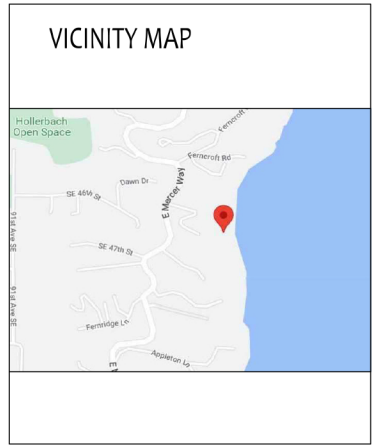


TP TREE PROTECTION NOTES:
 1. Install tree protection fence along under drip-lines of all saved trees adjacent to construction area.
 2. Perform an excavation under arborist supervision for all work in unpaved area within saved trees drip-lines.
 3. Include dispersion trenches and cuts (as needed) in pavement/curb near trees: 22, 23, 24, 25, 27.

SITE PLAN:
 SCALE: 1" = 20'-0"
 PRINTS TO SCALE ON 24"x36"

YUEN RESIDENCE
 4624 E. MERCER WAY
 MERCER ISLAND, WA 98040

CONTACT INFORMATION:	PROPERTY INFORMATION:
<p>OWNER: GERALD YUEN 4624 E. MERCER WAY MERCER ISLAND, WA 98040</p> <p>CONTRACTOR & LANDSCAPE ARCHITECT: RAGEN & ASSOCIATES 517 E. PIKE STREET SEATTLE, WA 98122 P: (206) 329.4737</p> <p>SURVEYOR: FLOS ENGINEERING, PLLC P.O. BOX 418 RAVENSDALE, WA 98059 P: (206) 420.7730</p> <p>GEOTECHNICAL ENGINEER: GEO GROUP NORTHWEST, INC. CONTACTS: KEITH JOHNSON ANDREW HOFF WILLIAM CHANG PE 15705 NE PEL RED RD BELLEVUE, WA 98005-4827 P: (425) 649.8757</p>	<p>PARCEL#: 758610-0010</p> <p>OWNER: GERALD YUEN 4624 E. MERCER WAY MERCER ISLAND, WA 98040</p> <p>PROJECT ADDRESS: 4624 E. MERCER WAY MERCER ISLAND, WA 98040</p> <p>LEGAL DESCRIPTION: THAT PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER AND OF GOVERNMENT LOT 9 IN SECTION 19, TOWNSHIP 24 NORTH, RANGE 5 EAST, WILLAMETTE MERIDIAN IN KING COUNTY, WASHINGTON LYING EASTERLY OF MERCER ISLAND BOULEVARD AND BETWEEN LINES PARALLEL WITH AND DISTANT 256'10 FEET AND 99'10 FEET, RESPECTIVELY, SOUTH OF THE NORTHERLY LINE OF SAID SUBDIVISION TOGETHER WITH SHORE LANDS OF THE SECOND CLASS IN FRONT THEREOF AND LYING BETWEEN SAID PARALLEL LINES PRODUCED EASTERLY, (BEING KNOWN AS TRACT 4 AND THE SOUTH HALF OF TRACT 5, SANDY BEACH TRACTS, ACCORDING TO THE UNRECORDED PLAT THEREOF, TOGETHER WITH SECOND CLASS SHORE LANDS ADJOINING), CHICAGO TITLE INSURANCE COMPANY GUARANTEE/CERTIFICATE NO. 014522-B-ETU</p> <p>PARCEL AREA: 40,071 SF</p> <p>ZONING: R-1B</p>



