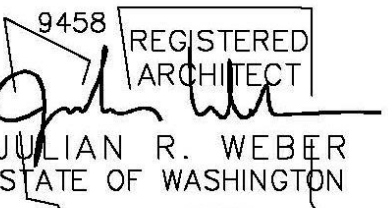




JULIAN WEBER ARCHITECTS, LTD

1257 S King St  
Seattle, WA 98144  
206.953.1305

www.jwaseattle.com



COOMBS DEVELOPMENT

4701 SW ADMIRAL WAY, SUITE 385  
SEATTLE, WA 98116  
P 206.420.7672

Coombes Residence

6221 83rd Pl SE  
Mercer Island

# Coombes Residence

6221 83rd Pl SE  
Mercer Island

## PROJECT INFORMATION

MUP # na  
BP # 2207-110

**PROJECT DESCRIPTION:**  
DEMO EXISTING SFR; CONSTRUCT NEW SFR WITH ATTACHED 2-CAR GARAGE AND 1 OPEN PARKING STALL

**LEGAL DESCRIPTION:**  
LOT 22, BLOCK 1, MERCER VISTA, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 67 OF PLATS, PAGE 1, RECORDS OF KING COUNTY, WASHINGTON.

**TAX #:**  
545420-0220

## PROJECT TEAM

**OWNER/ APPLICANT:**  
COOMBS DEVELOPMENT  
4701 SW ADMIRAL WAY, SUITE 385  
SEATTLE, WA 98116  
P 206.420.7672

**STRUCTURAL ENGINEER:**  
MALSAM TSANG STRUCTURAL ENGINEERING  
122 S JACKSON ST #210  
SEATTLE, WA 98104  
P 206.789.6038

**ARCHITECT/PROJECT CONTACT:**  
JULIAN WEBER ARCHITECTS, LTD  
1257 S KING ST  
SEATTLE, WA 98144  
P 206.953.1305

**LANDSCAPE ARCHITECT:**  
DEVIN PETERSON  
ROOT OF DESIGN, LLC  
7104 265TH ST NW, SUITE #218  
STANWOOD, WA 98292  
P 206.491.9545

**SURVEYOR:**  
TERRANE  
10801 MAIN STREET, SUITE 102  
BELLEVUE, WA 98004  
P 425.458.4488

**CIVIL ENGINEER:**  
HAN PHAN  
5130 SOUTH 146TH LANE  
SEATAC, WA 98188  
P 206.229.6422  
PBG

## PROJECT DATA

**ZONE:** R-9.6

**LOT AREA:** 10,248 SF

**FLOOR AREA RATIO:**  
SEE SHEET A0.2 FOR DIAGRAM

GFA TABLE			
FLOOR AREA LABEL	GFA	CHARGEABLE FLOOR AREA	EXEMPT PER
Basement	314 SF	314.36 SF	
Basement	808 SF	0.00 SF	MICC Title 19 -Appendix B
covered deck	333 SF	332.69 SF	
Garage	619 SF	619.44 SF	
Level 1	1,371 SF	1,371.30 SF	
Level 2	1,439 SF	1,438.74 SF	
stairs	107 SF	0.00 SF	MICC 19.02.020.D.2.c
<b>TOTAL</b>	<b>4,992 SF</b>	<b>4,076.52 SF</b>	

## SETBACKS PER MIIC 19.02.020.C:

	REQUIRED	ACTUAL
FRONT	20'-0"	22'-7 1/2"
SIDE, NORTH	10'-0"	11'-0"
SIDE, SOUTH (>25' HEIGHT)	10'-0"	10'-8 1/2"
SIDE, SOUTH (<15' HEIGHT)	5'-0"	7'-6"
REAR	25'-0"	36'-10 1/4"

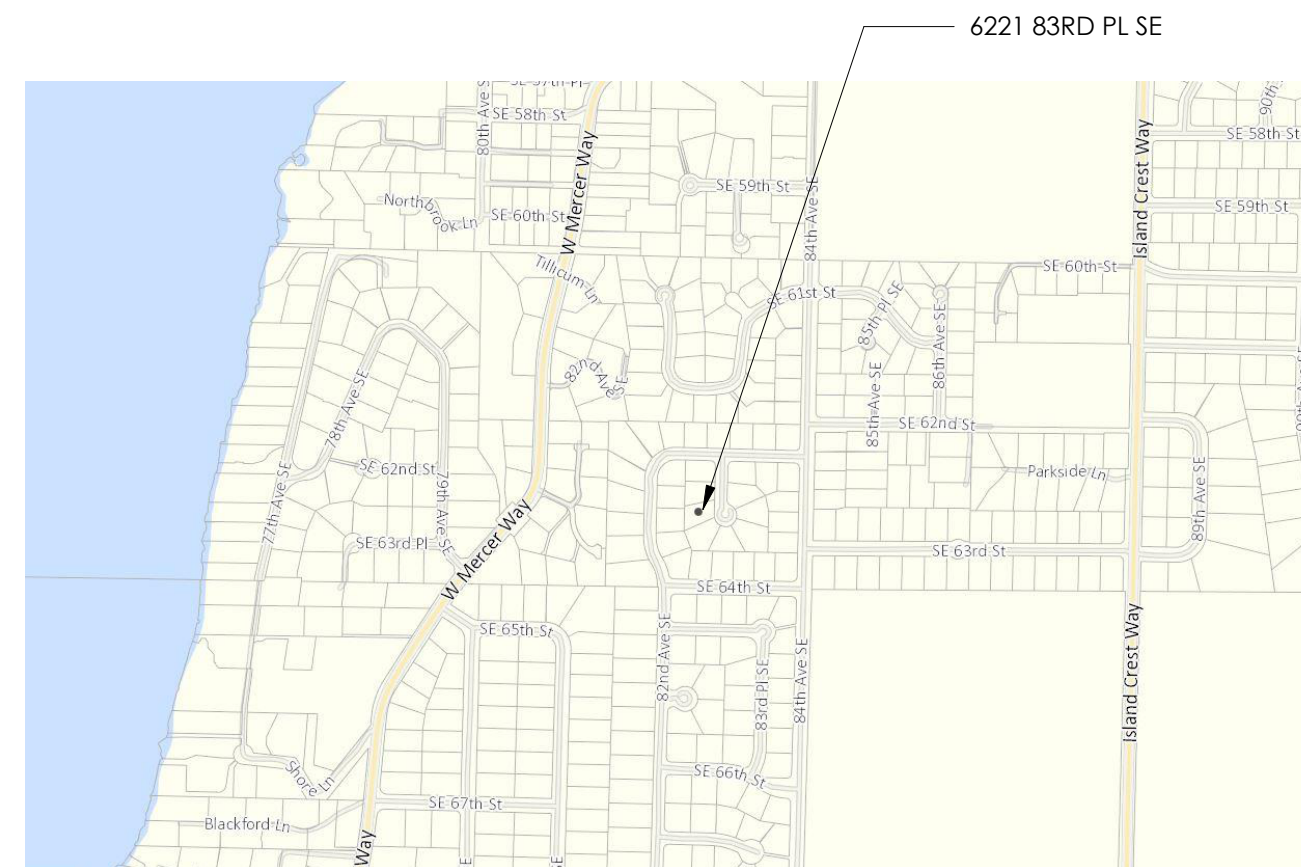
## STRUCTURE HEIGHT LIMIT PER PER MIIC 19.02.020.E:

30' MAXIMUM HEIGHT  
(SEE SHEET A1.2 FOR HEIGHT CALCULATION)

## LOT COVERAGE PER MIIC 19.02.020.F:

EXISTING = 3,364 SF  
PROPOSED = 3,995.21 SF  
(SEE SHEET A1.2 FOR CALCUALTION)

**FIRE SPRINKLER SYSTEM:** NFPA 13R  
- INSTALLED PER COMI AND NPFA STANDARDS  
- UPON WATER FLOW ACTIVATION OF THE SPRINKLER SYSTEM, THE FIRE ALARM SYSTEM MUST ACTIVATE. BOTH NEED TO BE MONITORED BY A UL LISTED MONITORING SERVICE.



## VICINITY MAP

SCALE: N.T.S.

## ARCHITECTURAL NOTES:

(THE FOLLOWING APPLY UNLESS SHOWN OTHERWISE ON THE PLANS)

- ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE INTERNATIONAL RESIDENTIAL CODE (2018 EDITION) WITH MERCER ISLAND AMENDMENTS.
- CONTRACTOR: SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED.
- CONTRACTOR: SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS.
- CONTRACTOR: SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE WORK.
- DRAWINGS: INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED. SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT/DESIGNER.
- ALL WOOD PLATES: IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED WITH AN APPROVED PRESERVATIVE. PROVIDE 2 LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER BETWEEN UNTREATED LEDGERS, BLOCKING, ETC., AND CONCRETE OR MASONRY.
- PRESSURE TREATED LUMBER: ALL FASTENERS AND CONNECTORS THAT ARE IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED WITH A MINIMUM COATING OF G90 (.90oz/sf) PER ASTM A123 AND/OR ASTM A153. 304 OR 316 STAINLESS STEEL MAY BE SUBSTITUTED IN LIEU OF GALVANIZED PRODUCTS. NO STAINLESS STEEL PRODUCTS SHALL COME IN CONTACT WITH GALVANIZED PRODUCTS.
- ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO WASHINGTON STATE ENERGY CODE (2018 EDITION).

- \* ALL INTERIOR WALLS TO BE 2x4 @ 24" O.C. (U.N.O.)
- \* ALL EXTERIOR WALLS 2x6 PER STRUCTURAL
- \* HEADERS PER STRUCTURAL
- \* WINDOW SIZES ARE NOMINAL ROUGH OPENING, WIDTH AND HEIGHT.
- \* PROVIDE FIREBLOCKING AT ALL PLUMBING OPENINGS.
- \* PROVIDE SOLID BLOCKING OVER SUPPORTS.
- \* SEISMIC ANCHORAGE AND STRAPPING OF WATER HEATERS SHALL BE IN ACCORDANCE WITH SECTION 507.2 OF THE UNIFORM PLUMBING CODE.
- \* PROVIDE OUTDOOR COMBUSTION AIR FOR FURNACE AND WATER HEATER PER IRC G2407.6.

NO SEDIMENT SHALL BE TRACKED INTO THE STREET OR ONTO PAVED SURFACES. SEDIMENT SHALL BE REMOVED FROM TRUCKS AND EQUIPMENT PRIOR TO LEAVING THE SITE. IN THE EVENT OF FAILURE OF EROSION CONTROL SYSTEM RESULTING IN SEDIMENT BEING TRACKED ONTO PAVED SURFACES, THE CONTRACTOR SHALL IMMEDIATELY IMPLEMENT MEASURES TO CORRECT THE SITUATION, AND STREET SWEEPING SHALL BE EMPLOYED ON AN EMERGENCY BASIS. IF STREET SWEEPING VEHICLES ARE UTILIZED, THEY SHALL BE OF THE TYPE THAT ACTUALLY REMOVES SEDIMENT FROM THE PAVEMENT.

## SUMMARY LIST OF APPLICABLE CODES:

- 2018 International Building Code (IBC)
- 2018 International Residential Code (IRC)
- 2018 International Mechanical Code (IMC)
- 2018 International Fuel Gas Code (IFGC)
- 2018 Uniform Plumbing Code (UPC)
- 2018 International Fire Code (IFC)
- Washington State Energy Code (WCEC)
- ICC/ANSI A117.1-09, Accessible and Usable Buildings and Facilities, with statewide and City amendments



## LIST OF DRAWINGS

GENERAL	
A0.0	COVERSHEET
A0.1	SITE PLAN
SURVEY	
V1	TOPOGRAPHIC SURVEY
V2	TOPOGRAPHIC SURVEY
CIVIL	
C1	TREE PROTECTION PLAN TSEC-PLAN
C2	TREE PROTECTION PLAN TSEC-PLAN
C3	TSEC DETAILS
C4	STORMWATER/UTILITY PLAN AND DETAILS
C5	STORMWATER/UTILITY PLAN AND DETAILS
C6	DETENTION PIPE SYSTEM DETAILS
C7	DETAILS
LANDSCAPE	
L1	REPLACEMENT TREE PLAN
L2	LANDSCAPE DETAILS & NOTES
ARCHITECTURAL	
A1.2	SITE DIAGRAMS
A1.3	CRITICAL AREAS



MUP # na

BP # 2207-110

**Δ** Date Description

06.02.2022 Critical Area Submittal

06.02.2022 BP Submittal

2 01.09.2023 BP Corr 1

3 02.07.2023 ECA Corr 1

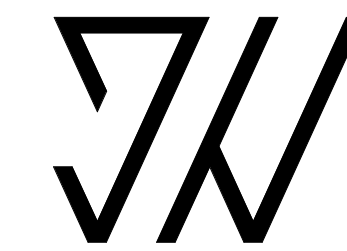
## COVERSHEET

Scale As indicated

Date 04/29/2022

# A0.0

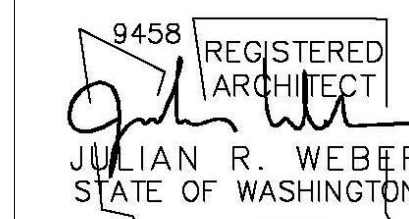
Project Number JWA#611



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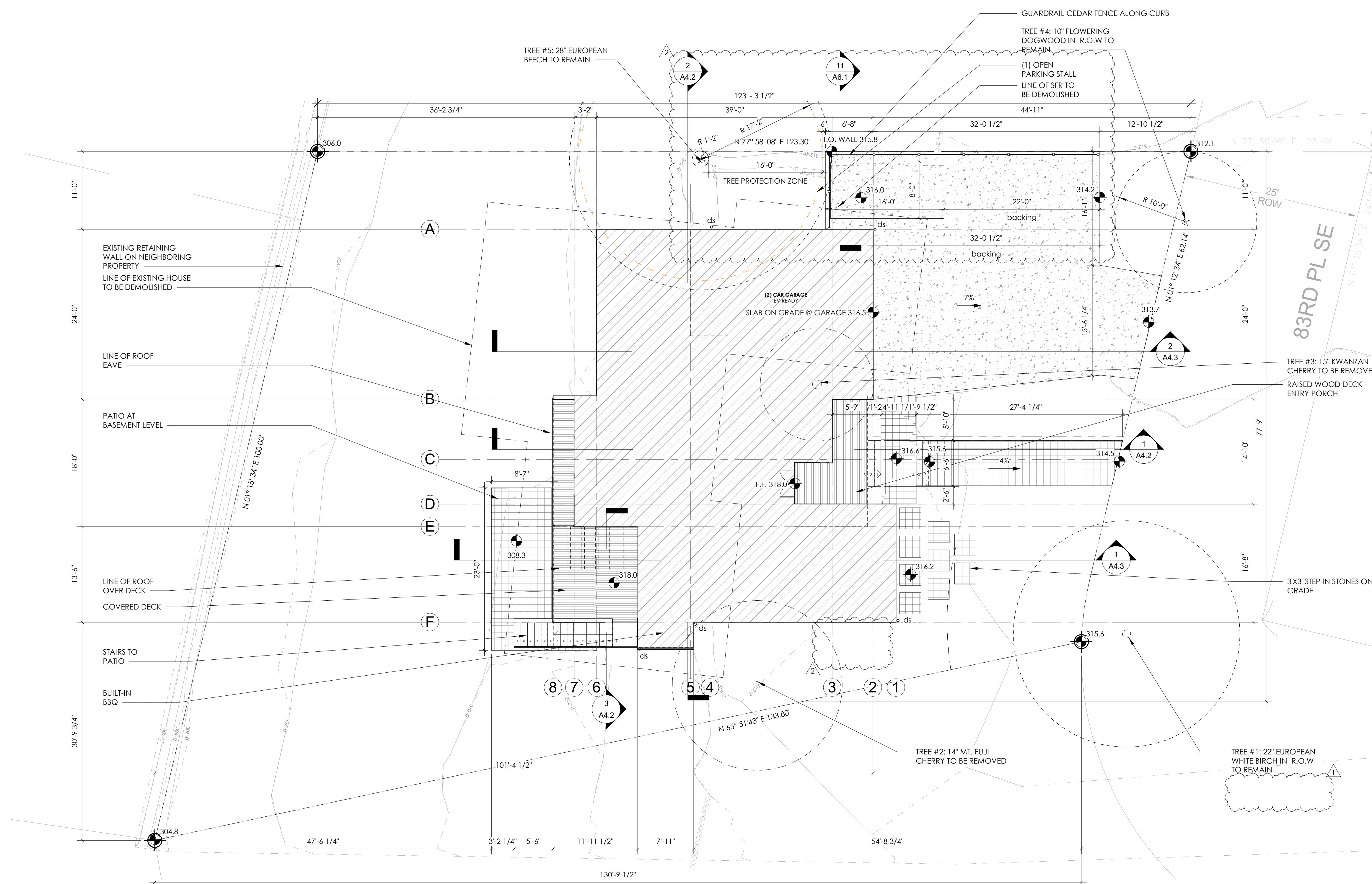


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Coombes Residence

6221 83rd Pl SE  
Mercer Island



### 1 Site Plan

SCALE: 1/8" = 1'-0"

\*PLEASE REFERENCE 1/A1.3 FOR AVERAGE BUILDING CALCULATIONS.  
\*\*PLEASE REFERENCE 1/A0.2 FOR BASEMENT FLOOR AREA CALCULATIONS.

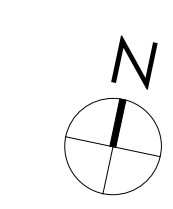
MUP #	na	
BP #	2207-110	
Δ	Date	Description
06.02.2022		Critical Area Submittal
06.02.2022		BP Submittal
12.09.2022		Client Revisions
01.09.2023		BP Corr 1

### SITE PLAN

Scale 1/8" = 1'-0"  
Date 04/29/2022

# A0.1

Project Number JWA#611



2/7/2023 1:05:01 PM

# TOPOGRAPHIC & BOUNDARY SURVEY

## LEGAL DESCRIPTION

LOT 22, BLOCK 1, MERCER VISTA, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 67 OF PLATS, PAGE 1, RECORDS OF KING COUNTY, WASHINGTON.

## BASIS OF BEARINGS

N 03°26'44" W BETWEEN SURVEY MONUMENTS FOUND AND HELD AS SHOWN HEREON, AS CALCULATED PER R1.

## REFERENCES

R1 MERCER VISTA, RECORDED IN VOL. 67 OF PLATS, PAGE 1, RECORDS OF KING COUNTY, WASHINGTON.

## VERTICAL DATUM

NAVD(88) PER CITY OF MERCER ISLAND BENCHMARK #4231  
"SAC MON 83RD AVE SE, OPP HSE #6234"  
ELEV=314.90'

SITE BM: SET NAIL W/SHINER IN ASPHALT NEAR S COR OF SITE DRIVE APRON, ELEV=314.19'

