource. A tree that is rare or exceptional by virtue of its size, species, condition, cultural/historical importance, age, and/or contribution as part of a tree grove. Trees with a diameter of more than 36 inches, or with a diameter that is equal to or greater than the diameter listed in the *Exceptional Tree Table* shown in MICC 19.16 under Tree, Exceptional.

List the total number of trees for each category and the tree identification numbers from the arborist report.

Number of trees 36" or greater	0
List tree numbers:	
Number of trees 24" or greater (including 36" or greater)	1
List tree numbers:	5
Number of trees from Exceptional Tree Table (MICC 19.16)	0
List tree numbers:	

LARGE REGULATED TREES
Large Regulated Trees- means any tree with a diameter of 10 inches or more, and any tree that meets the definition of an *Exceptional Tree*.

Number of Large Regulated Trees on site	5	(A)
List tree numbers:	1,2,3,4,5	
Number of Large Regulated Trees on site proposed for removal	2	(B)
List tree numbers:	2,3	
Percentage of trees to be retained ((A-B)/Ax100) note: must be at least 30%	60	%

RIGHT OF WAY TREES
Right of Way Trees- means a tree that is located in the street right of way adjacent to the project property.

Number of Large Regulated Trees in right of way	0
List tree numbers:	
Number of Large Regulated Trees in right of way proposed for removal	0

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List tree numbers: _____
 Reason for removal: _____

TREE REPLACEMENT

Tree replacement- removed trees must be replaced based on the ratio in the table below. Replacement trees shall be conifers at least six feet tall and or deciduous at least one and one-half inches in diameter at base.

Diameter of Removed Tree (measured 4.5' above ground)	Tree replacement Ratio	Number of Trees Proposed for Removal	Number of Tree Required for Replacement Based on Size/Type
Less than 10"	1	0	0
10" up to 24"	2	2	4
Greater than 24" up to 36"	3	0	0
Greater than 36" and any Exceptional Tree	6	0	0
TOTAL TREE REPLACEMENTS			4