TREE SCHEDULE:				
NUMBER	LATIN NAME	COMMON NAME	DBH	DLR
1	ACER MACROPHYLLUM	BIG LEAF MAPLE	12"	24'
2	THUJA PLICATA	WESTERN RED CEDAR	18"	18'
3	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	14"	14'
4	ACER MACROPHYLLUM	BIG LEAF MAPLE	36"	36'
5	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	18"	18'
6	ACER MACROPHYLLUM	BIG LEAF MAPLE	12"	20'
7	ACER MACROPHYLLUM	BIG LEAF MAPLE	12"	12'
8	ACER MACROPHYLLUM	BIG LEAF MAPLE	26"	26'
9	ACER MACROPHYLLUM	BIG LEAF MAPLE	12"	12'
10	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	20"	20'
11	ACER MACROPHYLLUM	BIG LEAF MAPLE	52"	52'
12	ACER MACROPHYLLUM	BIG LEAF MAPLE	12"	20'
13	ACER MACROPHYLLUM	BIG LEAF MAPLE	16"	20'
14	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	48"	48'
15	ACER MACROPHYLLUM	BIG LEAF MAPLE	10"	20'
16	ACER MACROPHYLLUM	BIG LEAF MAPLE	10"	20'
17	ACER MACROPHYLLUM	BIG LEAF MAPLE	10"	10'
18	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	56"	40'
19	ACER MACROPHYLLUM	BIG LEAF MAPLE	12"	18'
20	ACER MACROPHYLLUM	BIG LEAF MAPLE	10"	20'
21	THUJA PLICATA	WESTERN RED CEDAR	8"	8'
22	THUJA PLICATA	WESTERN RED CEDAR	22"	22'
23	THUJA PLICATA	WESTERN RED CEDAR	28"	28'
24	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	20"	20'
25	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	18"	18'
26	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	10"	10'
27	DECIDUOUS		16"	16'
28	THUJA PLICATA	WESTERN RED CEDAR	40"	40'
29	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	12"	12'
30	ILEX	HOLLY	8"	8'
31	THUJA PLICATA	WESTERN RED CEDAR	30"	30'
32	DECIDUOUS		8"	10'
33	THUJA PLICATA	WESTERN RED CEDAR	28"	28'
34	FRAXINUS LATIFOLIA	OREGON ASH	6"	12'
35	THUJA PLICATA	WESTERN RED CEDAR	28"	28'
36	THUJA PLICATA	WESTERN RED CEDAR	36"	36'
37	THUJA PLICATA	WESTERN RED CEDAR	26"	26'
38	THUJA PLICATA	WESTERN RED CEDAR	42"	42'
39	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	20"	20'