## SURVEYOR'S NOTES

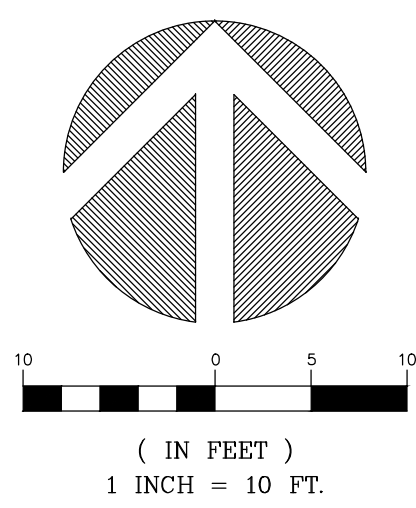
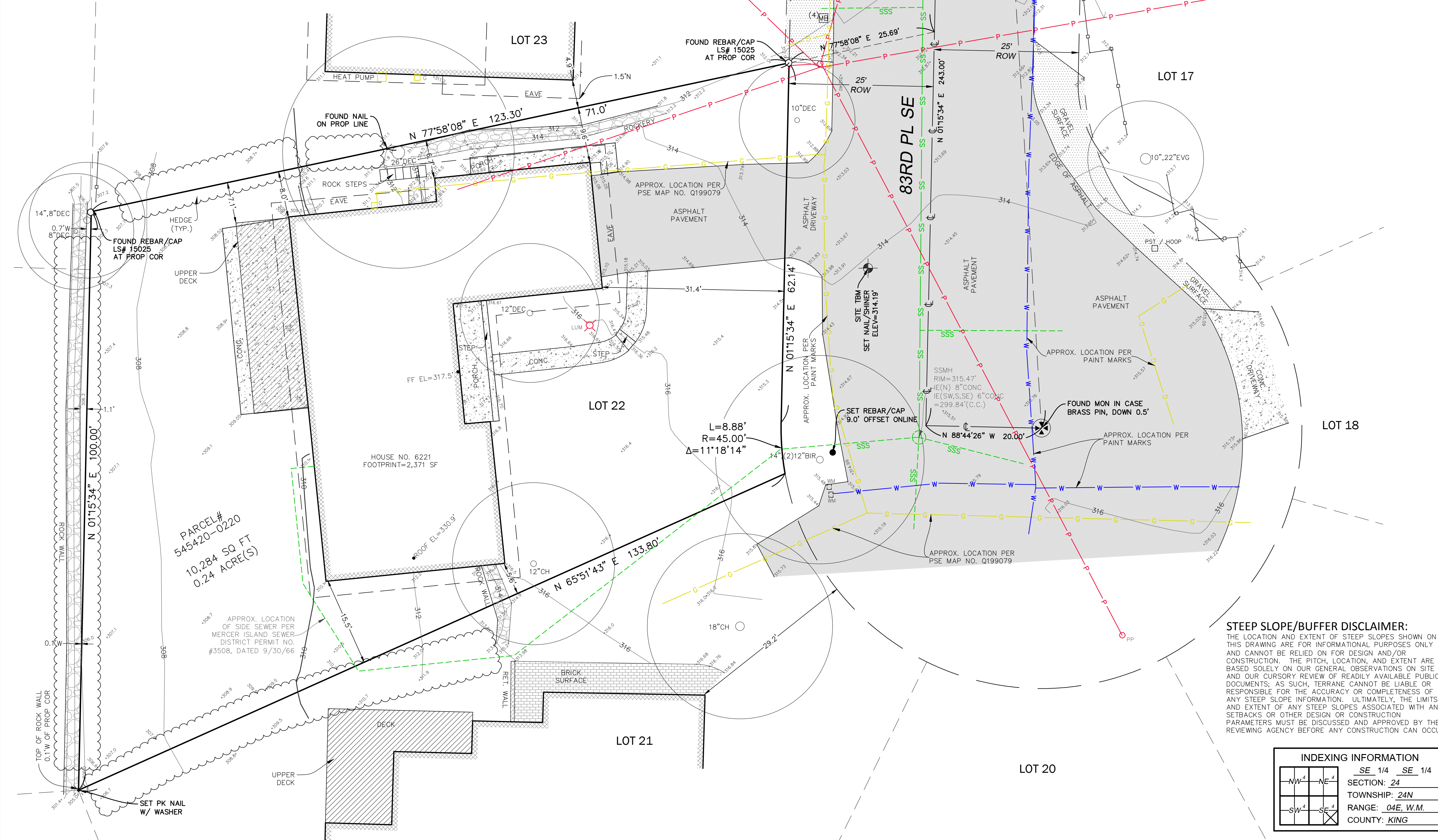
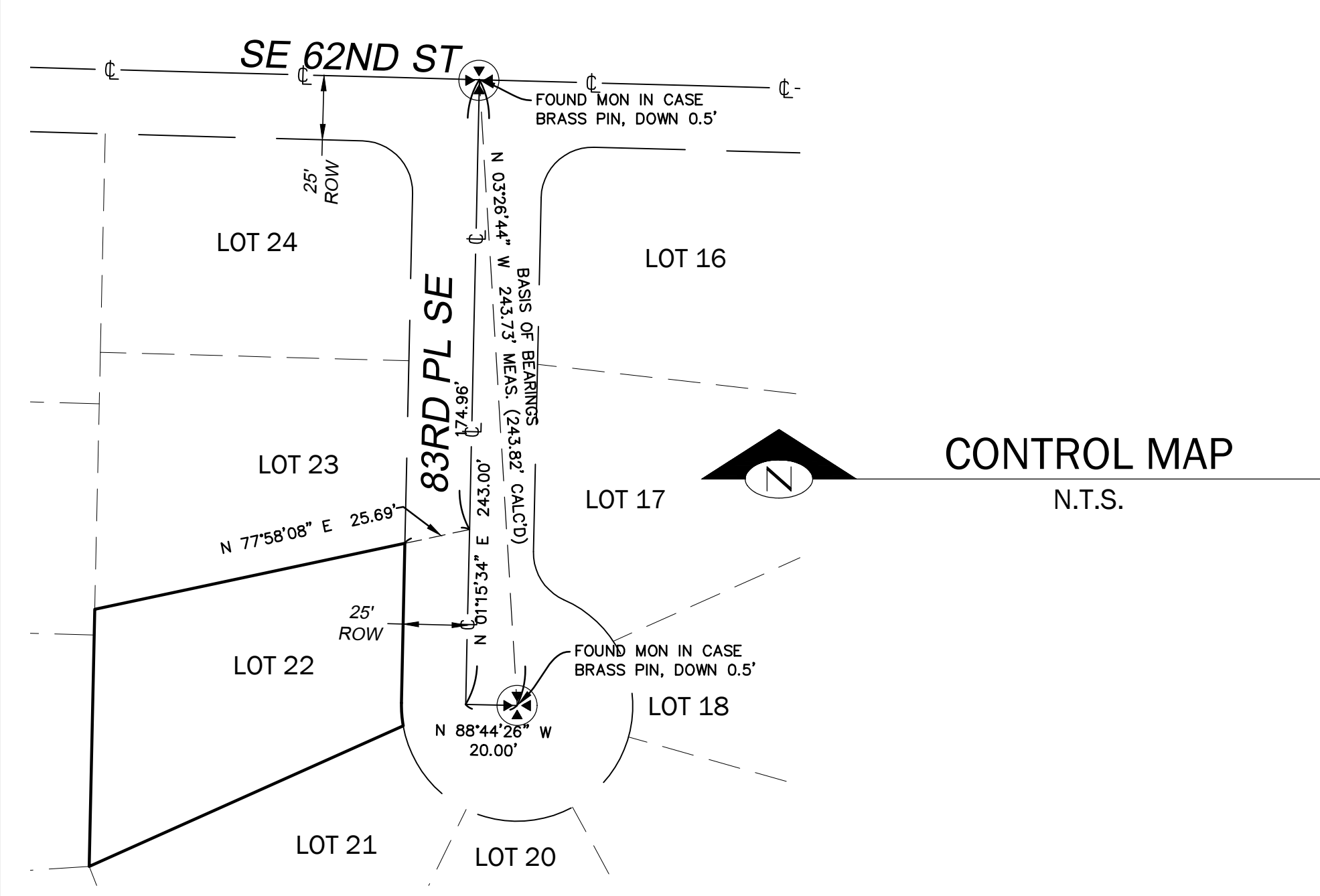
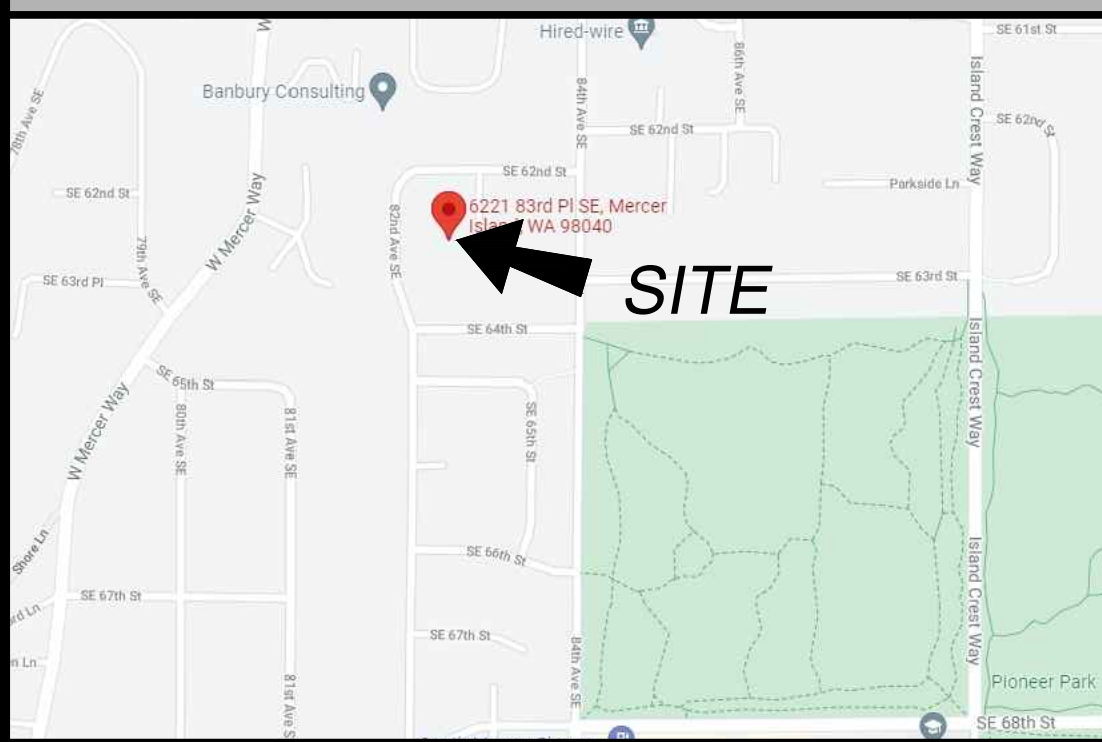
1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN NOVEMBER OF 2021 & JUNE OF 2022. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES; TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
4. SUBJECT PROPERTY TAX PARCEL NO. 545420-0220
5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 10,284 S.F. (0.24 ACRES)
6. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN HEREON.
7. EXISTING STRUCTURE(S) LOCATION AND DIMENSIONS ARE MEASURED FROM THE FACE OF THE SIDING UNLESS OTHERWISE NOTED.
8. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

## LEGEND

	BENCHMARK		MAILBOX (RESIDENTIAL)
	ASPHALT SURFACE		POST
	BRICK SURFACE		POWER (UNDERGROUND)
	BUILDING		PROPERTY LINE (SUBJECT)
	CENTERLINE ROW		PROPERTY LINES (ADJACENT)
	CONCRETE SURFACE		RIGHT-OF-WAY LINES
	RETAINING WALL		SIGN (AS NOTED)
	GAS LINE		STORM DRAIN LINE
	GAS METER		UTILITY LINE
	GUY ANCHOR		WATER VALVE
	HAND RAIL		BIRCH
	HEDGE FOLIAGE LINE		CENTER CHANNEL
	LUMINAIRE		CALCULATED CHERRY
	MONUMENT IN CASE (FOUND)		CONCRETE CORNER
	NAIL AS NOTED		DECIDUOUS
	POWER (OVERHEAD)		ELEVATION
	POWER POLE		FINISH FLOOR
	REBAR AS NOTED (FOUND)		LAND SURVEYOR NUMBER
	REBAR & CAP (SET)		MEASURED
	ROCKERY		MONUMENT
	SEWER LINE		PROPERTY
	SEWER MANHOLE		RECORD DATA
	TREE (AS NOTED)		SANITARY SEWER MANHOLE
	WATER LINE		SANITARY SIDE SEWER
	WATER METER		
	FENCE LINE (WOOD)		
	GAS VALVE		
	GRAVEL SURFACE		
	CATCH BASIN (TYPE 1)		

## VICINITY MAP

N.T.S.



**STEEP SLOPE/BUFFER DISCLAIMER:**  
THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS; AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.

INDEXING INFORMATION	
SE 1/4	SE 1/4
SECTION: 24	
TOWNSHIP: 24N	
RANGE: 04E, W.M.	
COUNTY: KING	

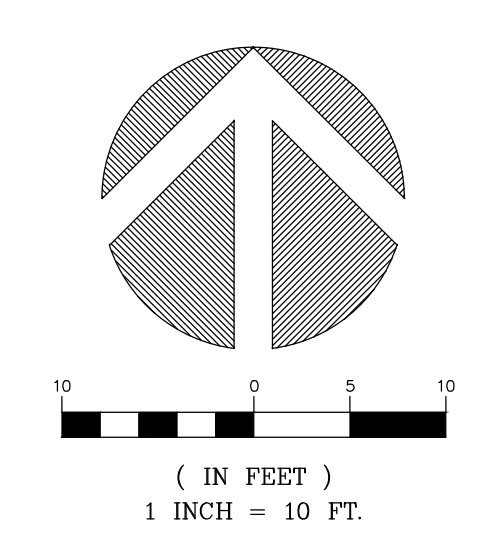
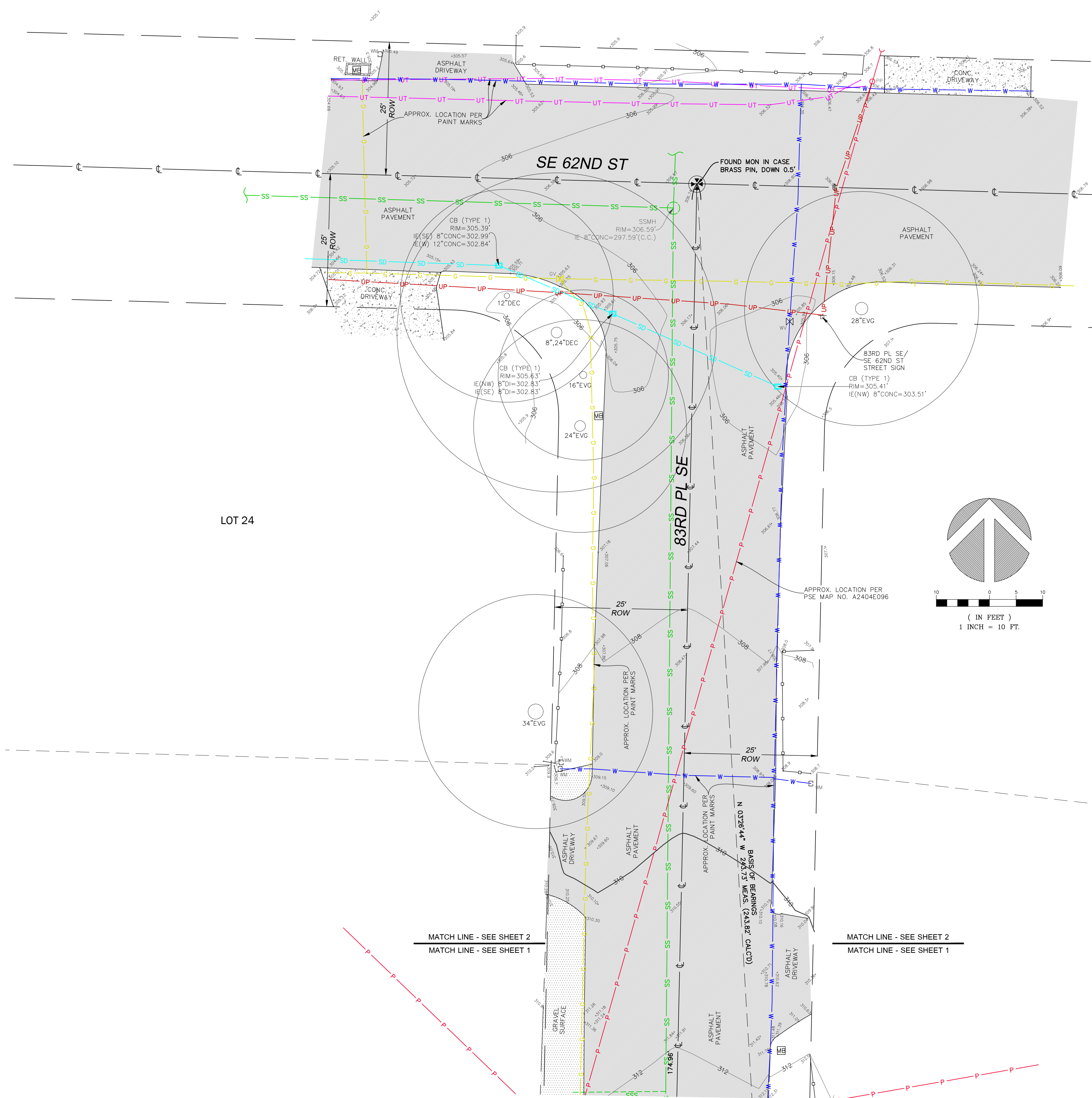
**We are the measure | terrane.net**  
**TERRANE**  
 TOPOGRAPHIC & BOUNDARY SURVEY  
 PARCEL NO. 545420-0220  
**COOMBS DEVELOPMENT - 83RD PL SE**  
 6221 83rd Pl SE  
 MERCER ISLAND, WA 98040

<b>TERRANE</b>	
10801 Main Street, Suite 102 Bellevue, WA 98004 p: 425-458-4488   e: info@terrane.net	
<b>JOB NUMBER:</b>	212419
<b>DATE:</b>	11/22/21
<b>DRAFTED BY:</b>	TLR
<b>CHECKED BY:</b>	SRM/RLS/DRT
<b>SCALE:</b>	1" = 10'
<b>REVISION HISTORY</b>	
08/22/22	ADDTL TOPO
<b>SHEET NUMBER</b>	
1 OF 2	

# TOPOGRAPHIC & BOUNDARY SURVEY

## LEGEND

	BENCHMARK		MAILBOX (RESIDENTIAL)
	ASPHALT SURFACE		POST
	BRICK SURFACE		POWER (UNDERGROUND)
	BUILDING		PROPERTY LINE (SUBJECT)
	CENTERLINE ROW		PROPERTY LINES (ADJACENT)
	CONCRETE SURFACE		RIGHT-OF-WAY LINES
	RETAINING WALL		SIGN (AS NOTED)
	DECK		STORM DRAIN LINE
	GAS LINE		UTILITY LINE
	GAS METER		WATER VALVE
	GUY ANCHOR		BIRCH
	HAND RAIL		C.C. CENTER CHANNEL
	HEDGE FOLIAGE LINE		CALC'D
	LUMINAIRE		CHERRY
	MONUMENT IN CASE (FOUND)		CONCRETE
	NAIL AS NOTED		CORNER
	POWER (OVERHEAD)		DECIDUOUS
	POWER POLE		ELEVATION
	REBAR AS NOTED (FOUND)		FINISH FLOOR
	REBAR & CAP (SET)		LAND SURVEYOR NUMBER
	ROCKERY		MEASURED
	SEWER LINE		MONUMENT
	SEWER MANHOLE		PROPERTY
	TREE (AS NOTED)		RECORD DATA
	WATER LINE		SANITARY SEWER MANHOLE
	WATER METER		SANITARY SIDE SEWER
	FENCE LINE (WOOD)		
	GAS VALVE		
	GRAVEL SURFACE		
	CATCH BASIN (TYPE 1)		



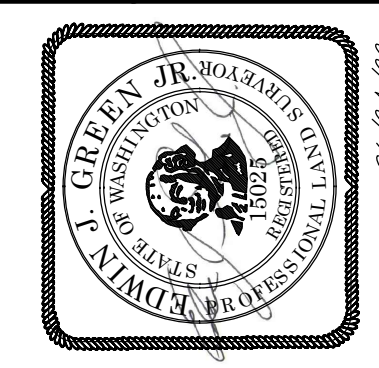
**STEEP SLOPE/BUFFER DISCLAIMER:**  
 THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS. AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.

INDEXING INFORMATION	
	SECTION: 24
	TOWNSHIP: 24N
	RANGE: 04E, W.M.
	COUNTY: KING

TOPOGRAPHIC & BOUNDARY SURVEY  
 PARCEL NO. 545420-0220

COOMBS DEVELOPMENT - 83RD PL SE

6221 83rd Pl SE  
 MERCER ISLAND, WA 98040



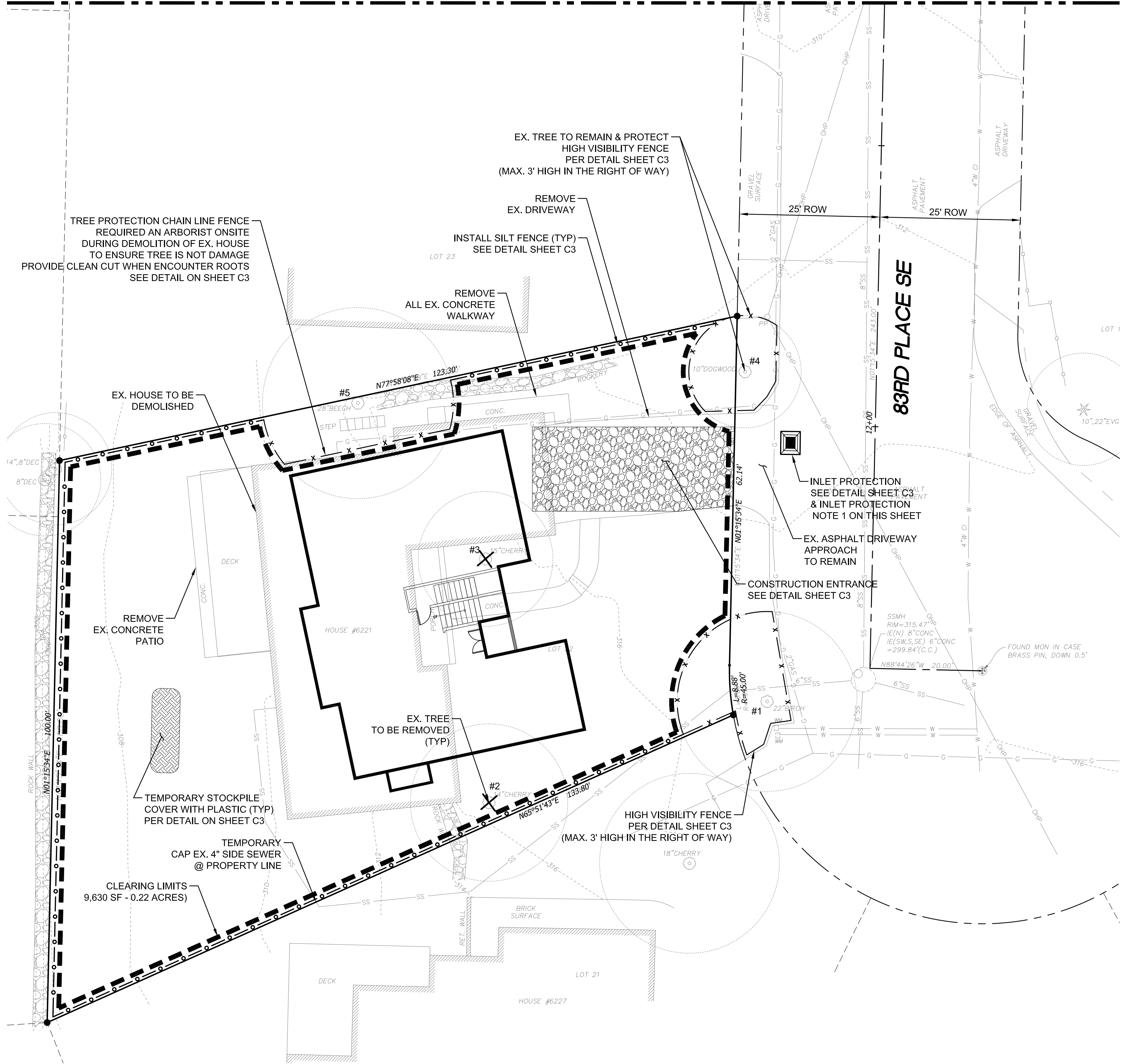
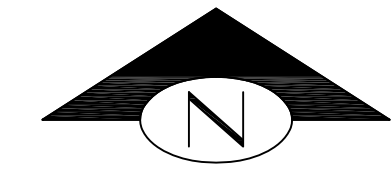
**TERRANE**  
 10801 Main Street, Suite 102  
 Bellevue, WA 98004  
 p: 425-458-4488 | e: info@terrane.net

JOB NUMBER:	212419
DATE:	11/22/21
DRAFTED BY:	TLR
CHECKED BY:	SRM/RLS/DRT
SCALE:	1" = 10'
REVISION HISTORY	
08/22/22	ADDTL TOPO
SHEET NUMBER	
2 OF 2	

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Jun 09, 2023 - 12:17pm Han Pham L:\Working\222465 - 6221 83rd Place SE (COOMBES Development)\CADD\Drawings\222465-PS-C1.dwg Layout Name: C1

MATCHLINE - SEE SHEET C2



**TREE INVENTORY:**

#1 - 14"	EUROPEAN WHITE BIRCH (BETULA PENDULA)	REGULATED-YES
#2 - 14"	MT. FUJI CHERRY (PRUNUS SERRULATA 'SHIROTAE')	REGULATED-YES
#3 - 15"	KWANZAN CHERRY (PRUNUS SERRULATA 'KWANZAN')	REGULATED-YES
#4 - 7"	FLOWERING DOGWOOD (CORNUS FLORIDA)	REGULATED-YES
#5 - 28"	EUROPEAN BEECH (FAGUS SYLVATICA L.)	REGULATED-YES

**STABILIZE SOILS:**

TEMPORARY COVER MEASURES SHALL BE PROVIDED WHEN NECESSARY TO PROTECT DISTURBED AREAS. THE INTENT OF THESE MEASURES IS TO PREVENT EROSION BY HAVING AS MUCH AREA AS POSSIBLE COVERED DURING ANY PERIOD OF PRECIPITATION. TOPSOIL LAYERS SHALL BE RETAINED AND PROTECTED TO THE MAXIMUM EXTENT FEASIBLE. ANY TOPSOIL THAT IS STOCKPILED ONSITE SHALL BE COVERED TO PREVENT EROSION AND SATURATION, AND SHALL BE REUSED IN LANDSCAPED AREAS UPON COMPLETION OF THE GROUND DISTURBING ACTIVITIES. TEMPORARY COVER SHALL BE INSTALLED IF AN AREA IS TO REMAIN UNWORKED FOR MORE THAN 7 DAYS DURING THE DRY SEASON (MAY 1 TO SEPTEMBER 30) OR FOR MORE THAN TWO CONSECUTIVE WORKING DAYS DURING THE WET SEASON (OCTOBER 1 TO APRIL 30). COVER METHODS INCLUDE THE USE OF SURFACE ROUGHENING, MULCH, EROSION CONTROL NETS AND BLANKETS, PLASTIC COVERING, SEEDING, AND SODDING. MULCH AND PLASTIC SHEETING ARE PRIMARILY INTENDED TO PROTECT DISTURBED AREAS FOR A SHORT PERIOD OF TIME, TYPICALLY DAYS TO A FEW MONTHS. SEEDING AND SODDING ARE MEASURES FOR AREAS THAT ARE TO REMAIN UNWORKED FOR MONTHS. EROSION NETS AND BLANKETS ARE TO BE USED IN CONJUNCTION WITH SEEDING STEEP SLOPES

**GENERAL NOTE:**

1. LAND CLEARING, GRADING, FILLING, AND FOUNDATION WORK ARE NOT PERMITTED BETWEEN OCTOBER 1ST AND APRIL 1ST. ANY WORK THAT IS PROPOSED DURING THE WET SEASON MUST SUBMIT A SEASONAL DEVELOPMENT LIMITATION WAIVER FOR APPROVAL BY THE BUILDING OFFICIAL

**PROJECT ENGINEER'S CERTIFICATION:**

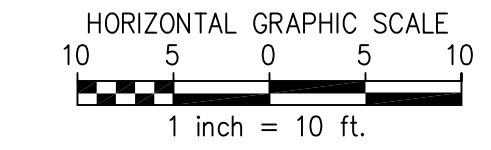
I HEREBY STATE THAT THIS CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN FOR JABOODA HOMES RESIDENCE HAS BEEN PREPARED BY ME OR UNDER MY SUPERVISION AND MEETS THE STANDARD OF CARE AND EXPERTISE WHICH IS USUAL AND CUSTOMARY IN THIS COMMUNITY OF PROFESSIONAL ENGINEERS. I UNDERSTAND THAT THE CITY OF MERCER ISLAND DOES NOT AND WILL NOT ASSUME LIABILITY FOR THE SUFFICIENCY, SUITABILITY, OR PERFORMANCE OF CONSTRUCTION SWPPP BMPs PREPARED BY ME.