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PROJECT TITLE

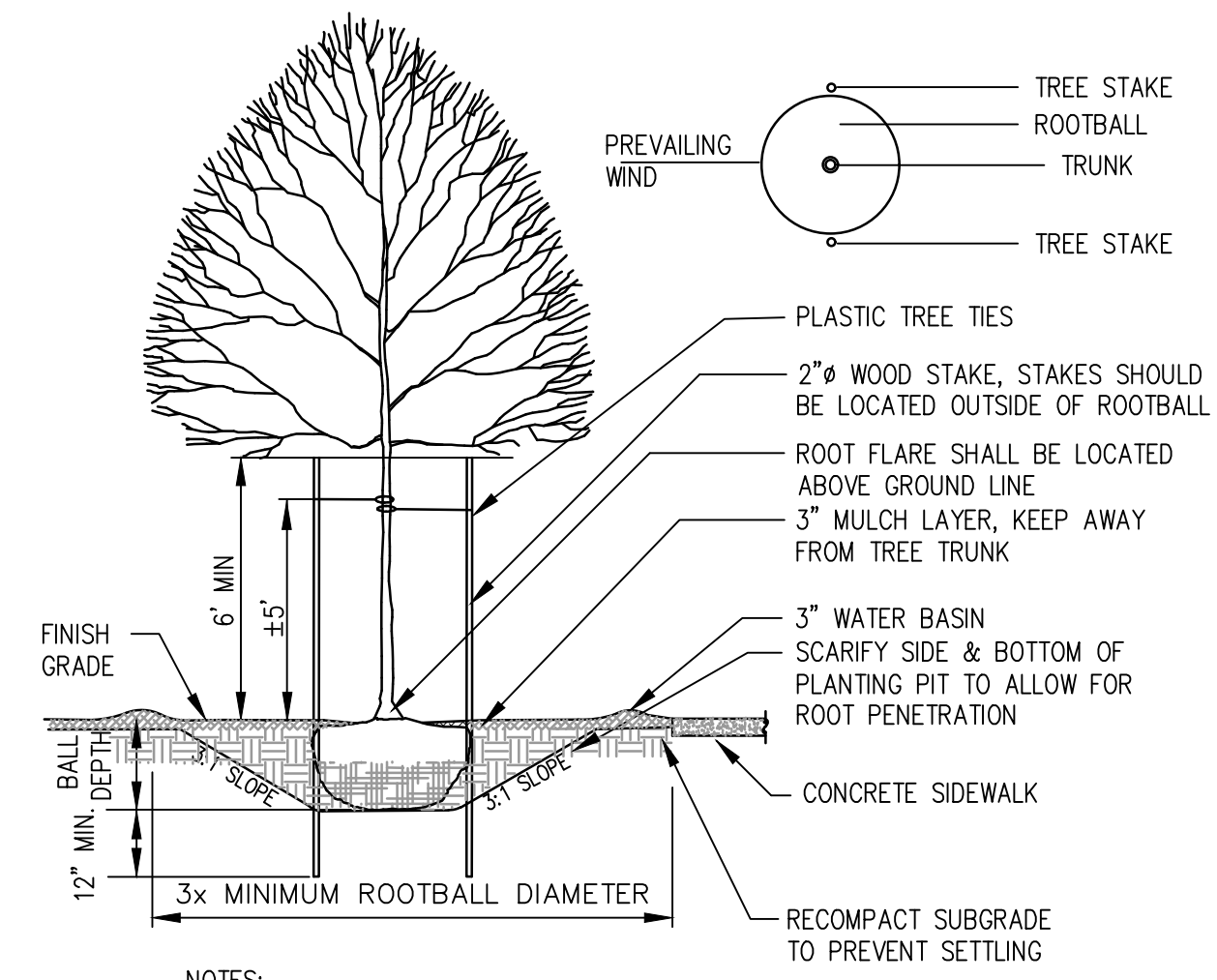
REPLACEMENT TREE PLAN

6221 83RD PL SE MERCER ISLAND, WA

DRAWN: ROD DATE: 05.26.22
 REVISED: DATE:

1/8" = 1'-0"

L1

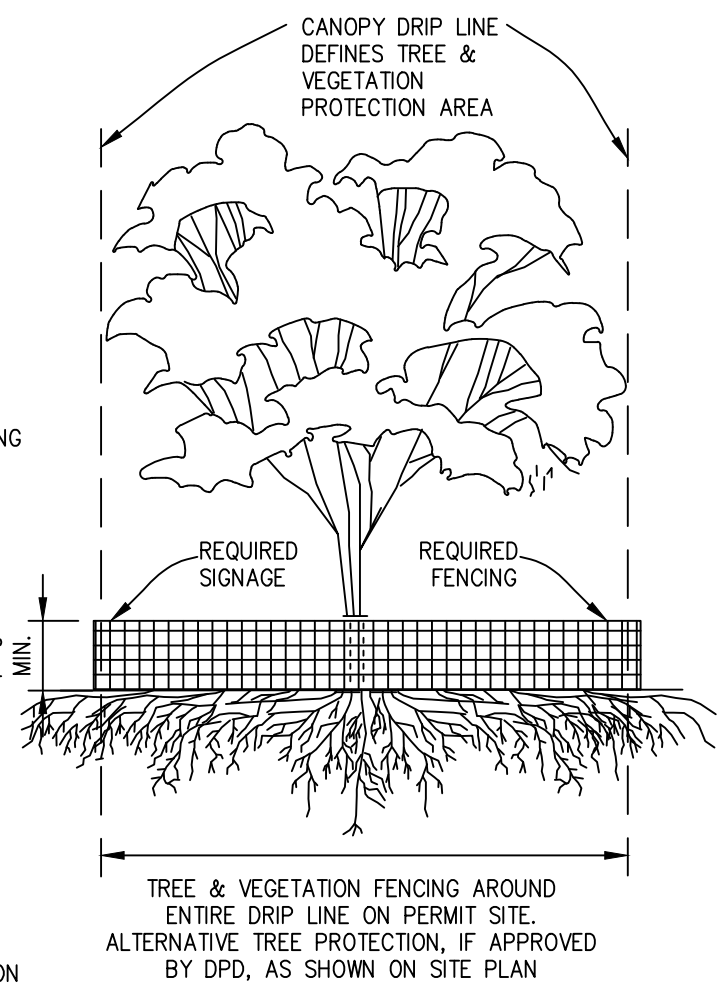


- NOTES:**
1. TREE PIT SHALL NOT BE LESS THAN (3) TIMES ROOT BALL DIA.
 2. CUT ALL TIES AND FOLD BACK BURLAP FROM UPPER 1/3 OF ROOT BALL
 3. REMOVE ALL PLASTIC AND TWINE
 4. TREE STAKES PERPENDICULAR TO THE PREVAILING WIND
 5. PLANT TREES 2" HIGHER THAN DEPTH GROWN IN NURSERY