**INLET PROTECTION NOTE:**

1. CONTRACTOR TO INSTALL INLET PROTECTION ON ALL CATCH BASINS DOWNSTREAM WITHIN 50'

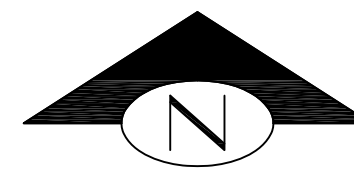
**LEGEND**

- PROPERTY LINE
- - - - - ADJACENT PROPERTY LINE
- RIGHT OF WAY LINE
- - - - - RIGHT OF WAY CENTERLINE
- ▭ PROPOSED STRUCTURE



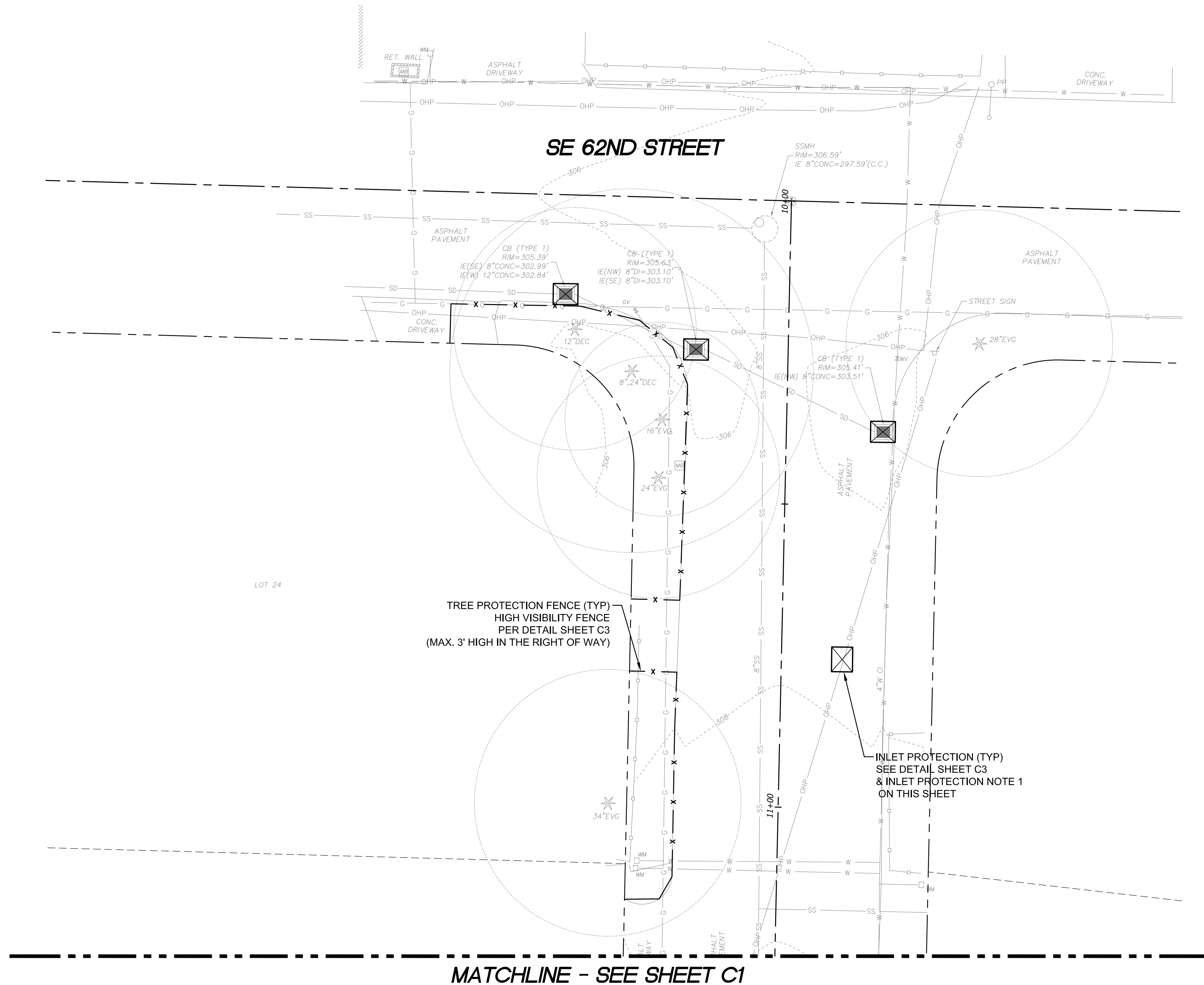
REFERENCE SHEET NO.	C1	SHEET	1
		OF	7
		SHEETS	
<p>COOMBES DEVELOPMENT 6221 83RD PLACE SE MERCER ISLAND, WA 98040</p> <p><b>TREE PROTECTION PLAN</b> TESC PLAN - 1</p>			
<p><b>PBC</b> Land Development and Civil Engineering Consultants 5130 South 166th Lane Seattle, WA 98188 T (206) 229-6422</p>			
ISSUE DATE	1-10-2023	JOB NO.	R22465
DESIGNED BY:	L. PHAN	DESIGNED BY:	L. PHAN
DRAWN BY:	L. PHAN	CHECKED BY:	H.H. PHAN
PROJ. MNGR:	H.H. PHAN		
NO.	DATE	BY	REVISION DESCRIPTION

Jan 09, 2023 - 12:23pm Han Phan L:\Working\RP22465 - 6221 83rd Place SE (COOMBES Development)\CADD Drawings\RP22465-PS-C2.dwg Layout Name: C2



**INLET PROTECTION NOTE:**  
 1. CONTRACTOR TO INSTALL INLET PROTECTION ON ALL CATCH BASINS DOWNSTREAM WITHIN 50'

**LEGEND**  
 ————— PROPERTY LINE  
 - - - - - ADJACENT PROPERTY LINE  
 - - - - - RIGHT OF WAY LINE  
 - - - - - RIGHT OF WAY CENTERLINE



TREE PROTECTION FENCE (TYP)  
 HIGH VISIBILITY FENCE  
 PER DETAIL SHEET C3  
 (MAX. 3' HIGH IN THE RIGHT OF WAY)

INLET PROTECTION (TYP)  
 SEE DETAIL SHEET C3  
 & INLET PROTECTION NOTE 1  
 ON THIS SHEET

MATCHLINE - SEE SHEET C1

REFERENCE SHEET NO. **Q2**  
 SHEET **2** OF **7** SHEETS

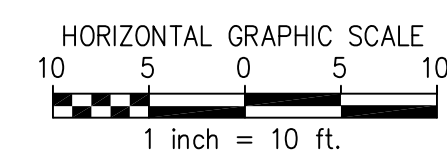
COOMBES DEVELOPMENT  
 6221 83RD PLACE SE  
 MERCER ISLAND, WA 98040  
**TREE PROTECTION PLAN**  
**TESS PLAN - 2**

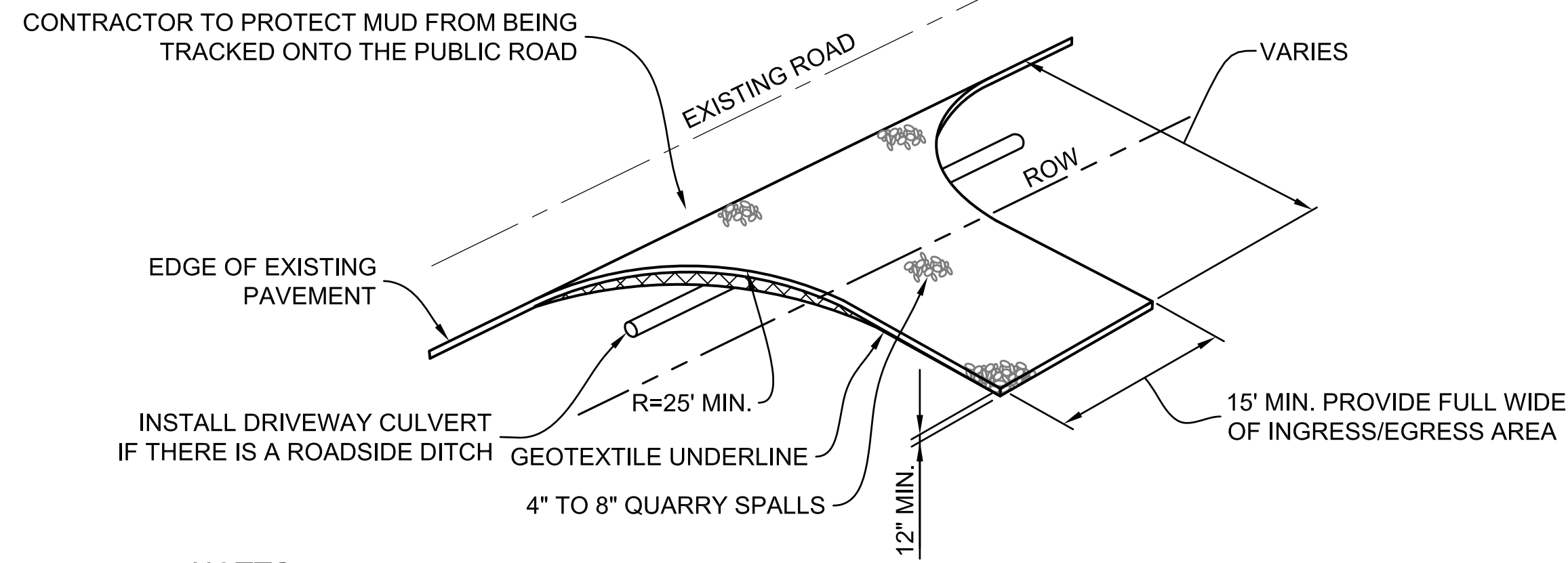


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 Land Development and Civil Engineering Consultants  
 5130 South 166th Lane  
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 T (206) 229-6422

JOB NO.	ISSUE DATE
<b>R22465</b>	1-10-2023
DESIGNED BY:	L. PHAN
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CHECKED BY:	H.H. PHAN
PROJ. MNGR:	H.H. PHAN

NO.	DATE	BY	REVISION DESCRIPTION





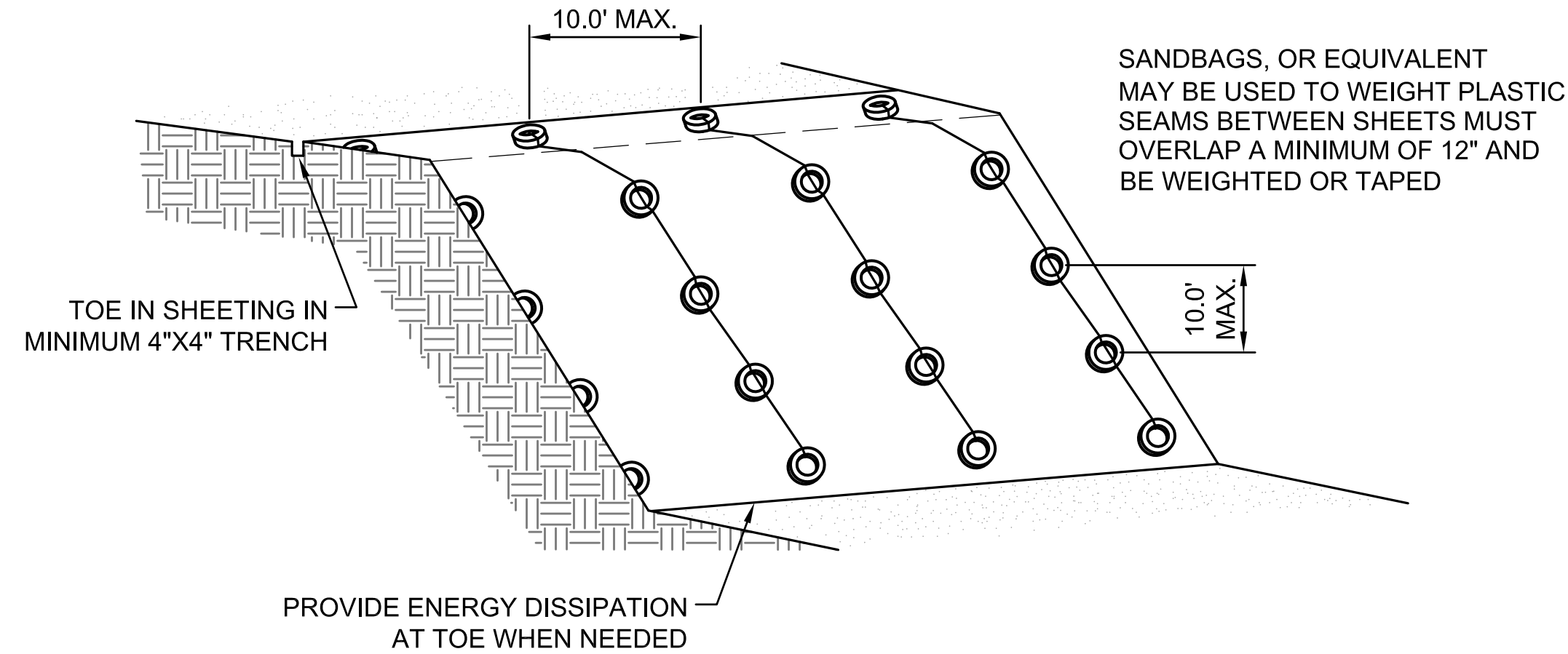
**NOTES:**

DRIVEWAYS SHALL BE PAVED TO THE EDGE OF RIGHT-OF-WAY PRIOR TO INSTALLATION OF THE CONSTRUCTION ENTRANCE TO AVOID DAMAGING OF THE ROADWAY.

IT IS RECOMMENDED THAT THE ENTRANCE BE CROWNED SO THAT RUNOFF DRAINS OFF THE ROAD.

**CONSTRUCTION ENTRANCE DETAIL**

SCALE: NONE



**PLASTIC COVERING DETAIL**

SCALE: NONE

**TREE PROTECTION AREA (TPZ)**

**KEEP OUT!**

**DO NOT REMOVE OR ADJUST THE APPROVED LOCATION OF THIS TREE PROTECTION AREA**

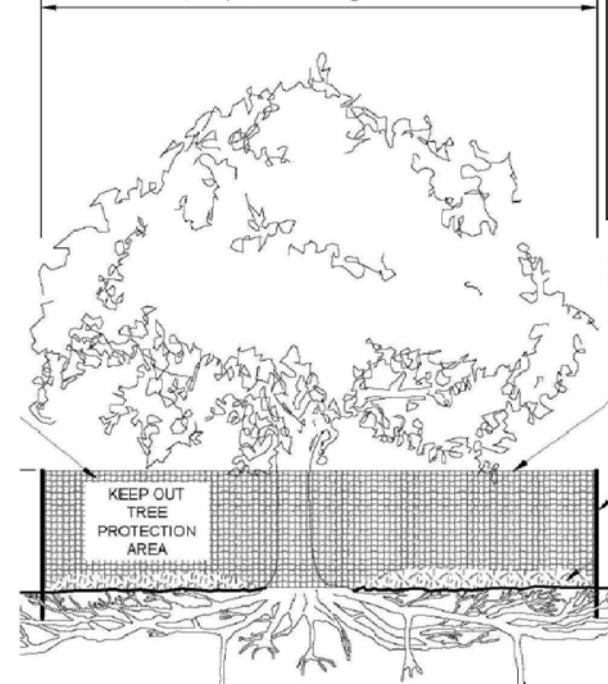
Trees enclosed by this fence are protected and are subject to the conditions of the tree permit. Violation of tree conditions may lead to:

1. Correction Notices or Stop Work Orders until compliance is achieved
2. RE Inspection Fees
3. Arborist reports recommending mitigation

**Notes**

1. No pruning shall be performed unless under the direction of an arborist
2. No equipment shall be stored or operated inside the protective fencing including during fence installation and removal
3. No storage of materials shall occur inside the protective fencing
4. Refer to Site/Utility Plan for allowable modifications to the tree protection area.
5. Unauthorized activities in tree protection area may require evaluation by private arborist to identify impacts and mitigation required
6. Exposed roots: For roots > 1" damaged during construction, make a clean straight cut to remove damaged portion and inform City Arborist.

Crown drip line or other limit of Tree Protection area. See Site/Utility Plan for fence alignment.

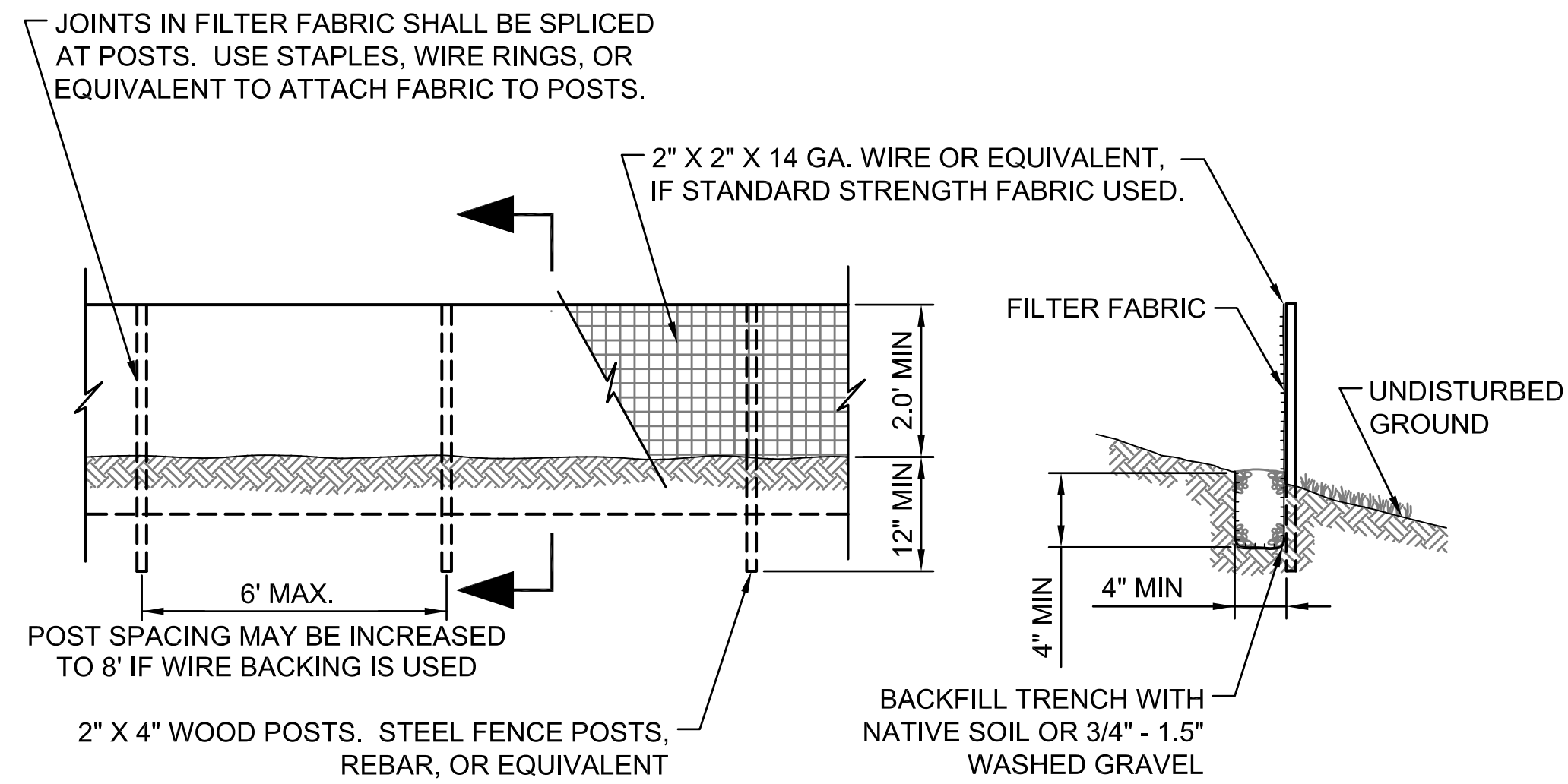


Tree protection fence: 4-6" chain link fence, solidly anchored into the ground, or if authorized High-density polyethylene fencing with 3.5" x 1.5" openings; color orange. Steel posts installed at 8' o.c.

2" x 6" steel posts or approved equal

Maintain existing grade with the tree protection fence unless otherwise indication on the plans.

Any Work in the protected area must be with the permission of the City Arborist [john.kenney@mercergov.org](mailto:john.kenney@mercergov.org)

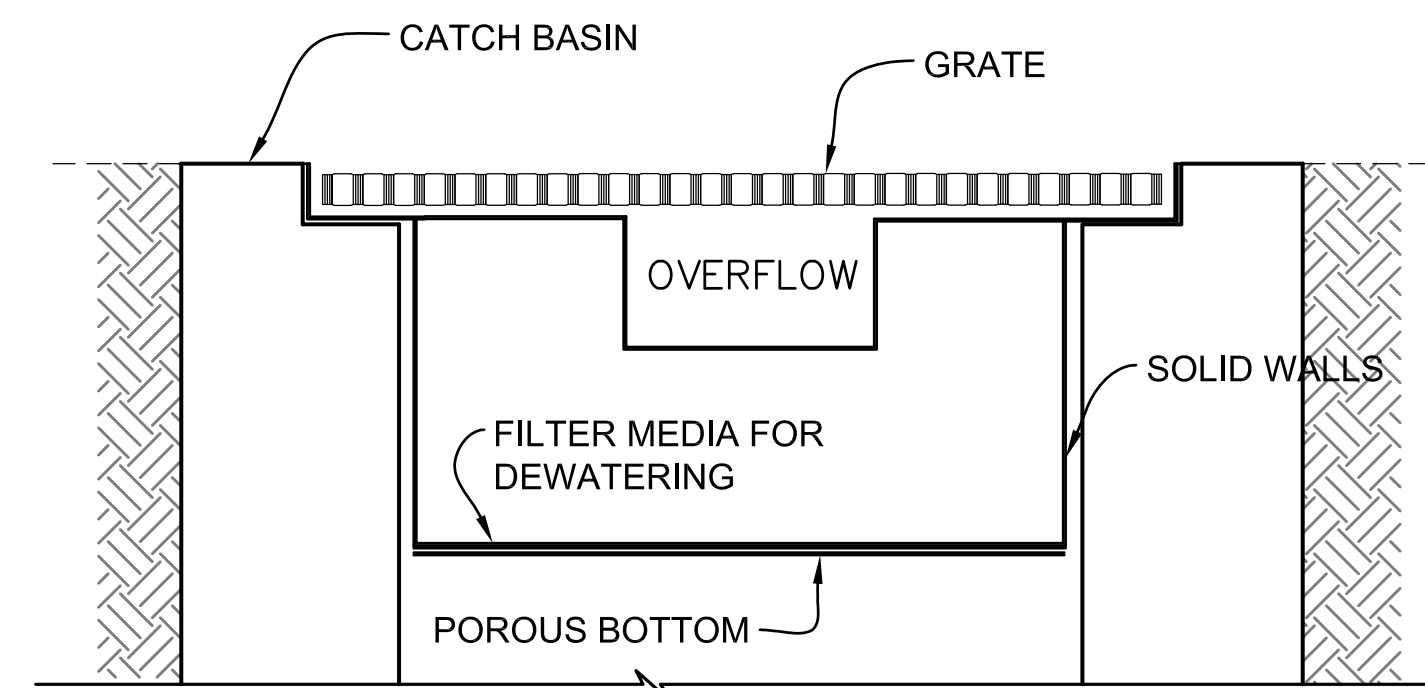


**NOTES:**

FILTER FABRIC FENCES SHALL BE INSTALLED ALONG CONTOUR WHENEVER POSSIBLE.

**SILT FENCE DETAIL**

SCALE: NONE

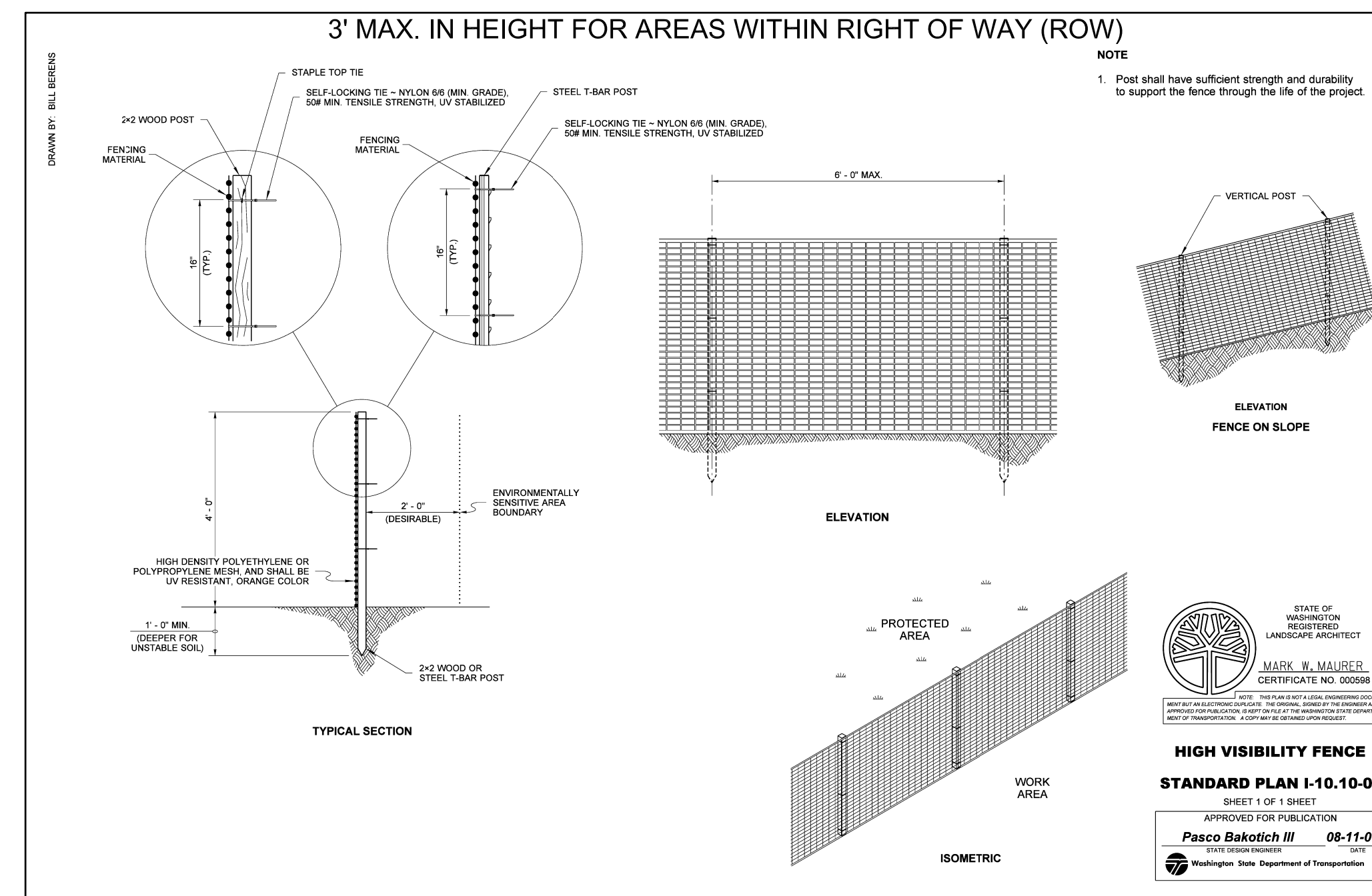


**NOTES:**

THIS DETAIL IS ONLY SCHEMATIC. ANY INSERT IS ALLOWED THAT HAS A MIN. 0.5 CUBIC FEET OF STORAGE WITH THE MEANS TO DEWATER THE STORED SEDIMENT, PROVIDE AN OVERFLOW, AND CAN BE EASILY MAINTAINED.

**INLET PROTECTION DETAIL**

SCALE: NONE



**HIGH VISIBILITY FENCE**

STANDARD PLAN I-10.10-01

SHEET 1 OF 1 SHEET

APPROVED FOR PUBLICATION:

Pasco Bakotich III 08-11-09 DATE

Walla Walla State Department of Transportation



COOMBS DEVELOPMENT  
6221 83RD PLACE SE  
MERCER ISLAND, WA 98040

**TESC DETAILS**

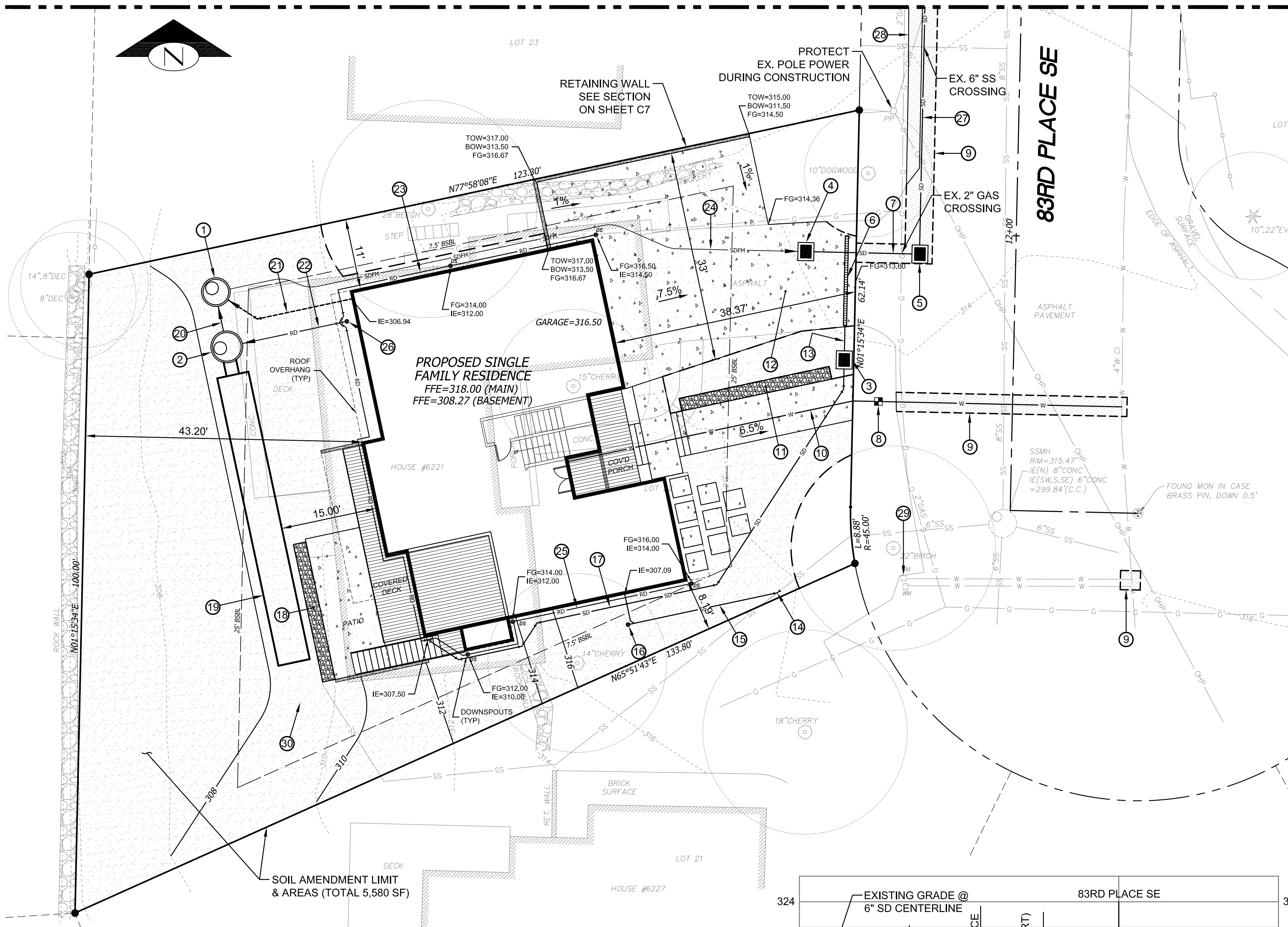


**PBC**  
Land Development and Civil Engineering Consultants  
5130 South 166th Lane  
Seattle, WA 98188  
T: (206) 229-6422

ISSUE DATE	1-10-2023
DESIGNED BY:	L. PHAN
DRAWN BY:	L. PHAN
CHECKED BY:	H. H. PHAN
PROJ. MGR:	H. H. PHAN

NO.	DATE	BY	REVISION DESCRIPTION

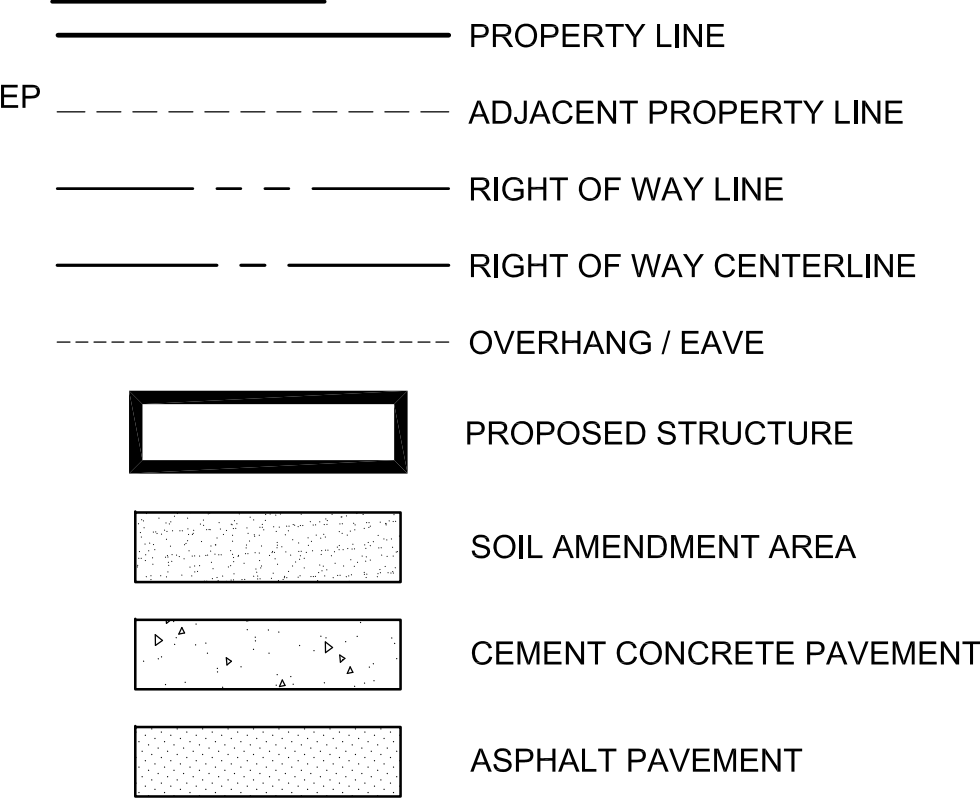
MATCHLINE - SEE SHEET C5



CONSTRUCTION NOTES:

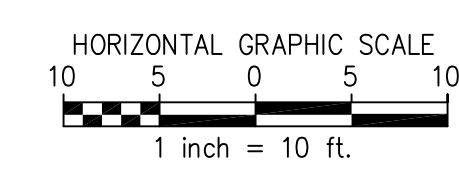
- INSTALL CB #3 TYPE 2 - 48" WITH SOLID LID & DUPLEX PUMP STATION PER DETAIL ON SHEET 7  
RIM=308.50  
IE (S)=302.42  
IE (SE)=304.00  
IE (E)=303.42  
SUMP=299.42
- INSTALL CB #2 TYPE 2 - 54" WITH FLOW CONTROL & SOLID LOCKING LID PER DETAIL ON SHEET C6  
RIM=308.50  
IE (N,S)=302.50  
IE (E)=304.50
- CB #1-TYPE 1 WITH SOLID LID & OIL SEPARATOR (RISER TEE)  
RIM=314.10  
IE (N)=311.70  
IE (S)=311.60
- INSTALL CB #4-TYPE 1 WITH SOLID LID  
RIM=313.90  
IE (W)=312.75  
IE (E)=312.06
- CB #5-TYPE 1 WITH VANED GRATE  
RIM=313.25  
IE (W)=311.81  
IE (N)=311.81
- 14' LONG x 5' WIDE SLOTTED DRAIN (DURA) H2O RATED TRAFFIC LID  
RIM=313.70  
IE=313.30
- 15.5 LF 6" DI SD @ 1.61%
- 1" WATER METER WITH 33 LF 2" SERVICE WATER SEE NOTE 1
- SAWCUT & PAVEMENT PATCHING DETAILS TO BE APPROVED BY CITY INSPECTOR
- 49 LF 1 1/2" WATER SERVICE LINE (POLYETHYLENE PIPE SDR 7)
- INSTALL 2' WIDE x 24' LONG x 18" DEEP GRAVEL STRIP FOR WALKWAY DISPERSION
- 4" CEMENT CONC. PAVEMENT
- 4 LF 4" DI SD @ 50.00%
- CONNECT TO EX. 4" SIDE SEWER (FIELD VERIFY) SEE NOTE 2
- 29 LF 4" SDR 35 PVC GRAVITY SIDE SEWER @ 2.00%
- 4" SSCO #2  
IE=307.00
- 89 LF 4" SDR 35 PVC SD @ 2.00% MIN. CONNECT TO 4" ROOF DRAIN LINE
- INSTALL 2' WIDE x 20' LONG x 18" DEEP GRAVEL STRIP FOR PATIO DISPERSION
- INSTALL 5' DIA. X 46' LONG CMP DETENTION TANK  
TOP=307.00  
BOTTOM=302.00  
PER DETAIL ON SHEET C6
- INSTALL 4 LF 8" PVC SDR 35 @ 2.00%
- 21 LF 4" SOLID SDR 35 PVC FOOTING DRAIN COLLECTOR @ 14.00%
- 17 LF 6" SDR 35 PVC ROOF DRAIN COLLECTOR @ 3.00%
- 46 LF 4" SDR 35 PVC ROOF DRAIN @ 2.00% MIN.
- INSTALL 91 LF 2" PVC SCHEDULE 80 STORM DRAIN FORCE MAIN
- 105 LF 4" SDR 35 PVC ROOF DRAIN @ 2.00% MIN.
- 6" SDCO #1  
IE=306.01
- 176 LF 10" DI SD @ 4.95%
- 2' WIDE ASPHALT THICKENED EDGE
- REMOVE EXISTING WATER METER & ABANDON EXISTING SERVICE LINE TO WATER MAINLINE

LEGEND



**NOTES:**

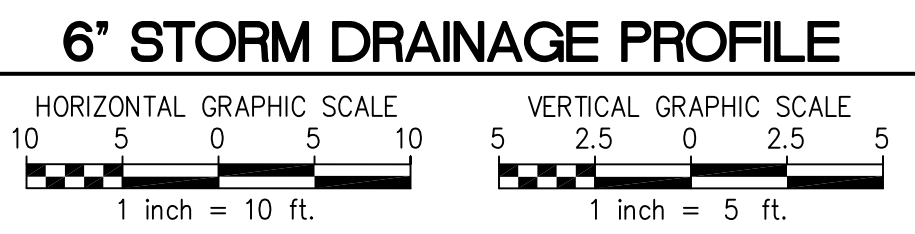
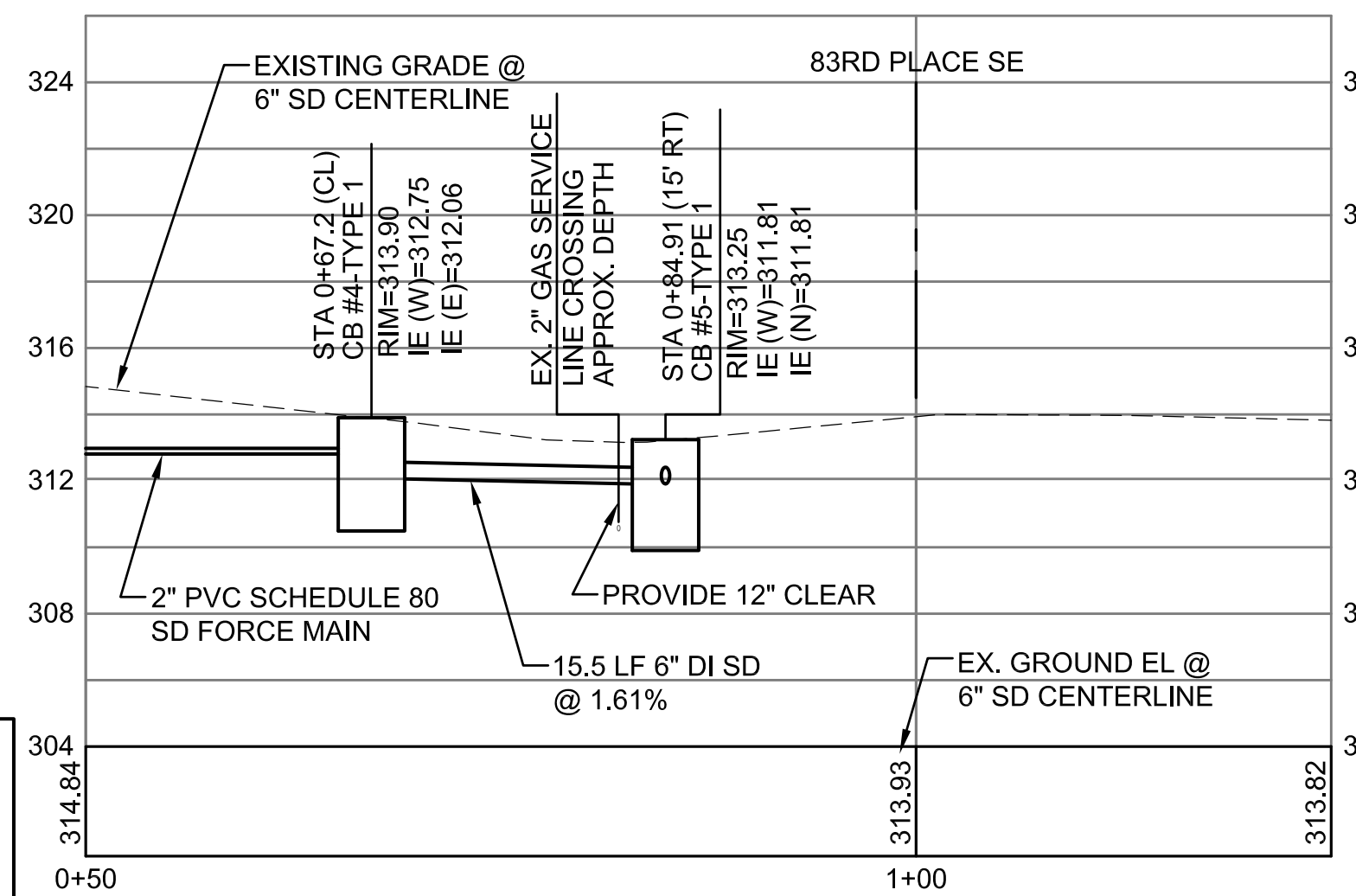
- NEW WATER METER LOCATE 27.5' NORTH OF EXISTING WATER METER AND 4' EAST OF PROPERTY LINE. CONTRACTOR TO FIELD VERIFY THE EXISTING WATER LINE AND COORDINATE WITH CITY WATER DEPARTMENT DURING CONSTRUCTION.
- THE TV INSPECTOR OF THE EXISTING SIDE SEWER TO THE CITY SEWER MAIN ON 83RD PLACE SE IS REQUIRED PRIOR TO ANY WORK RELATED TO THE SIDE SEWER. IF THE RESULT OF THE TV INSPECTION IS NOT IN SATISFACTORY CONDITION, AS DETERMINED BY THE CITY OF MERCER ISLAND INSPECTOR, THE REPLACEMENT OF THE EXISTING SIDE SEWER IS REQUIRED.



AN EMERGENCY ON-SITE, BACK-UP POWER SUPPLY AND AN EXTERNAL ALARM SYSTEM FOR SYSTEM FAILURE AND HIGH WATER LEVEL INDICATOR ARE REQUIRED FOR THE PUMP SYSTEM

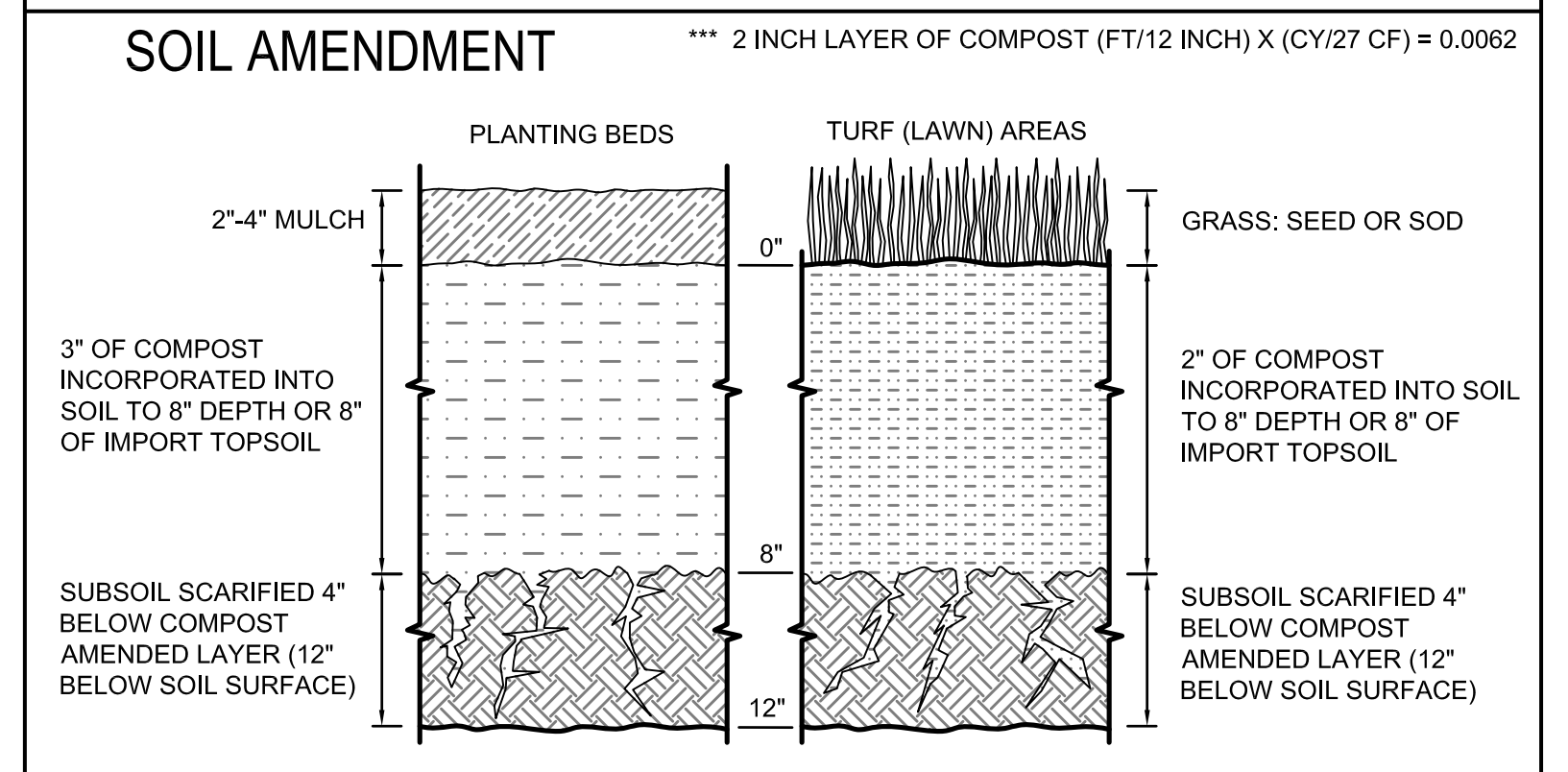
PRIVATE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY AND ALL CLAIMS FOR INJURIES AND DAMAGE DUE TO THE OPERATION OR NON-OPERATION OF THE PUMP SYSTEM

**SOIL AMENDMENT NOTE:**  
THE LAWN AND LANDSCAPE AREAS ARE REQUIRED TO PROVIDE POST-CONSTRUCTION SOIL QUALITY AND DEPTH IN ACCORDANCE WITH BMP T5.13. THE PROJECT CIVIL ENGINEER MUST PROVIDE A LETTER OF CERTIFICATION TO ENSURE THAT THE LAWN AND LANDSCAPE AREAS ARE MEETING THE POST-CONSTRUCTION SOIL QUALITY AND DEPTH REQUIREMENTS SPECIFIED ON THE APPROVED PLAN SET PRIOR TO FINAL INSPECTION OF THE PROJECT.