1 TYPICAL DECIDUOUS TREE PLANTING DETAIL
NTS

TREE PROTECTION FENCING AND SIGN

1. CHAIN LINK, WIRE MESH, OR SIMILAR OPEN RIGID MATERIAL (NO PLYWOOD)
2. MUST BE INSTALLED PRIOR TO DEMOLITION OR GROUND DISTURBANCE
3. KEPT IN PLACE FOR THE DURATION OF CONSTRUCTION
4. NO SOIL DISTURBANCE OR ACTIVITY ALLOWED WITHIN FENCED AREA: MATERIAL STORAGE/STOCKPILING, PARKING, EXCAVATION, DUMPING, OR WASHING
5. MODIFICATIONS OF THESE REQUIREMENTS BY APPROVAL OF DPD PLANNER ONLY
6. IF ROOTS GREATER THAN 2 INCH FOUND OUTSIDE OF FENCING, PROTECT BY HAND EXCAVATION AND, IF NECESSARY, CUT CLEANLY AND KEEP MOIST
7. USE 3 INCHES OR DEEPER WOOD CHIP MULCH OUTSIDE FENCED AREAS TO PROTECT FEEDER ROOTS



VEGETATION PROTECTION

1. ORANGE MESH OR SIMILAR OPEN MATERIAL
2. MINIMIZE CONSTRUCTION ZONE
3. PROTECT VEGETATION OUTSIDE CONSTRUCTION ZONE WITH FENCING AS SHOWN
4. USE 3 INCHES OR DEEPER WOOD CHIP MULCH OUTSIDE FENCED AREAS TO PROTECT FEEDER ROOTS

2 TREE & VEGETATION PROTECTION

LANDSCAPE NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH ALL OTHER SITE IMPROVEMENTS AND CONDITIONS PRIOR TO STARTING LANDSCAPE WORK.
2. CONTRACTOR SHALL USE CAUTION WHILE EXCAVATING TO AVOID DISTURBING ANY UTILITIES ENCOUNTERED. CONTRACTOR IS TO PROMPTLY ADVISE OWNER OF ANY DISTURBED UTILITIES. LOCATION SERVICE PHONE 1-800-424-5555.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPUTING SPECIFIC QUANTITIES OF GROUND COVERS AND PLANT MATERIALS UTILIZING ON-CENTER SPACING FOR PLANTS AS STATED ON THE LANDSCAPE PLAN AND MINIMUM PLANTING DISTANCES AS SPECIFIED BELOW IN THESE NOTES.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE QUANTITIES OF PLANTS THAT ARE REPRESENTED BY SYMBOLS ON THE DRAWINGS.
5. SUBGRADE IS TO BE WITHIN 1/8" OF ONE FOOT AS PROVIDED BY OTHERS. ALL PLANTING AREAS TO BE CLEARED OF ALL CONSTRUCTION MATERIAL AND ROCKS AND STICKS LARGER THAN 2" DIAMETER.
6. 6" DEPTH TOPSOIL IN BED AREAS AND 4" IN ALL LAWN AREAS.
7. 2" DEPTH BARK IN ALL BED AREAS.
8. ALL PLANT MATERIAL SHALL BE FERTILIZED WITH AGRO TRANSPLANT FERTILIZER 4-2-2 PER MANUFACTURER'S SPECIFICATIONS.
9. ALL PLANT MATERIAL SHALL CONFORM TO AAN STANDARDS FOR NURSERY STOCK, LATEST EDITION. ANY REPLACEMENTS MADE AT ONCE.
 - 9.A. GENERAL: ALL PLANT MATERIAL FURNISHED SHALL BE HEALTHY REPRESENTATIVES, TYPICAL OF THEIR SPECIES OF VARIETY AND SHALL HAVE A NORMAL GROWTH HABIT. THEY SHALL BE FULL, WELL BRANCHED, WELL PROPORTIONED, AND HAVE A VIGOROUS, WELL DEVELOPED ROOT SYSTEM. ALL PLANTS SHALL BE HARDY UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
 - 9.B. TREES, SHRUBS, AND GROUND COVER: QUANTITIES, SPECIES, AND VARIETIES, SIZES AND CONDITIONS AS SHOWN ON THE PLANTING PLAN. PLANTS TO BE HEALTHY, VIGOROUS, WELL FOLIATED WHEN IN LEAF. FREE OF DISEASE, INJURY, INSECTS, DECAY, HARMFUL DEFECTS, AND ALL WEEDS. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT OR OWNER.
10. ALUMINUM EDGING, PERMALOC OR APPROVED EQUAL, TO BE INSTALLED BETWEEN BARK AND COBBLE.

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PROJECT TITLE

LANDSCAPE DETAILS & NOTES

6221 83RD PL SE MERCER ISLAND, WA

DRAWN ROD	DATE 05.26.22
REVISED	DATE

NTS

L3