**ESTIMATED COMPOST REQUIRED FOR SOIL AMENDMENT**

4.437	(SQUARE FEET) X 0.0062 *** =	28	(CUBIC YARDS)
DISTURBED AREA REQUIRING AMENDMENT		REQUIRED COMPOST	

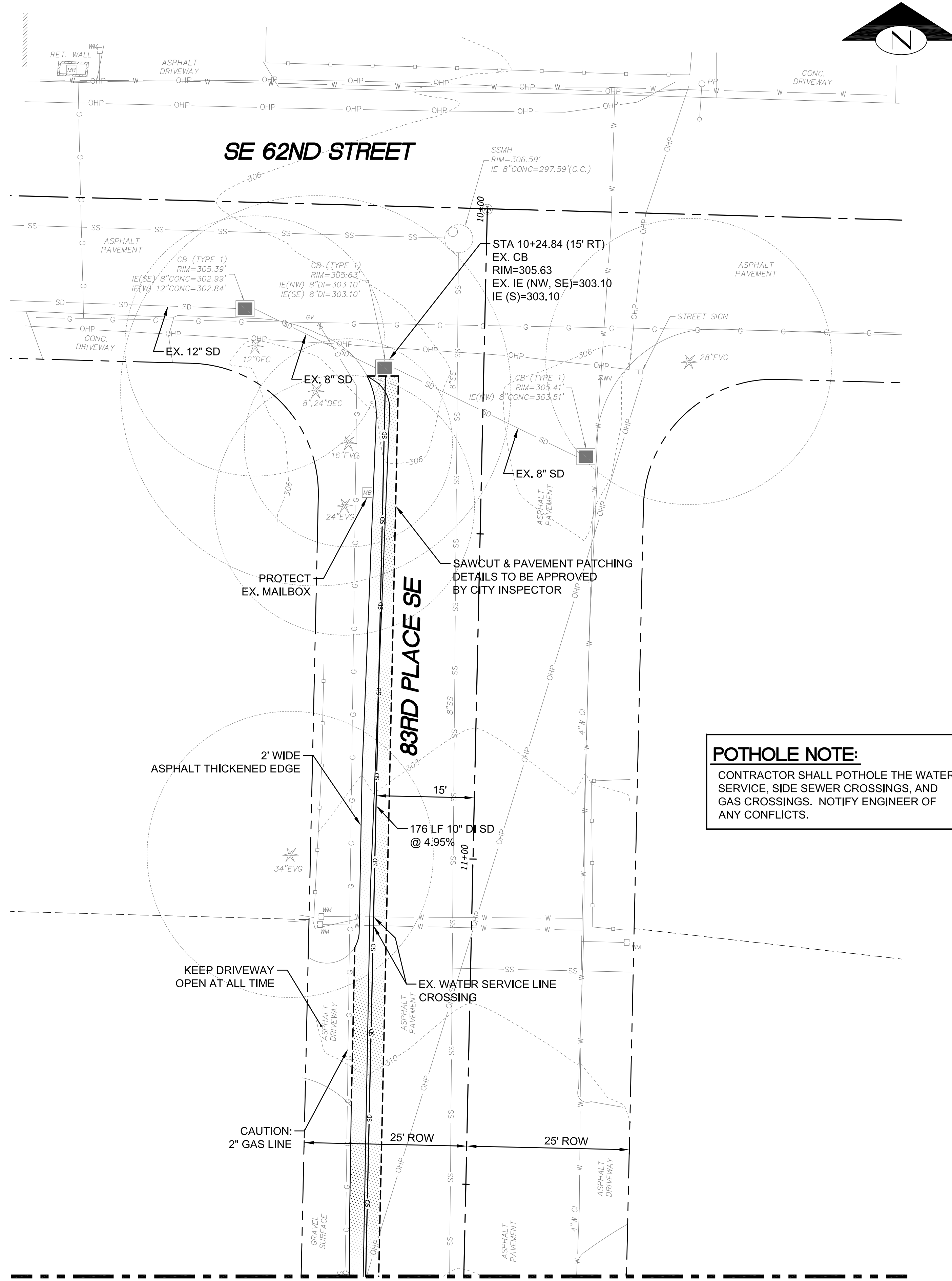


REFERENCE SHEET NO.	C4	SHEET	4
		OF	7
		SHEETS	
<b>COOMBES DEVELOPMENT</b> <b>6221 83RD PLACE SE</b> <b>MERCER ISLAND, WA 98040</b> <b>STORMWATER / UTILITY</b> <b>PLAN AND DETAILS - 1</b>			
JOB NO.	R22465	ISSUE DATE	1-10-2023
DESIGNED BY:	L. PHAN		
DRAWN BY:	L. PHAN		
CHECKED BY:	H.H. PHAN		
PROJ. MNGR:	H.H. PHAN		
NO.	DATE	REVISION DESCRIPTION	

Jan 09, 2023 - 2:51pm Hon Phn L:\Working\R22465 - 6221 83rd Place SE (COOMBES Development)\CADD\Drawings\R22465-PS-C4.dwg Layout Name: C4

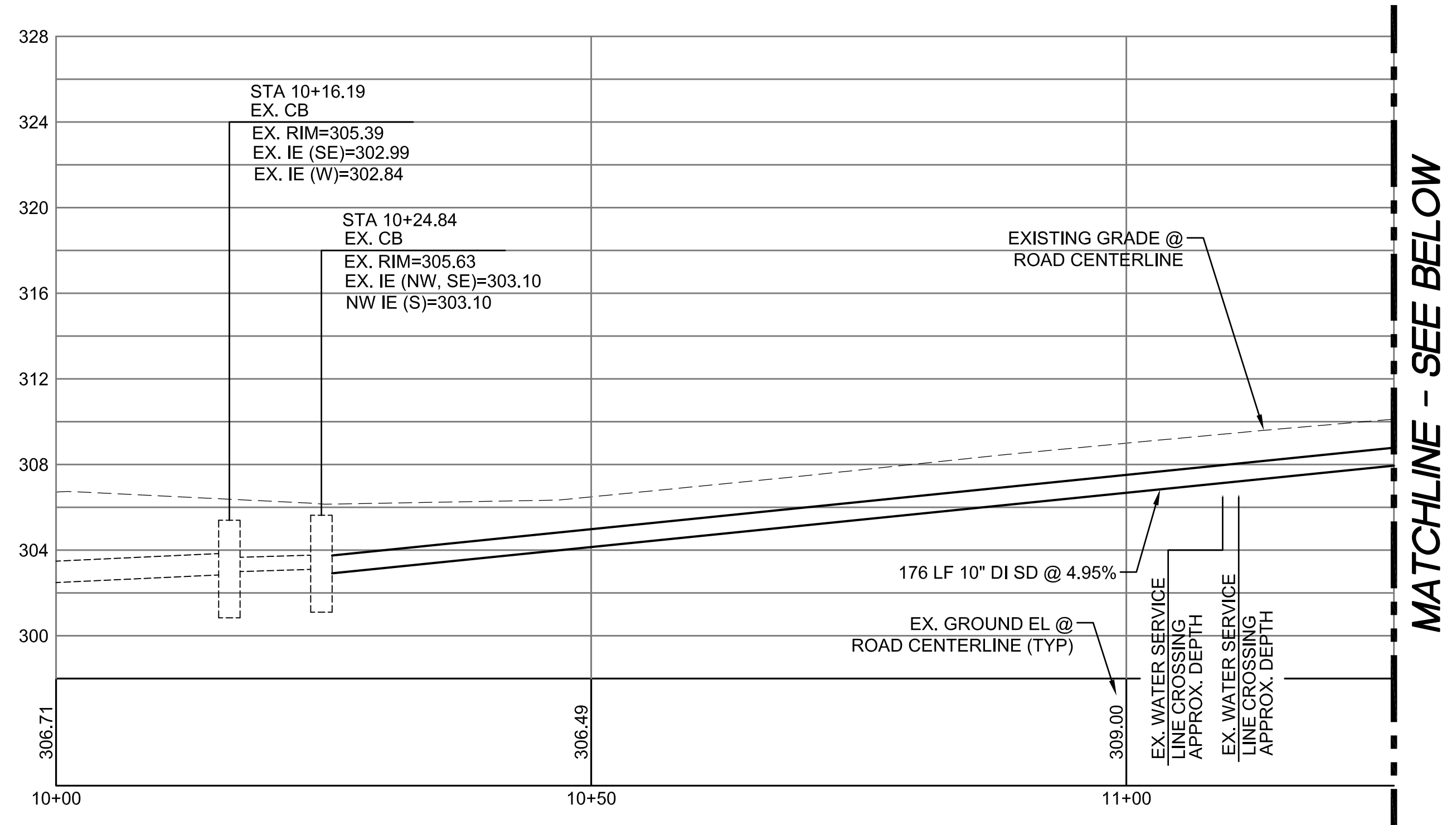


Jan 09, 2023 12:26pm Han Phan L:\Working\22465 - 6221 83rd Place SE (COOMBES Development)\CADD Drawings\22465-PS-C5.dwg Layout Name: C5

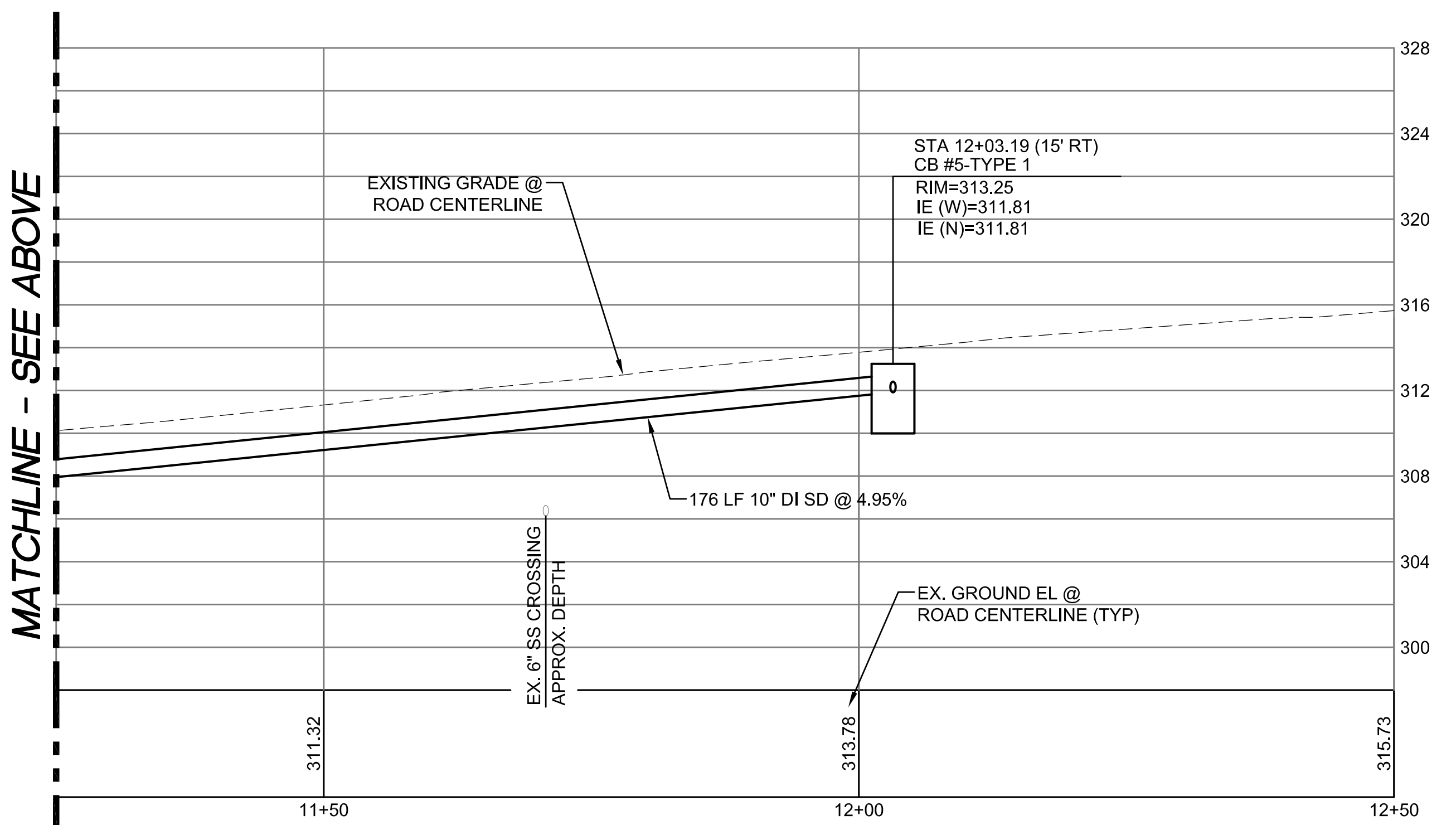


**MATCHLINE - SEE SHEET C5**

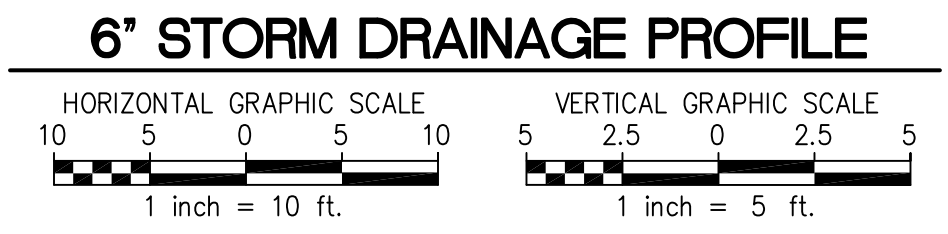
**POTHOLE NOTE:**  
CONTRACTOR SHALL POTHOLE THE WATER SERVICE, SIDE SEWER CROSSINGS, AND GAS CROSSINGS. NOTIFY ENGINEER OF ANY CONFLICTS.



**MATCHLINE - SEE BELOW**



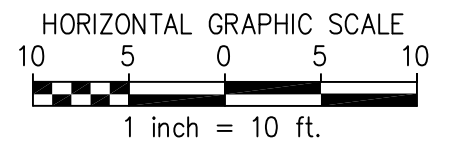
**MATCHLINE - SEE ABOVE**



**LEGEND**

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- RIGHT OF WAY LINE
- RIGHT OF WAY CENTERLINE
- ASPHALT PAVEMENT

**EXISTING CB NOTE:**  
IF THE EXISTING CATCH BASIN IS NOT IN SATISFACTORY CONDITION, AS DETERMINED BY THE CITY OF MERCER ISLAND INSPECTOR, THE REPLACEMENT OF THE EXISTING CATCH BASIN IS REQUIRED.



REFERENCE SHEET NO. <b>C5</b>	SHEET 5 OF 7 SHEETS	
<b>COOMBES DEVELOPMENT</b> <b>6221 83RD PLACE SE</b> <b>MERCER ISLAND, WA 98040</b> <b>STORMWATER / UTILITY</b> <b>PLAN AND DETAILS - 2</b>		
Land Development and Civil Engineering Consultants 5130 South 166th Lane Seattle, WA 98188 T (206) 229-6422		
JOB NO. <b>R22465</b>	ISSUE DATE 1-10-2023	
DESIGNED BY: L. PHAN	DRAWN BY: L. PHAN	
CHECKED BY: H.H. PHAN	PROJ. MNGR: H.H. PHAN	
NO.	DATE	REVISION DESCRIPTION

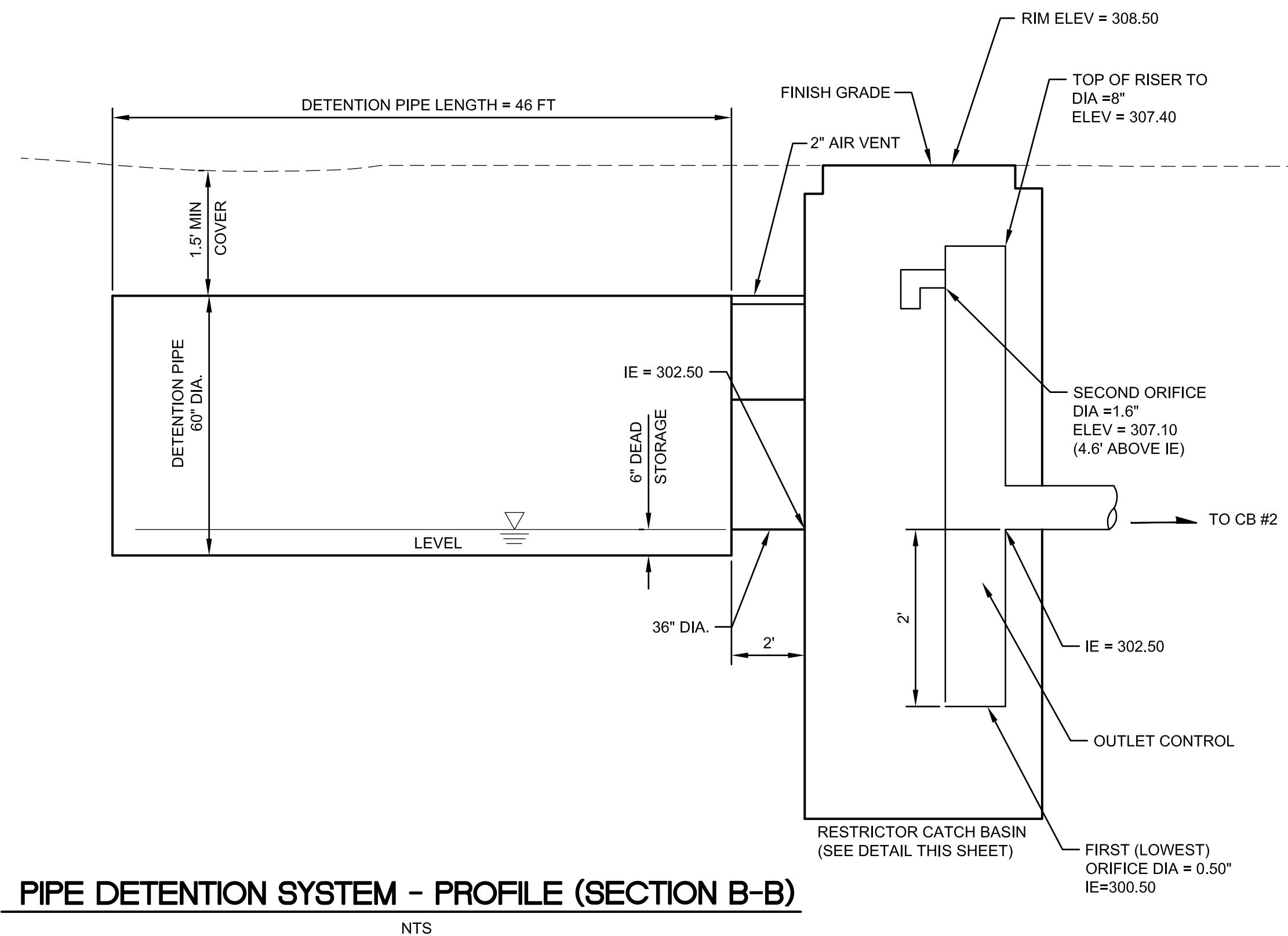
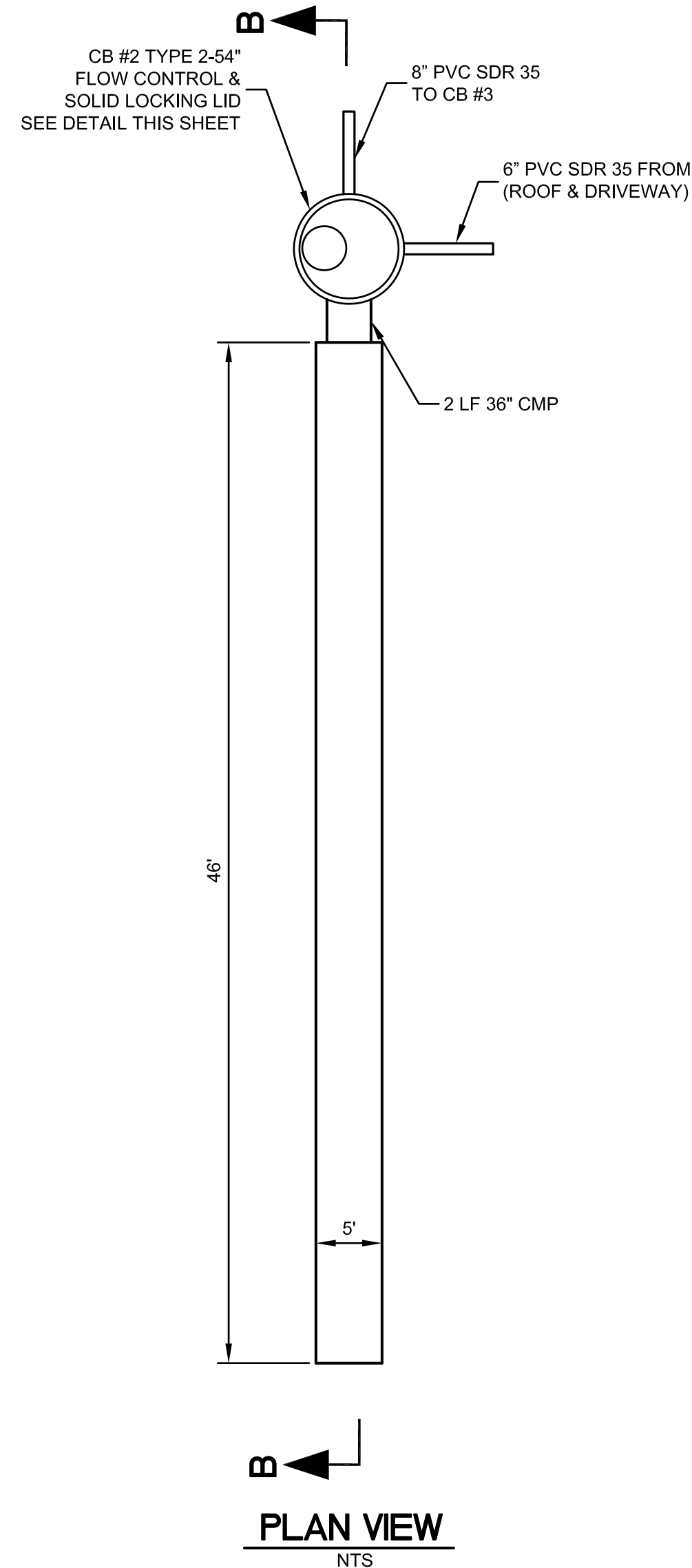
Jan 09, 2023 3:10pm Han Phan L:\Working\R22465 - 6221 83rd Place SE (COOMBES Development)\CADD\Drawings\R22465-PS-C6.dwg Layout Name: Layout1

**STANDARD DETENTION SYSTEM NOTES:**

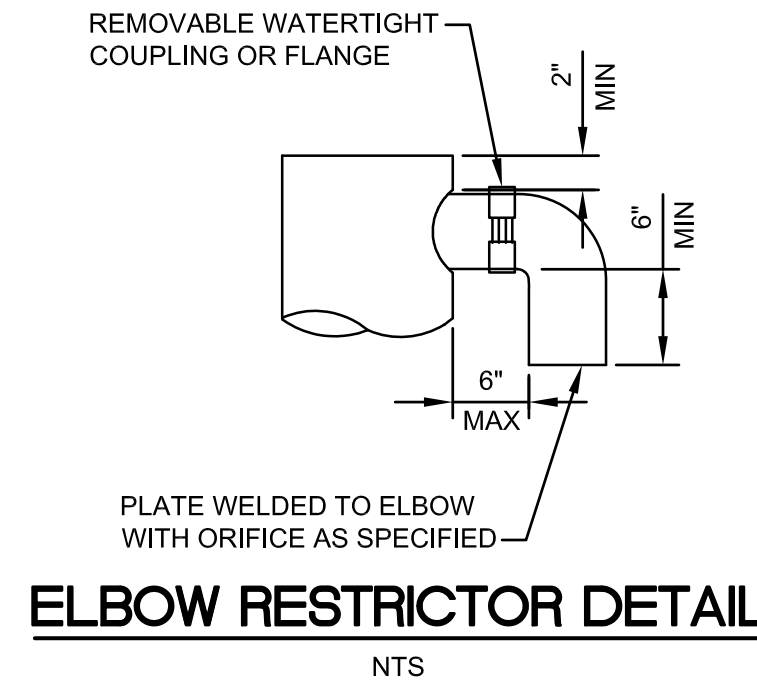
- CALL DEVELOPMENT SERVICES (206-275-7605) 24 HOURS IN ADVANCE FOR A DETENTION SYSTEM INSPECTION BEFORE BACKFILLING AND FOR FINAL INSPECTIONS.
- RESPONSIBILITY FOR OPERATION AND MAINTANANCE OF DRAINAGE SYSTEMS ON PRIVATE PROPERTY IS REPOSIBILITY OF THE PROPERTY OWNER. MATERIAL ACCUMULATED IN THE STORAGE PIPE MUST BE REMOVED FROM CATCH BASINS TO ALLOW PROPER OPERATION. THE OUTLET CONTROL ORIFICE MUST BE KEPT OPEN AT ALL TIMES.
- PIPE MATERIAL, JOINT, AND PROTECTIVE TREATMENT SHALL BE IN ACCORDANCE WITH SECTION 7.04 AND 9.05 OF THE WSDOT STANDARD SPECIFICATION FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION, LATEST VERSION. SUCH MATERIALS INCLUDE THE FOLLOWING: LINED CORRUGATED POLYETHYLENE PIPE (LCPE), ALUMINIZED TYPE 2 CORRUGATED STEEL PIPE AND PIPE ARCH (MEETS AASHTO DESIGNATIONS M274 AND M36), CORRUGATED OR SPIRAL RIB ALUMINUM PIPE, OR REINFORCED CONCRETE PIPE. CORRUGATED STEEL PIPE IS NOT ALLOWED.

OWNER: JON COOMBES ADDRESS: 6221 83RD PLACE SE PREPARED BY: HAN PHAN, PE  
 PERMIT #: \_\_\_\_\_ MERCER ISLAND, WA 98040 PHONE: 206-229-6422  
 DATE: 5-05-2022  
 IMPERVIOUS SURFACE AREA (SF): 4,437 DETENTION PIPE DIA (INCH) 60 DETENTION PIPE LENGTH (FT): 46 ORIFICE #1 DIA = 0.50 INCH, ELEV = 300.50  
 PIPE MATERIAL: CMP ORIFICE #2 DIA = 1.6 INCH, ELEV = 307.10

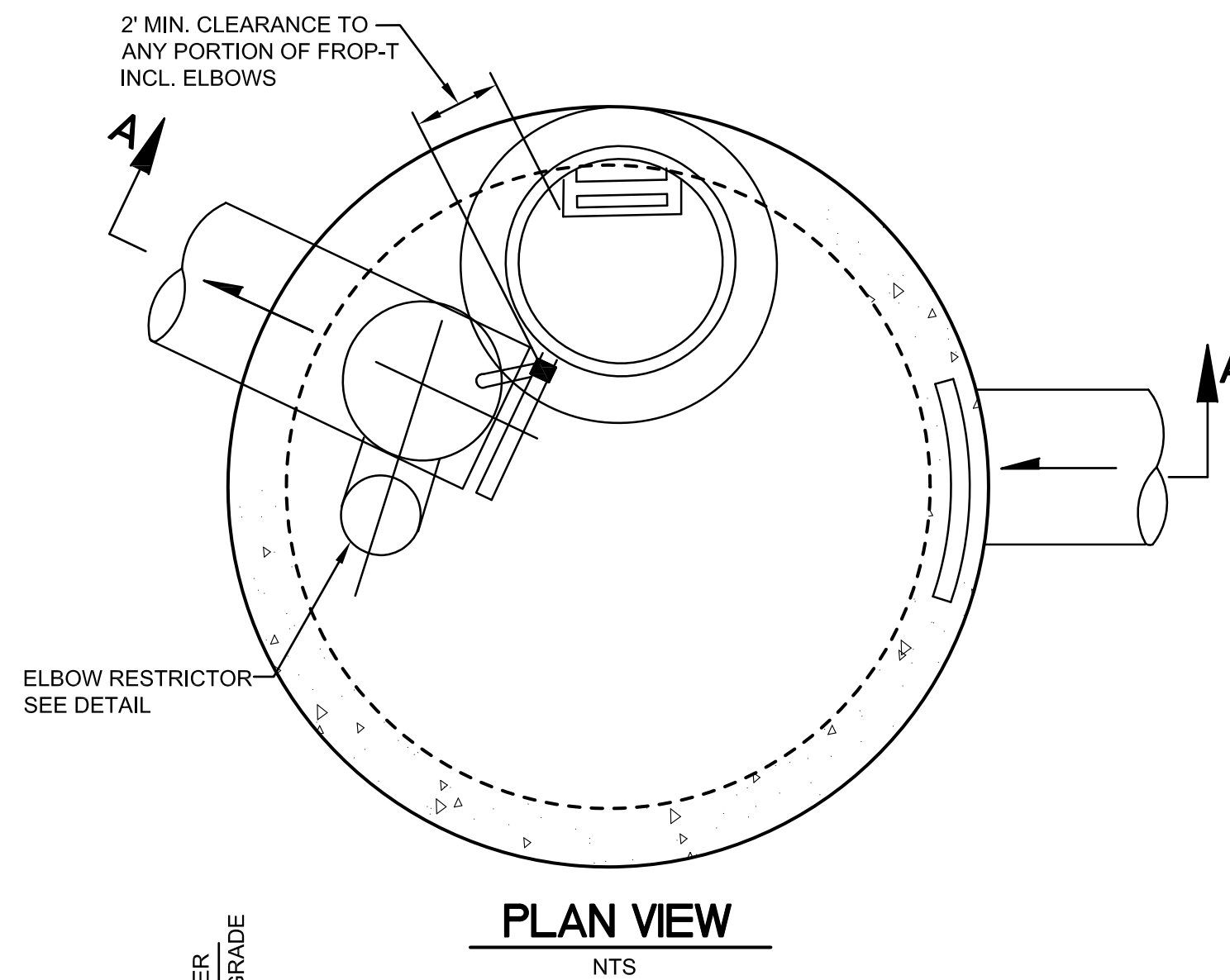
**FOOTING DRAINS SHALL NOT BE CONNECTED TO DETENTION SYSTEM**



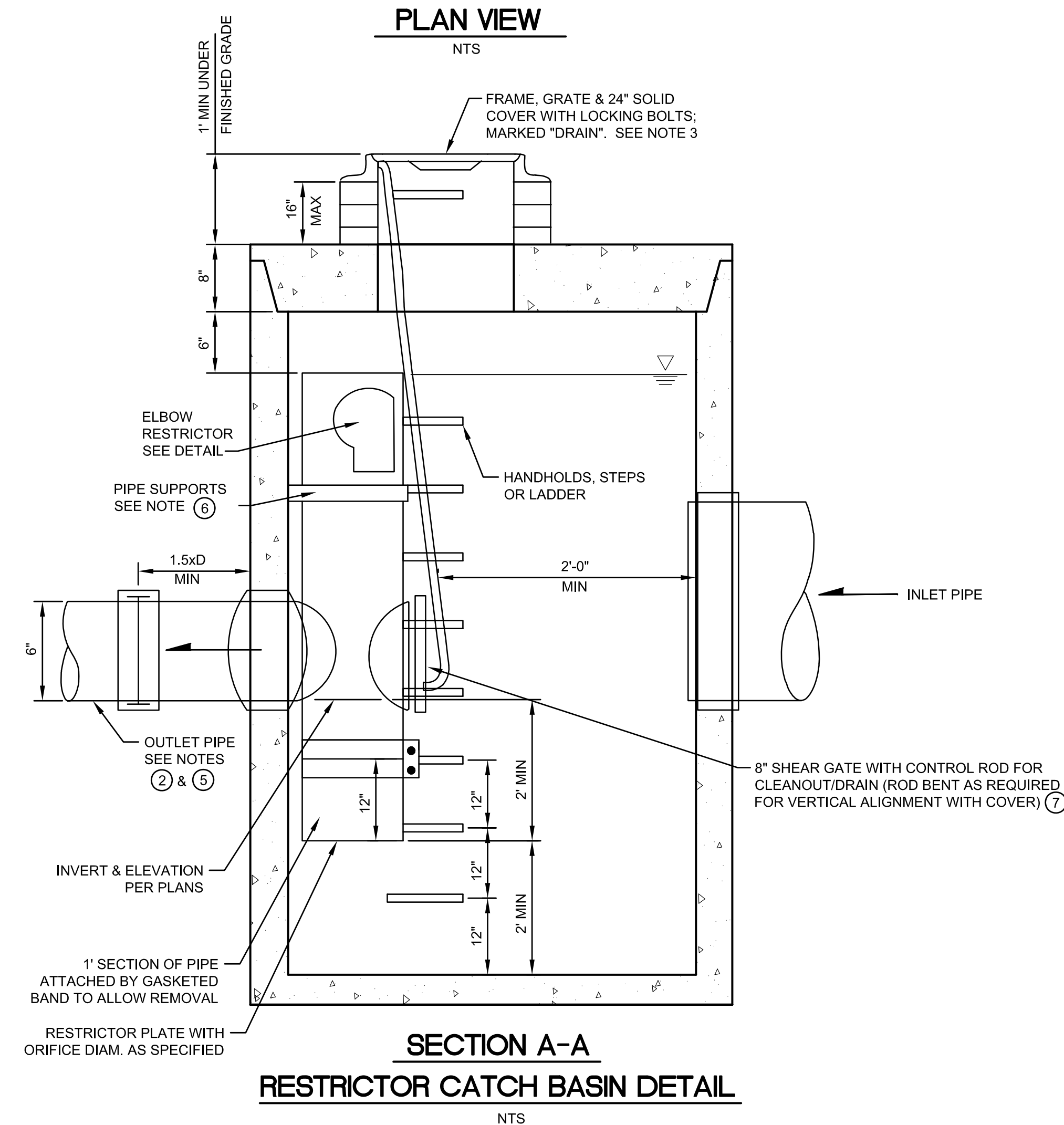
**PIPE DETENTION SYSTEM - PROFILE (SECTION B-B)**



**ELBOW RESTRICTOR DETAIL**



**PLAN VIEW**



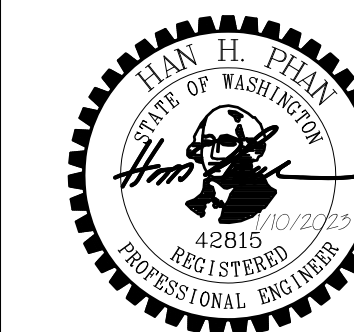
**SECTION A-A  
RESTRICTOR CATCH BASIN DETAIL**

**RESTRICTOR CATCH BASIN NOTES:**

- USE A MINIMUM OF A 72" DIA. TYPE 2 CATCH BASIN WHEN CONNECTING PIPE MATERIAL IS CONCRETE OR LCPE. A 54" DIA. TYPE 2 CATCH BASIN MAY BE USED FOR OTHER CIRCULAR SINGLE WALL PIPE (SUCH AS CORRUGATED ALUMINUM PIPE).
- OUTLET PIPE: MIN. 6".
- METAL PARTS: CORROSION RESISTANT. NON-GALVANIZED PARTS PREFERRED. GALVANIZE PIP PARTS TO HAVE ASPHALT TREATMENT 1.
- FRAME AND LADDER OR STEPS OFFSET SO:
  - CLEANOUT GATE IS VISIBLE FROM TOP;
  - CLIMB-DOWN SPACE IS CLEAR OF RISER AND CLEANOUT GATE;
  - FRAME IS CLEAR OF CURB.
- IF METAL OUTLET PIPE CONNECTS TO CEMENT CONCRETE PIPE, OUTLET PIPE TO HAVE SMOOTH O.D. EQUAL TO CONCRETE PIPE I.D. LESS 1/4 IN.
- PROVIDE AT LEAST ONE 3 X 0.090 GAUGE SUPPORT BRACKET ANCHORED TO CONCRETE WALL WITH 3/8 IN. STAINLESS STEEL EXPANSION BOLTS OR EMBEDDED SUPPORTS 2 IN. INTO CATCH BASIN WALL (MAXIMUM 3'-0" VERTICAL SPACING).
- THE SHEAR GATE SHALL BE MADE ON ALUMINUM ALLOY IN ACCORDANCE WITH ASTM B 26M AND ASTM B 275, DESIGNATION ZG32A; OR CAST IRON IN ACCORDANCE WITH ASTM A 48, CLASS 30B. THE LIFT HANDLE SHALL BE MADE OF A SIMILAR METAL TO THE GATE (TO PREVENT GALVANIC CORROSION), IT MAY BE OF SOLID ROD OR HOLLOW TUBING, WITH ADJUSTABLE HOOK AS REQUIRED. A NEOPRENE RUBBER GASKET IS REQUIRED BETWEEN THE RISER MOUNTING FLANGE AND THE GATE FLANGE. INSTALL THE GATE SO THAT THE LEVEL-LINE MARK IS LEVEL WHEN THE GATE IS CLOSED. THE MATING SURFACES OF THE LID AND THE BODY SHALL BE MACHINED FOR PROPER FIT. ALL SHEAR GATE BOLTS SHALL BE STAINLESS STEEL.

REFERENCE SHEET NO. **C6** SHEET **6** OF **7** SHEETS

**COOMBES DEVELOPMENT**  
**6221 83RD PLACE SE**  
**MERCER ISLAND, WA 98040**  
**DETENTION PIPE SYSTEM**  
**DETAILS**



**PBC**  
 Land Development and Civil Engineering Consultants  
 5130 South 166th Lane  
 Seattle, WA 98188  
 T (206) 229-6422

ISSUE DATE: **1-10-2023**  
 DESIGNED BY: **L. PHAN**  
 DRAWN BY: **L. PHAN**  
 CHECKED BY: **H.H. PHAN**  
 PROJ. MNGR: **H.H. PHAN**

NO. DATE BY REVISION DESCRIPTION

NO.	DATE	BY	REVISION DESCRIPTION

Jan 09, 2023 - 1:43pm Hon Pham L:\Working\222465 - 6221-83rd Place SE (COOMBES Development)\CADD\Drawings\222465-PS-C7.dwg Layout Name: Layout1

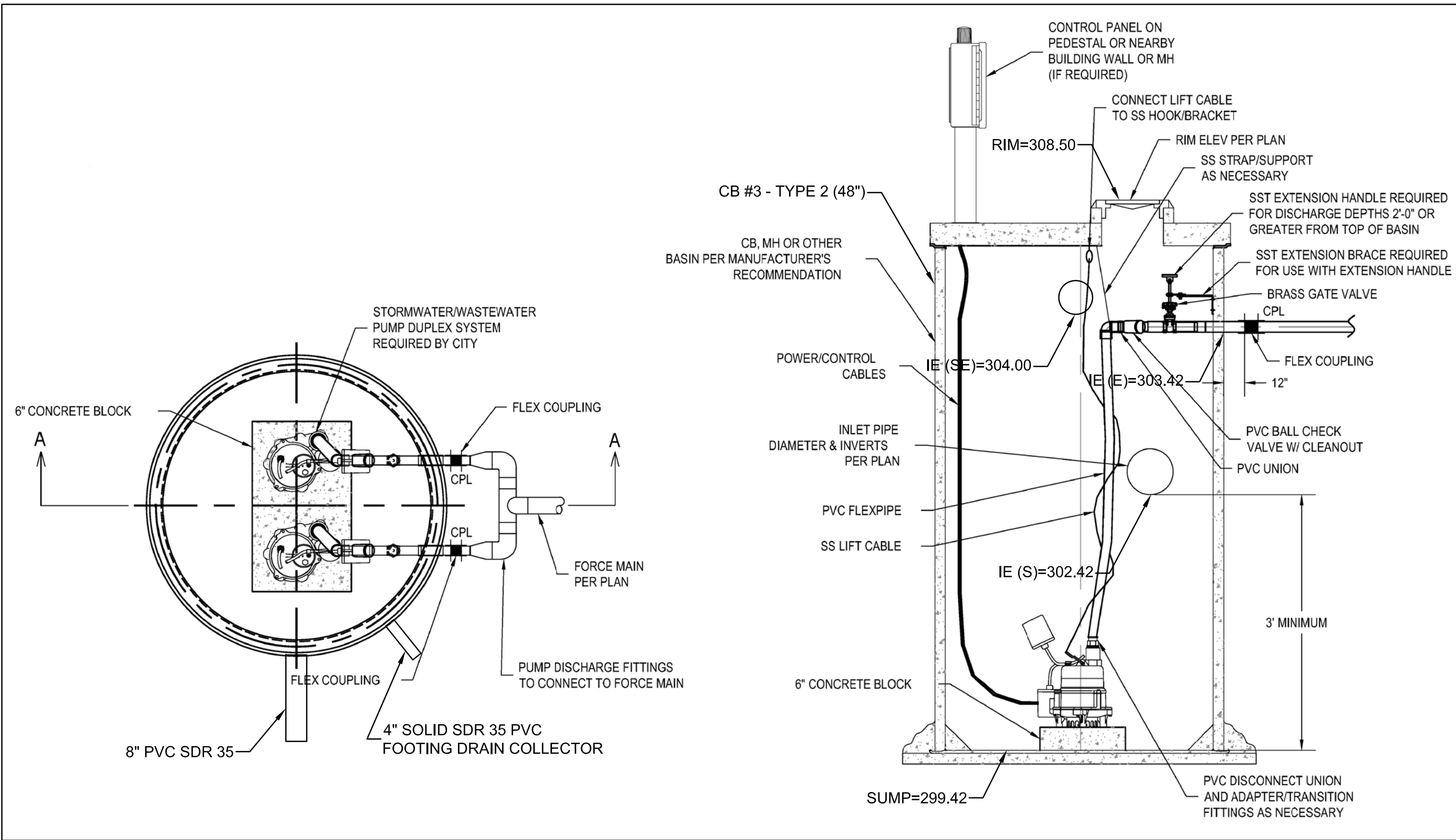
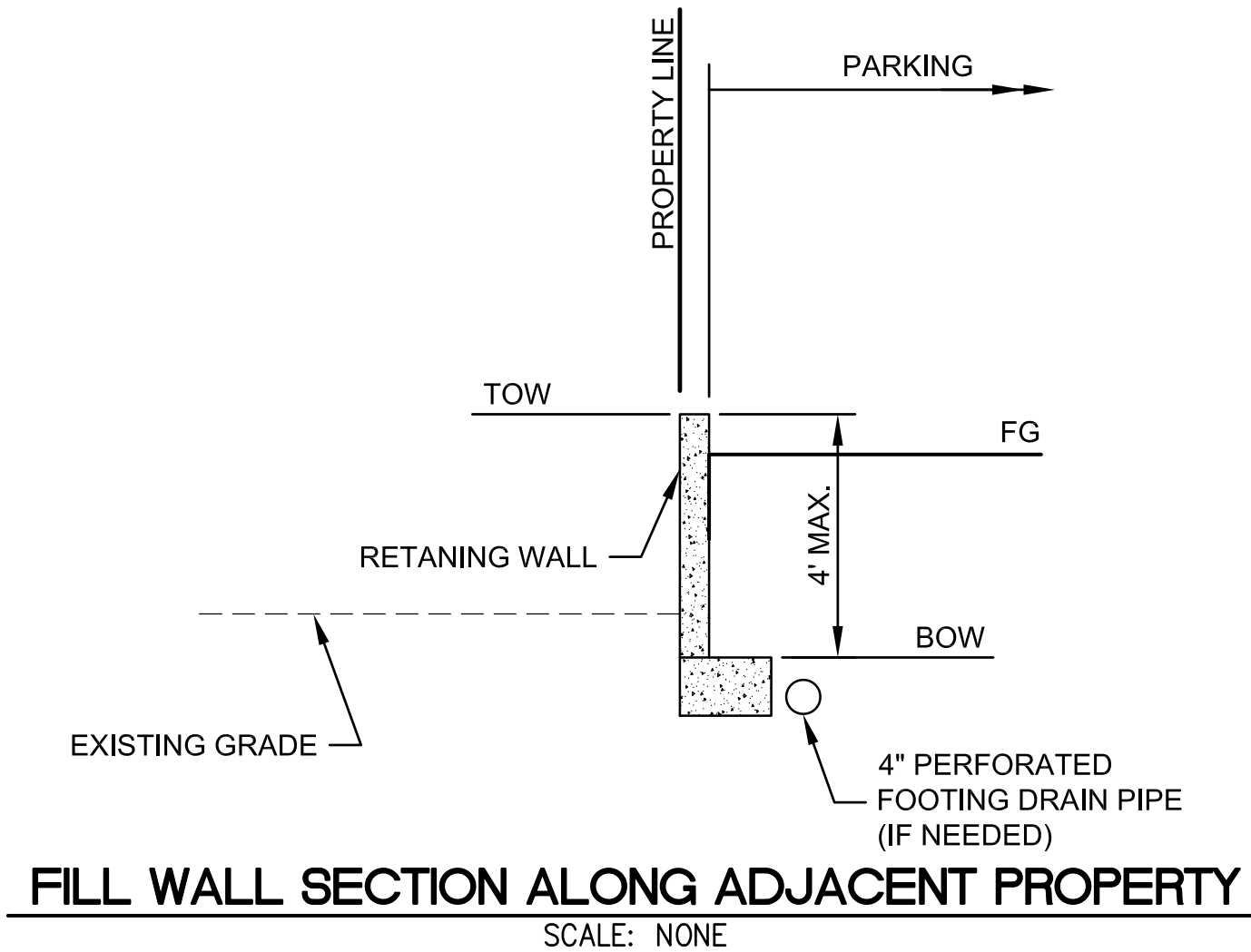
**Table 1**

ON-SITE DETENTION DESIGN FOR PROJECTS BETWEEN 500 SF AND 9,500 SF NEW PLUS REPLACED IMPERVIOUS SURFACE AREA

New and Replaced Impervious Surface Area (sf)	Detention Pipe Diameter (in)	Detention Pipe Length (ft)		Lowest Orifice Diameter (in) <sup>(B)</sup>		Distance from Outlet Invert to Second Orifice (ft)		Second Orifice Diameter (in)	
		B soils	C soils	B soils	C soils	B soils	C soils	B soils	C soils
		500 to 1,000 sf	36"	30	22	0.5	0.5	2.2	2.0
1,001 to 2,000 sf	48"	18	11	0.5	0.5	3.3	3.2	0.9	0.8
	60"	11	7	0.5	0.5	4.2	3.4	0.5	0.6
	36"	66	43	0.5	0.5	2.2	2.3	0.9	1.4
2,001 to 3,000 sf	48"	34	23	0.5	0.5	3.2	3.3	0.9	1.2
	60"	22	14	0.5	0.5	4.3	3.6	0.9	0.9
	36"	90	66	0.5	0.5	2.2	2.4	0.9	1.9
3,001 to 4,000 sf	48"	48	36	0.5	0.5	3.1	2.8	0.9	1.5
	60"	30	20	0.5	0.5	4.2	3.7	0.9	1.1
	36"	120	78	0.5	0.5	2.4	2.2	1.4	1.6
4,001 to 5,000 sf	48"	62	42	0.5	0.5	2.8	2.9	0.8	1.3
	60"	42	26	0.5	0.5	3.8	3.9	0.9	1.3
	36"	134	91	0.5	0.5	2.8	2.2	1.7	1.5
5,001 to 6,000 sf	48"	73	49	0.5	0.5	3.6	2.9	1.6	1.5
	60"	46	31	0.5	0.5	4.6	3.5	1.6	1.3
	36"	162	109	0.5	0.5	2.7	2.2	1.8	1.6
6,001 to 7,000 sf	48"	90	59	0.5	0.5	3.5	2.9	1.7	1.5
	60"	54	37	0.5	0.5	4.6	3.6	1.6	1.4
	36"	192	128	0.5	0.5	2.7	2.2	1.9	1.8
7,001 to 8,000 sf	48"	102	68	0.5	0.5	3.7	2.9	1.9	1.6
	60"	64	43	0.5	0.5	4.6	3.6	1.8	1.5
	36"	216	146	0.5	0.5	2.8	2.2	2.0	1.9
8,001 to 8,500 sf <sup>(1)</sup>	48"	119	79	0.5	0.5	3.8	2.9	2.2	1.7
	60"	73	49	0.5	0.5	4.5	3.6	2.0	1.6
	36"	228	155	0.5	0.5	2.8	2.2	2.1	1.9
8,501 to 9,000 sf	48"	124	84	0.5	0.5	3.7	2.9	1.9	1.8
	60"	77	53	0.5	0.5	4.6	3.6	2.0	1.6
	36"	NA <sup>(1)</sup>	164	0.5	0.5	NA <sup>(1)</sup>	2.2	NA <sup>(1)</sup>	1.9
9,001 to 9,500 sf <sup>(2)</sup>	48"	NA <sup>(1)</sup>	89	0.5	0.5	NA <sup>(1)</sup>	2.9	NA <sup>(1)</sup>	1.9
	60"	NA <sup>(1)</sup>	55	0.5	0.5	NA <sup>(1)</sup>	3.6	NA <sup>(1)</sup>	1.7
	36"	NA <sup>(1)</sup>	174	0.5	0.5	NA <sup>(1)</sup>	2.2	NA <sup>(1)</sup>	2.1
48"	NA <sup>(1)</sup>	94	0.5	0.5	NA <sup>(1)</sup>	2.9	NA <sup>(1)</sup>	2.0	
60"	NA <sup>(1)</sup>	58	0.5	0.5	NA <sup>(1)</sup>	3.7	NA <sup>(1)</sup>	1.7	

**NEW IMPERVIOUS CALC.**

ROOF AREA (INCLUDING OVERHANG): 2,693 SF  
 DRIVEWAY: 1,282 SF  
 WALKWAY & PATIO: 462 SF  
 TOTAL: 4,437 SF



**DUPLEX PUMP STATION**  
SCALE: NONE

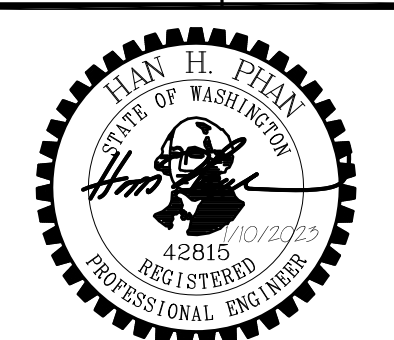
GENERAL DESCRIPTION	DUPLEX PARALLEL SUBMERSIBLE GRINDER PUMPS
DESIGN CALCULATIONS	FROM RATIONAL METHOD CALCULATION: PEAK INFLOWS: 25-YR = 41 GPM 100-YR = 46.8 GPM
DESIGN FLOW AND TDH	1 PUMP: 46.8 GPM @ 22.5' TDH 2 PUMP: 46.8 GPM @ 22.5' TDH
PUMP ELECTRICAL	1 HP, 1 PHASE, 115 V, WE SERIES (MODEL WE0511 HH OR EQ.)
PUMP CONTROLS	ALTERNATE PUMP STARTS, LOW AND HIGH LEVEL ALARM LIGHT
PUMP MOUNTING AND DISCHARGE	INCREASER TO 2" DISCHARGE WITH 2" UNION, CHECK VALVE, AND GATE VALVE FROM EACH PUMP
DISCHARGE MANIFOLD	2" x 2" DISCHARGE TO FORCE MAIN
FORCE MAIN & FITTINGS	2"
<b>FLOAT SPECIFICATIONS</b>	
REDUNDANT OFF AND LOW LEVEL ALARM	PER MANUFACTURE'S REQUIREMENTS
OFF	PER MANUFACTURE'S REQUIREMENTS
ON (1ST PUMP)	1.5' ABOVE OFF
ON (2ND PUMP)	2.5' ABOVE OFF
HIGH LEVEL ALARM	0.5' ABOVE 2ND PUMP ON
MIN. HEIGHT FROM HIGH LEVEL ALARM TO LOWEST INLET	0.5'
NOTES:	
1. THESE SPECIFICATIONS ARE SCHEMATIC IN NATURE AND SHALL BE CONFIRMED BY SUPPLIER AND CONTRACTOR.	
2. PUMP FLOATS/CONTROLS SHALL BE FIELD TESTED AND ADJUSTED TO ACHIEVE OPTIMUM PUMP CYCLE TIMES PER MANUFACTURE'S RECOMMENDATIONS.	
3. EXPLOSION PROOF PUMPS, CONTROLS, AND ELECTRICAL COMPONENTS SHALL BE INSTALLED IF REQUIRED BY CODE.	

**STORM DRAIN DUPLEX PUMP STATION SPECIFICATIONS**

REFERENCE SHEET NO. **C7**  
SHEET 7 OF 7 SHEETS

COOMBES DEVELOPMENT  
6221 83RD PLACE SE  
MERCER ISLAND, WA 98040

DETAILS

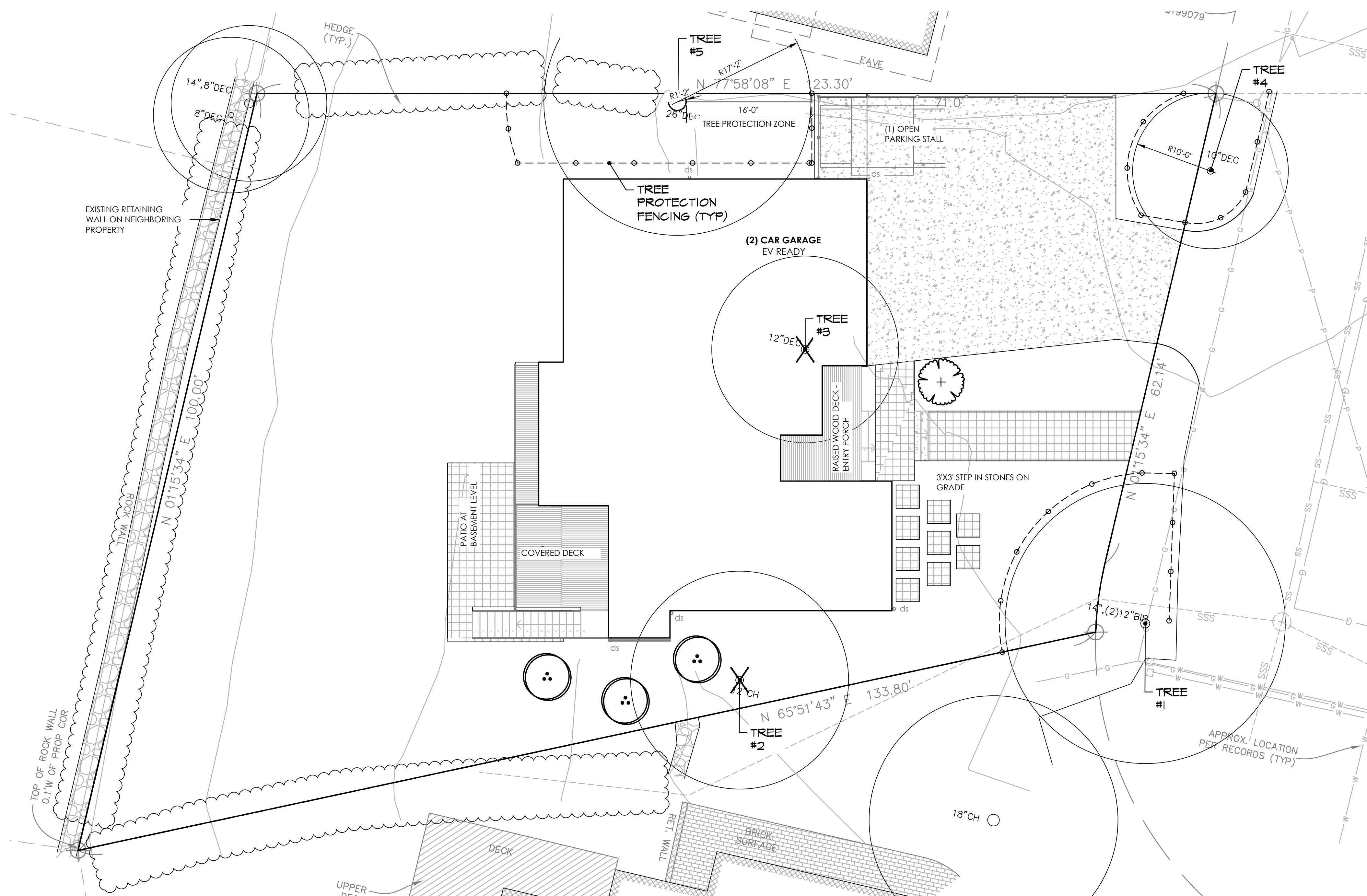


**PBC**  
Land Development and Civil Engineering Consultants  
5130 South 166th Lane  
Seattle, WA 98188  
T (206) 229-6422

NO.	DATE	BY	REVISION DESCRIPTION

**PLANT SCHEDULE**

REPLACEMENT TREES	BOTANICAL / COMMON NAME	SIZE	QTY
	Acer circinatum / Vine Maple	1.5" Cal	3
	Acer japonicum 'Autumn Moon' / Autumn Moon Maple	1.5" Cal	1



PROJECT ARBORIST TO MONITOR ANY EXCAVATION WITHIN THE DRIPLINES OF RETAINED/OR IMPACTED TREES. CARE SHALL BE TAKEN WHEN WORKING NEAR TREES TO PROTECT SOILS AND SURFACE ROOTS THAT LIKELY EXTEND BEYOND THE DRIPLINE. COVER AREAS WITH A PROTECTIVE 6-8-INCH LAYER OF WOOD CHIPS OR HOG FUEL TO PROTECT SOILS FROM COMPACTION AND DAMAGED TO SURFACE ROOTS.

**Tree Protection Measures**

The following guidelines are recommended to ensure that the designated space set aside for the preserved trees are protected and construction impacts are kept to a minimum. Standards have been set forth under MICC 19.10.080. Please review these standards prior to any development activity.

- Tree protection fencing shall be erected per attached tree plan prior to moving any heavy equipment on site. Doing this will set clearing limits and avoid compaction of soils within root zones of retained trees.
- Excavation limits shall be laid out in paint on the ground to avoid over excavating.
- Excavations within the driplines shall be monitored by a qualified tree professional so necessary precautions can be taken to decrease impacts to tree parts. A qualified tree professional shall monitor excavations when work is required and allowed within the drip-line or critical root zone.
- To establish sub grade for foundations, curbs and pavement sections near the trees, soil shall be removed parallel to the roots and not at 90-degree angles to avoid breaking and tearing roots that lead back to the trunk within the dripline. Any roots damaged during these excavations shall be hand-excavated and exposed to sound tissue and cut cleanly with a saw prior to backfilling or finishing areas.
- Areas excavated within the drip-line of retained trees shall be thoroughly irrigated weekly during dry periods.
- Preparations for final landscaping shall be accomplished by hand within the driplines of retained trees. Large equipment shall be kept outside of the tree protection zones at all times.

**CITY OF MERCER ISLAND**  
 COMMUNITY PLANNING & DEVELOPMENT  
 9611 SE 36TH STREET | MERCER ISLAND, WA 98040  
 PHONE: 206.275.7605 | [www.mercer.gov.org](http://www.mercer.gov.org)

**TREE INVENTORY & REPLACEMENT SUBMITTAL INFORMATION**

**EXCEPTIONAL TREES**

Exceptional Trees - means a tree or group of trees that because of its unique historical, ecological or aesthetic value constitutes an important community resource. A tree that is rare or exceptional by virtue of its size, species, condition, cultural/historical importance, age, and/or contribution as part of a tree grove. Trees with a diameter of more than 36 inches, or with a diameter that is equal to or greater than the diameter listed in the Exceptional Tree Table shown in MICC 19.16 under Tree, Exceptional.

List the total number of trees for each category and the tree identification numbers from the arborist report.

Number of trees 36" or greater	0
List tree numbers:	
Number of trees 24" or greater (including 36" or greater)	1
List tree numbers:	5
Number of trees from Exceptional Tree Table (MICC 19.16)	0
List tree numbers:	

**LARGE REGULATED TREES**

Large Regulated Trees - means any tree with a diameter of 10 inches or more, and any tree that meets the definition of an Exceptional Tree.

Number of Large Regulated Trees on site	5	(A)
List tree numbers:	1,2,3,4,5	
Number of Large Regulated Trees on site proposed for removal	2	(B)
List tree numbers:	2,3	
Percentage of trees to be retained ((A-B)/Ax100) note: must be at least 30%	60	%

**RIGHT OF WAY TREES**

Right of Way Trees - means a tree that is located in the street right of way adjacent to the project property.

Number of Large Regulated Trees in right of way	0
List tree numbers:	
Number of Large Regulated Trees in right of way proposed for removal	0

\\chfs1\share\CPD\FORMS\1\Current Forms\Engineering Forms\TreeInventoryReplacementSubmittalInformation.docx 1/2019

List tree numbers: \_\_\_\_\_  
 Reason for removal: \_\_\_\_\_

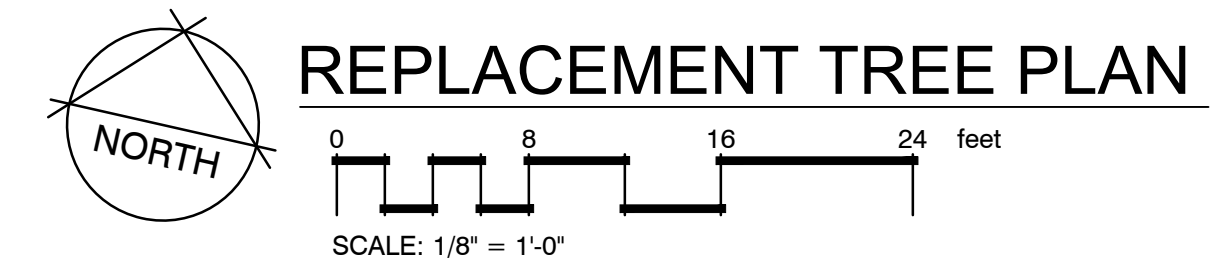
**TREE REPLACEMENT**

Tree replacement - removed trees must be replaced based on the ratio in the table below. Replacement trees shall be conifers at least six feet tall and or deciduous at least one and one-half inches in diameter at base.

Diameter of Removed Tree (measured 4.5' above ground)	Tree replacement Ratio	Number of Trees Proposed for Removal	Number of Tree Required for Replacement Based on Size/Type
Less than 10"	1	0	0
10" up to 24"	2	2	4
Greater than 24" up to 36"	3	0	0
Greater than 36" and any Exceptional Tree	6	0	0
<b>TOTAL TREE REPLACEMENTS</b>			<b>4</b>

Tree/ Tag #	Species Common Name	Species Scientific Name	DBH (inches)	Height (feet)	Drip-Line / Limits of Disturbance (feet)				Condition	Regulated Yes/No	Exceptional Yes/No	Comments	Proposal
					N	S	E	W					
1	European white birch	<i>Betula pendula</i>	14,13,10 (22)	55	18/14	14	18	16/14	Fair-Good	Yes	No	fairly good form and vigor	Save
2	Mt. Fuji Cherry	<i>Prunus serrulata 'Shirotae'</i>	*14	20	8	12	12	6	Good	Yes	No	young specimen, close to house	Remove
3	Kwanzan cherry	<i>Prunus serrulata 'Kwanzan'</i>	15	22	10	6	8	8	Fair	Yes	No	topped in past, close to house	Remove
4	flowering dogwood	<i>Cornus florida</i>	7,5,4,4 (10)	16	10	10/7	6	8/7	Good	Yes	No	typical cluster, topped in past	Save
5	European beech	<i>Fagus sylvatica L.</i>	28	78	22	18/5	22/16	18/16	Good	Yes	No	good form, good vigor, close to house	Save
<b>Neighboring Trees</b>													
Trees #1 and #5 possibly 'boundary line' trees													

\* - caliper measurement at one-foot above ground  
 Drip-Line and Limits of Disturbance measurements from face of trunk  
 Calculated DBH: the DBH is parenthesis is the square root of the sum of the dbh for each individual stem squared (example with 3 stems: dbh = square root [(stem1)2 +(stem2)2 +(stem3)2 ]).



Root of Design  
 206.441.4545  
 2020 Maitby Rd  
 Ste 1, FMB 370  
 Bothell, WA 98021  
[www.rootofdesign.com](http://www.rootofdesign.com)

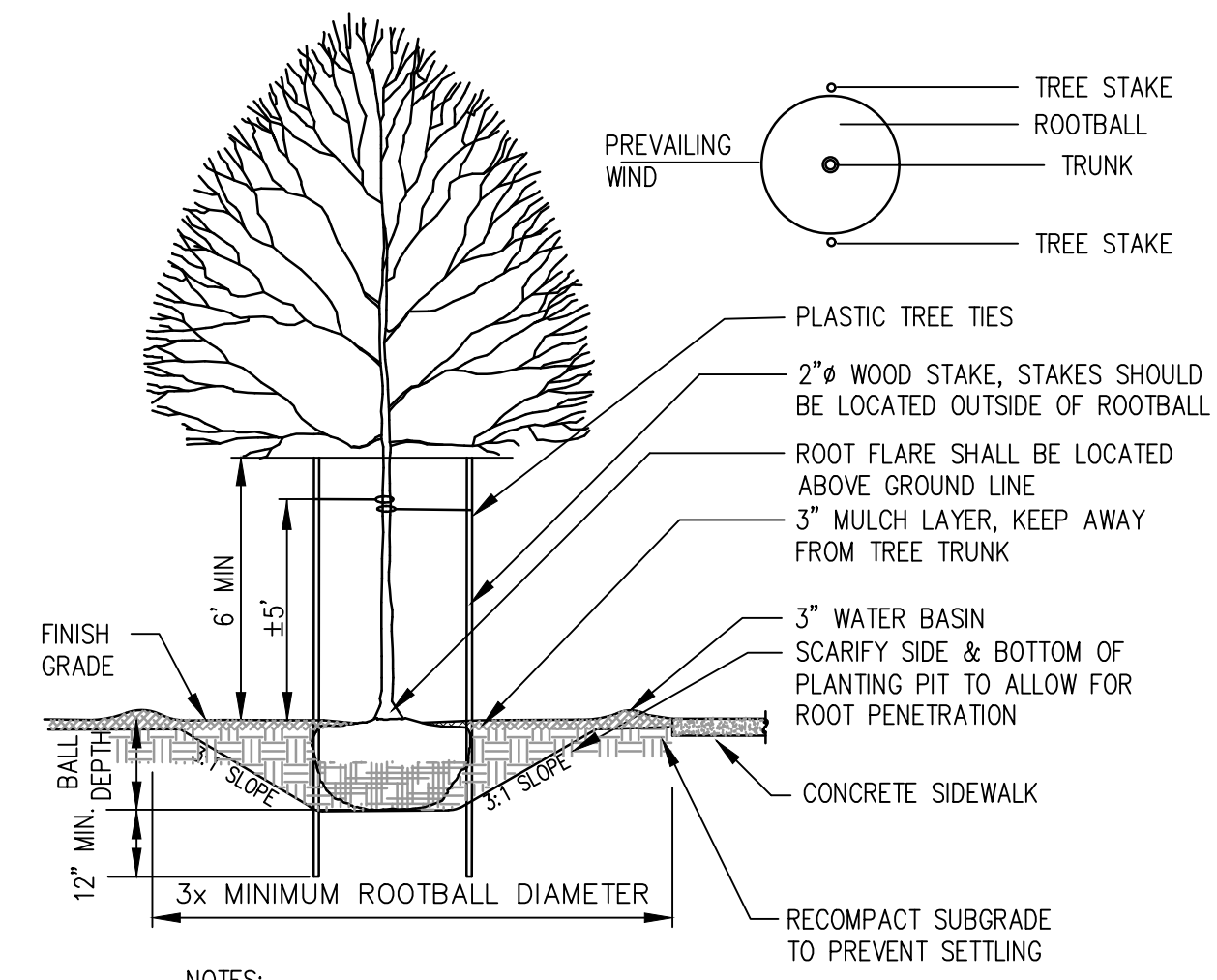


PROJECT TITLE

**REPLACEMENT TREE PLAN**  
 6221 83RD PL SE MERCER ISLAND, WA

DRAWN: ROD DATE: 05.26.22  
 REVISED: ROD DATE: 12.21.22

1/8" = 1'-0"  
**L1**

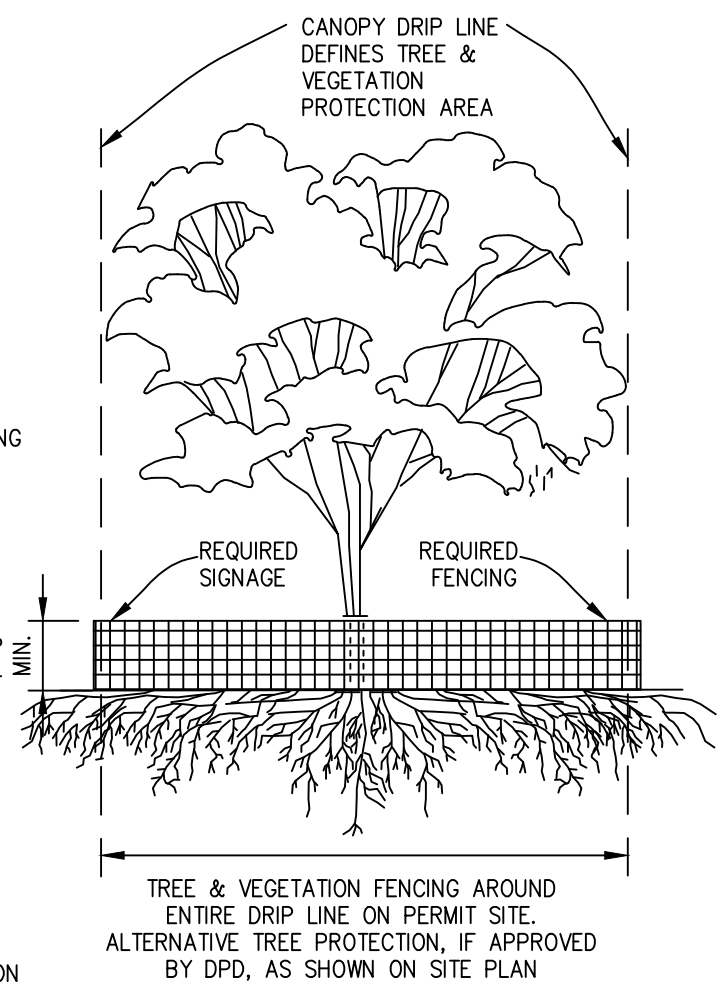


- NOTES:**
1. TREE PIT SHALL NOT BE LESS THAN (3) TIMES ROOT BALL DIA.
  2. CUT ALL TIES AND FOLD BACK BURLAP FROM UPPER 1/3 OF ROOT BALL
  3. REMOVE ALL PLASTIC AND TWINE
  4. TREE STAKES PERPENDICULAR TO THE PREVAILING WIND
  5. PLANT TREES 2" HIGHER THAN DEPTH GROWN IN NURSERY

**1** TYPICAL DECIDUOUS TREE PLANTING DETAIL  
NTS

**TREE PROTECTION FENCING AND SIGN**

1. CHAIN LINK, WIRE MESH, OR SIMILAR OPEN RIGID MATERIAL (NO PLYWOOD)
2. MUST BE INSTALLED PRIOR TO DEMOLITION OR GROUND DISTURBANCE
3. KEPT IN PLACE FOR THE DURATION OF CONSTRUCTION
4. NO SOIL DISTURBANCE OR ACTIVITY ALLOWED WITHIN FENCED AREA: MATERIAL STORAGE/STOCKPILING, PARKING, EXCAVATION, DUMPING, OR WASHING
5. MODIFICATIONS OF THESE REQUIREMENTS BY APPROVAL OF DPD PLANNER ONLY
6. IF ROOTS GREATER THAN 2 INCH FOUND OUTSIDE OF FENCING, PROTECT BY HAND EXCAVATION AND, IF NECESSARY, CUT CLEANLY AND KEEP MOIST
7. USE 3 INCHES OR DEEPER WOOD CHIP MULCH OUTSIDE FENCED AREAS TO PROTECT FEEDER ROOTS



**VEGETATION PROTECTION**

1. ORANGE MESH OR SIMILAR OPEN MATERIAL
2. MINIMIZE CONSTRUCTION ZONE
3. PROTECT VEGETATION OUTSIDE CONSTRUCTION ZONE WITH FENCING AS SHOWN
4. USE 3 INCHES OR DEEPER WOOD CHIP MULCH OUTSIDE FENCED AREAS TO PROTECT FEEDER ROOTS

**2** TREE & VEGETATION PROTECTION

**LANDSCAPE NOTES**

1. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH ALL OTHER SITE IMPROVEMENTS AND CONDITIONS PRIOR TO STARTING LANDSCAPE WORK.
2. CONTRACTOR SHALL USE CAUTION WHILE EXCAVATING TO AVOID DISTURBING ANY UTILITIES ENCOUNTERED. CONTRACTOR IS TO PROMPTLY ADVISE OWNER OF ANY DISTURBED UTILITIES. LOCATION SERVICE PHONE 1-800-424-5555.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPUTING SPECIFIC QUANTITIES OF GROUND COVERS AND PLANT MATERIALS UTILIZING ON-CENTER SPACING FOR PLANTS AS STATED ON THE LANDSCAPE PLAN AND MINIMUM PLANTING DISTANCES AS SPECIFIED BELOW IN THESE NOTES.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE QUANTITIES OF PLANTS THAT ARE REPRESENTED BY SYMBOLS ON THE DRAWINGS.
5. SUBGRADE IS TO BE WITHIN 1/2" OF ONE FOOT AS PROVIDED BY OTHERS. ALL PLANTING AREAS TO BE CLEARED OF ALL CONSTRUCTION MATERIAL AND ROCKS AND STICKS LARGER THAN 2" DIAMETER.
6. 6" DEPTH TOPSOIL IN BED AREAS AND 4" IN ALL LAWN AREAS.
7. 2" DEPTH BARK IN ALL BED AREAS.
8. ALL PLANT MATERIAL SHALL BE FERTILIZED WITH AGRO TRANSPLANT FERTILIZER 4-2-2 PER MANUFACTURER'S SPECIFICATIONS.
9. ALL PLANT MATERIAL SHALL CONFORM TO AAN STANDARDS FOR NURSERY STOCK, LATEST EDITION. ANY REPLACEMENTS MADE AT ONCE.
  - 9.A. GENERAL: ALL PLANT MATERIAL FURNISHED SHALL BE HEALTHY REPRESENTATIVES, TYPICAL OF THEIR SPECIES OF VARIETY AND SHALL HAVE A NORMAL GROWTH HABIT. THEY SHALL BE FULL, WELL BRANCHED, WELL PROPORTIONED, AND HAVE A VIGOROUS, WELL DEVELOPED ROOT SYSTEM. ALL PLANTS SHALL BE HARDY UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
  - 9.B. TREES, SHRUBS, AND GROUND COVER: QUANTITIES, SPECIES, AND VARIETIES, SIZES AND CONDITIONS AS SHOWN ON THE PLANTING PLAN. PLANTS TO BE HEALTHY, VIGOROUS, WELL FOLIATED WHEN IN LEAF. FREE OF DISEASE, INJURY, INSECTS, DECAY, HARMFUL DEFECTS, AND ALL WEEDS. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT OR OWNER.
10. ALUMINUM EDGING, PERMALOC OR APPROVED EQUAL, TO BE INSTALLED BETWEEN BARK AND COBBLE.

Root of Design  
206.441.4545  
2020 Maitby Rd  
Ste 7, PMB 370  
Bothell, WA 98021  
www.rootofdesign.com



PROJECT TITLE

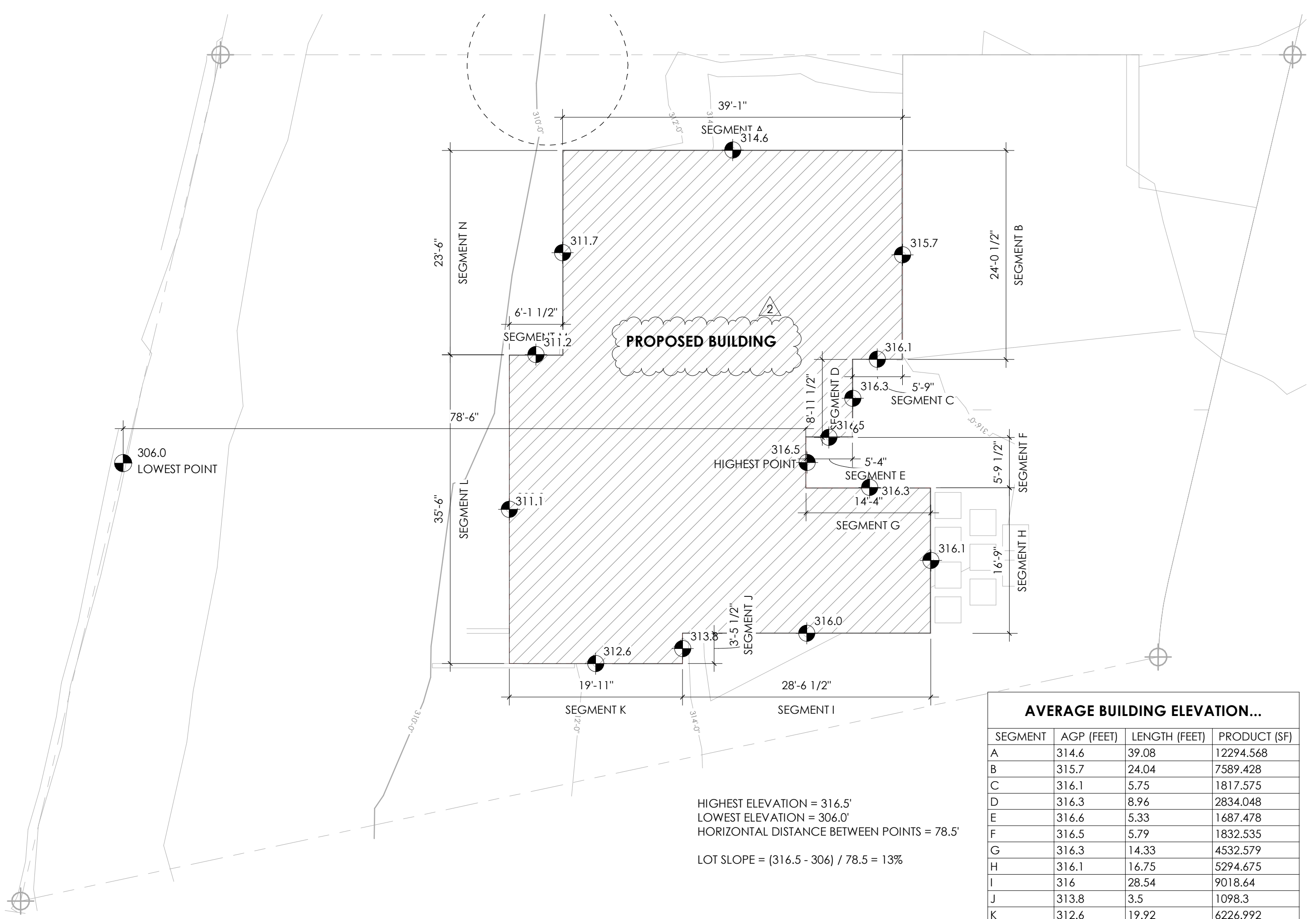
**LANDSCAPE DETAILS & NOTES**

6221 83RD PL SE MERCER ISLAND, WA

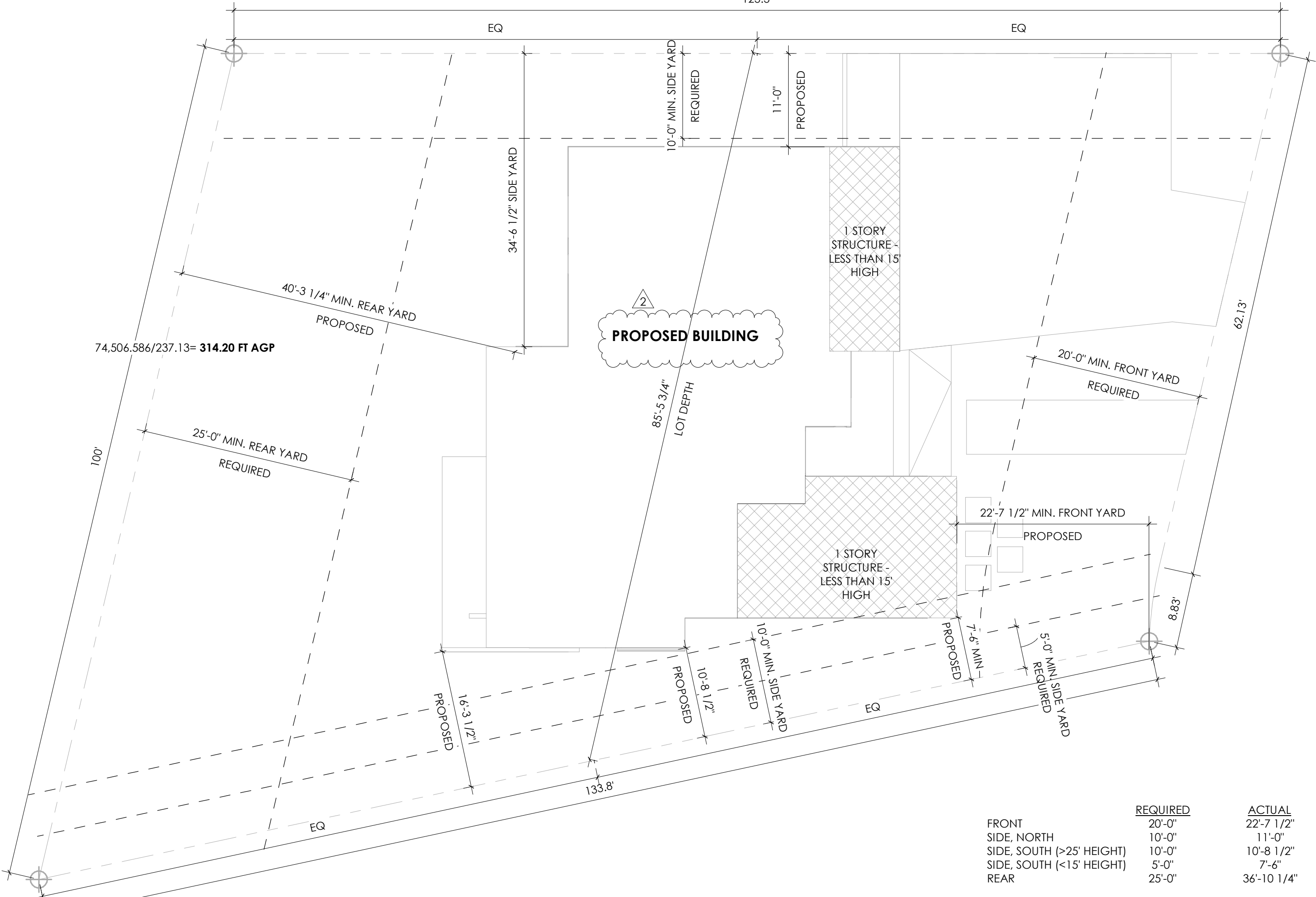
DRAWN ROD	DATE 05.26.22
REVISED ROD	DATE 12.21.22

NTS

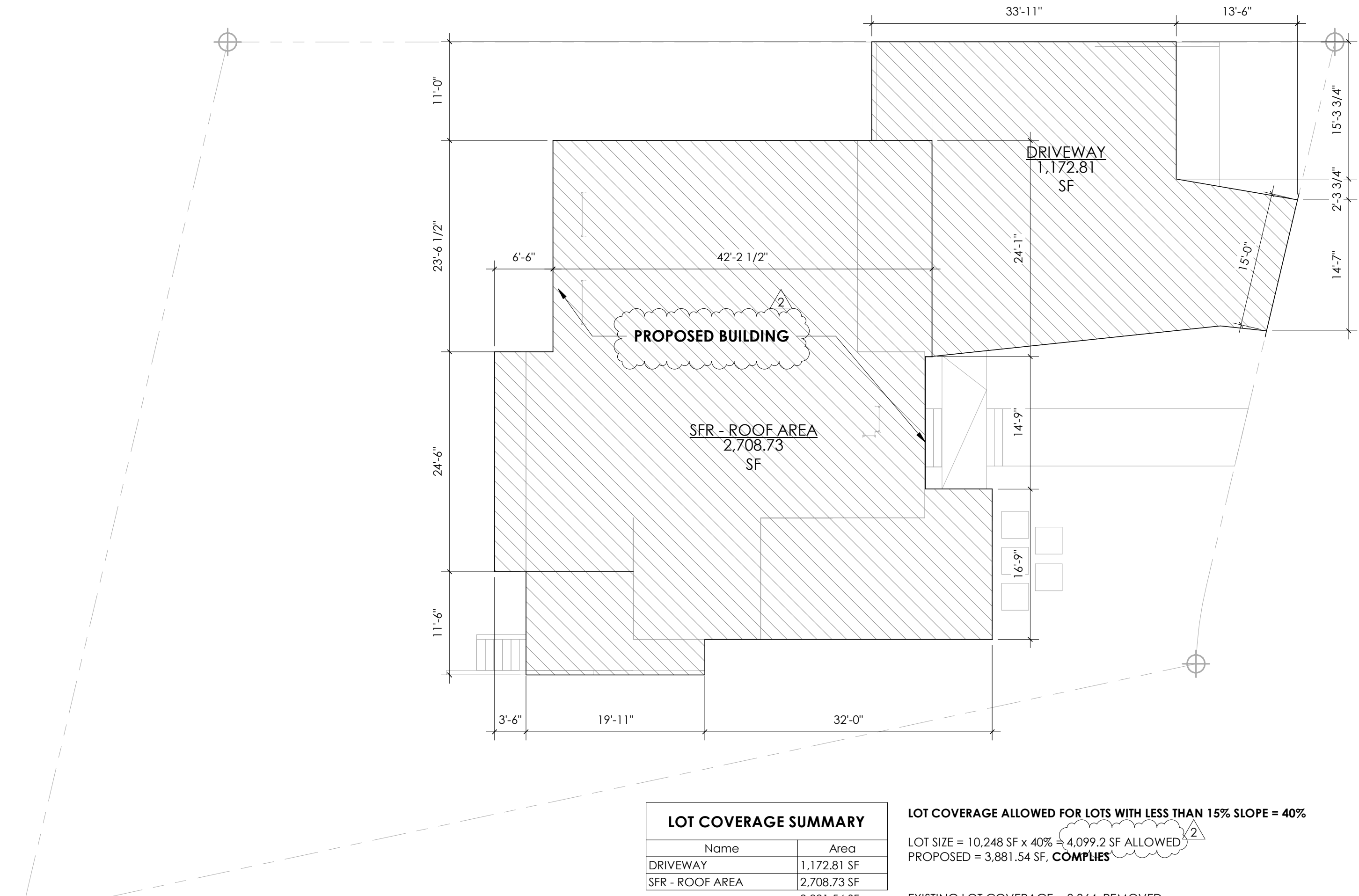
**L3**



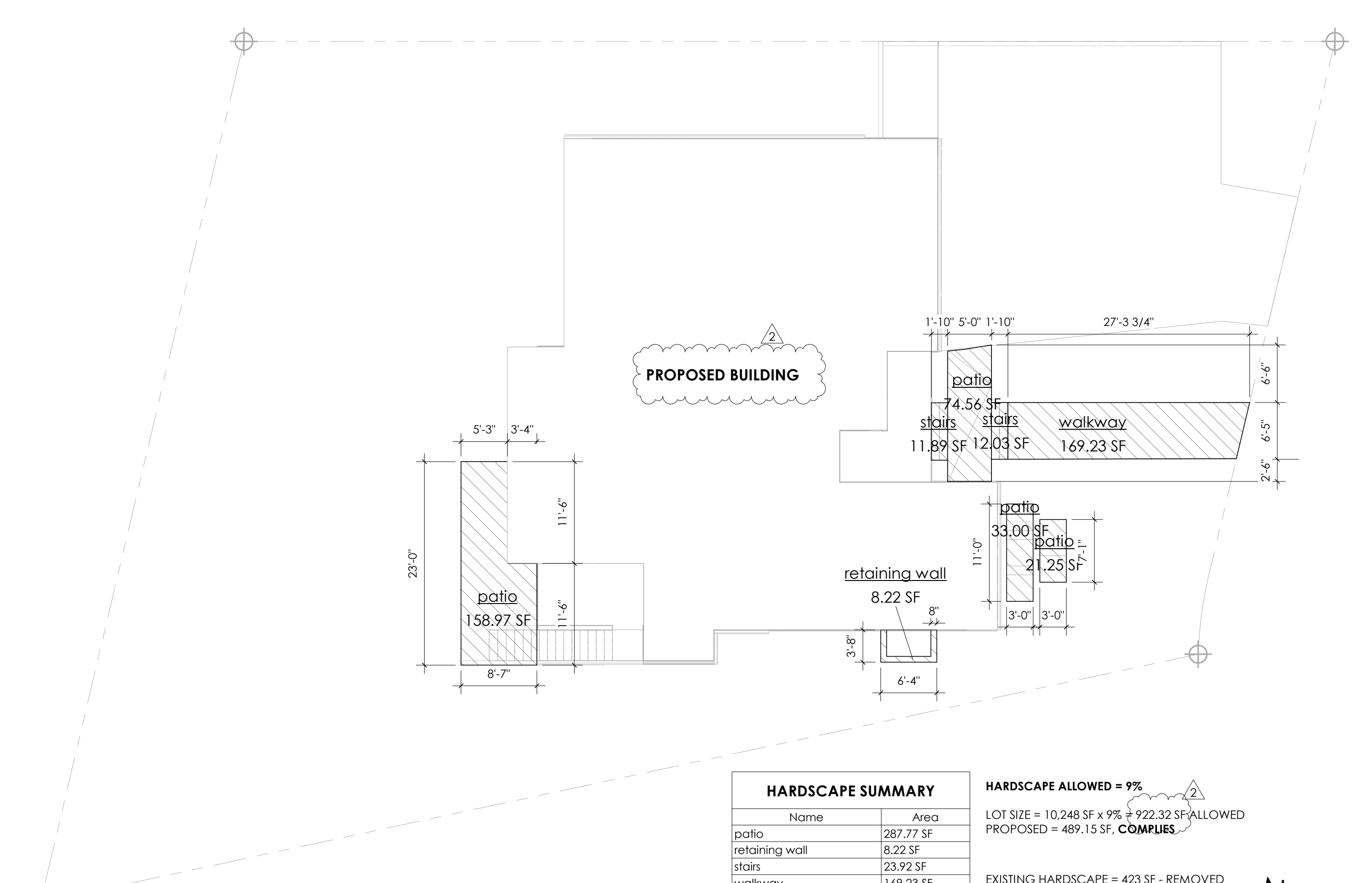
1 Diagram Average Building Elevation  
 SCALE: 1" = 10'-0"



2 Diagram Setbacks  
 SCALE: 1" = 10'-0"



3 Diagram Lot Coverage  
 SCALE: 1" = 10'-0"



4 Diagram Hardscape  
 SCALE: 1" = 10'-0"



**JULIAN WEBER ARCHITECTS, LTD**  
 1257 S King St  
 Seattle, WA 98144  
 206.953.1305  
 www.jwaseattle.com

9458 REGISTERED ARCHITECT  
 JULIAN R. WEBER  
 STATE OF WASHINGTON

**COOMBS DEVELOPMENT**  
 4701 SW ADMIRAL WAY, SUITE 385  
 SEATTLE, WA 98116  
 P 206.420.7672

Coombes Residence  
 6221 83rd Pl SE  
 Mercer Island

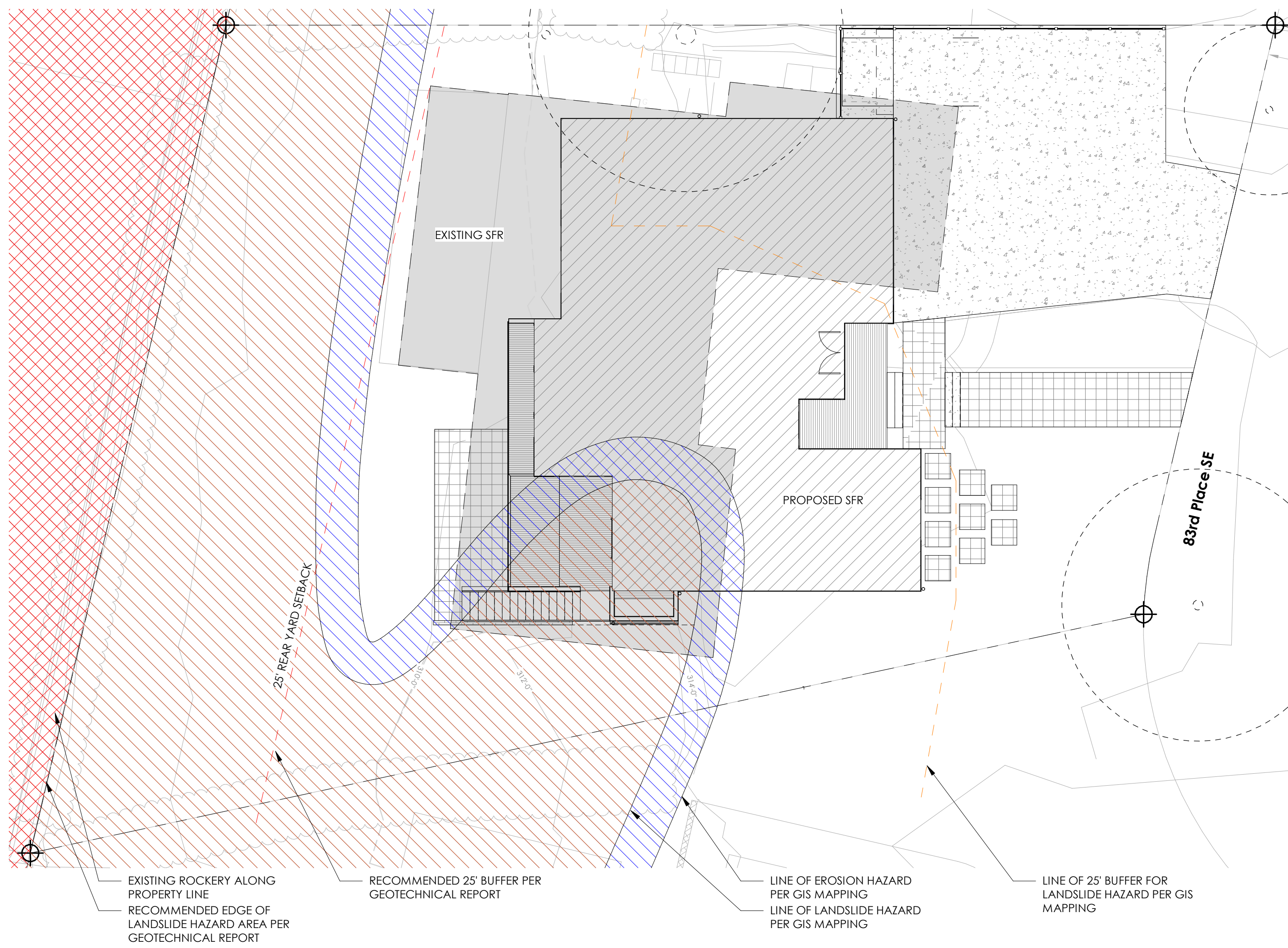
MUP #	na
BP #	2207-110
Δ	Date Description
	06.02.2022 Critical Area Submittal
	06.02.2022 BP Submittal
2	01.09.2023 BP Corr 1

**SITE DIAGRAMS**

Scale 1" = 10'-0"  
 Date 04/29/2022

**A1.2**

Project Number **JWA#611**



1

**CRITICAL AREAS**

CRITICAL AREA REVIEW UNDER PERMIT #CAO22-013

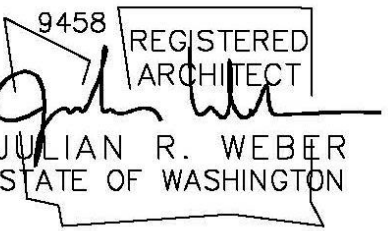
SCALE: 1" = 10'-0"



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Coombes Residence

6221 83rd Pl SE  
Mercer Island

MUP # na

BP # 2207-110

Δ	Date	Description
	06.02.2022	Critical Area Submittal
	06.02.2022	BP Submittal

**CRITICAL AREAS**

Scale 1" = 10'-0"

Date 04/29/2022

**A1.3**

Project Number JWA#611