ETER OF BREAS HEIGHT
 DRIP LINE RADIUS

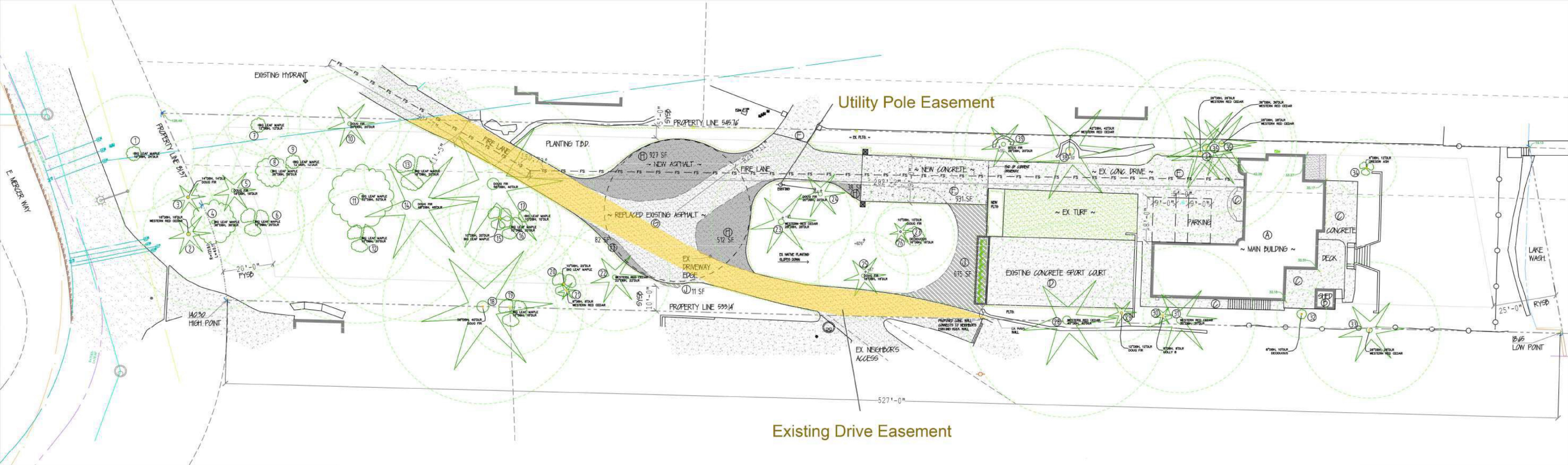
PROJECT INFORMATION:	
<p>PROJECT DESCRIPTION: DRIVEWAY MODIFICATION</p> <p>AREA CALCULATION:</p> <p>Ⓐ EXISTING MAIN BUILDING: 2,420 SF</p> <p>Ⓢ EXISTING SHED: 66 SF</p> <p>Ⓣ EXISTING UNCOVERED DECK: 423 SF</p> <p>Ⓤ EXISTING UNCOVERED PATIOS: 476 SF</p> <p>Ⓦ EXISTING WALKWAYS: 242 SF</p> <p>Ⓧ EXISTING STAIRS: 178 SF</p> <p>Ⓨ EXISTING ROCKERS/WALLS: 15 SF</p> <p>Ⓩ EXISTING SPORT COURT: 1,600 SF</p> <p>ⓐ EXISTING CONCRETE DRIVE: 1,008 SF</p> <p>ⓑ NEW CONCRETE DRIVE: 391 SF</p> <p>ⓓ REPLACED ASPHALT: 3,926 SF</p> <p>ⓔ NEW ASPHALT: 1,550 SF</p> <p>ⓕ REMOVED ASPHALT: 486 SF</p> <p>ⓖ TOTAL LANDSCAPED AREA: 2,611 SF</p> <p>FIRE LANE INFORMATION: DISTANCE MAIN BUILDING TO FIRE HYDRANT: 975 LF NARROWEST EXISTING ACCESS: 11-5'</p>	<p>LOT COVERAGE:</p> <p>EXISTING MAIN BUILDING (Ⓐ): 2,420 SF</p> <p>EXISTING SHED (Ⓢ): 66 SF</p> <p>VEHICULAR USE AREA (Ⓣ, Ⓤ, Ⓦ): 6,640 SF</p> <p>REMOVED VEHICULAR USE AREA (ⓐ, ⓑ): 4,582 SF</p> <p>NEW VEHICULAR USE AREA (ⓓ, ⓔ): 6,348 SF</p> <p>TOTAL LOT COVERAGE AREA: 10,912 SF</p> <p>LOT: 40,071 SF</p> <p>* LOT COVERAGE CALCULATION: 10,912 SF / 40,071 SF = 27.2% ALLOWED LOT COVERAGE = 35%</p> <p>HARDSCAPE CALCULATION: EXISTING HARDSCAPE (Ⓣ, Ⓤ): 1,994 SF 1,994 SF / 40,071 SF = 4.9% < 3% ALLOWED NO CHANGES TO EXISTING HARDSCAPE</p> <p>LOT SLOPE: LOT SLOPE = 12.5% NO CHANGES TO EXISTING LOT SLOPE LOT SLOPE CALCULATION SEE: DT1 - BOUNDARY & TOPOGRAPHIC SURVEY</p>

SHEET INDEX:
 L1: PROJECT INFORMATION, SITE PLAN
 L2: DRAINAGE PLAN
 RS RECORD SURVEY
 BT 1: BOUNDARY & TOPOGRAPHIC SURVEY
 BT 2: BOUNDARY & TOPOGRAPHIC SURVEY

SITE PLAN
 PROJECT INFORMATION
 PERMIT #: XXXXX

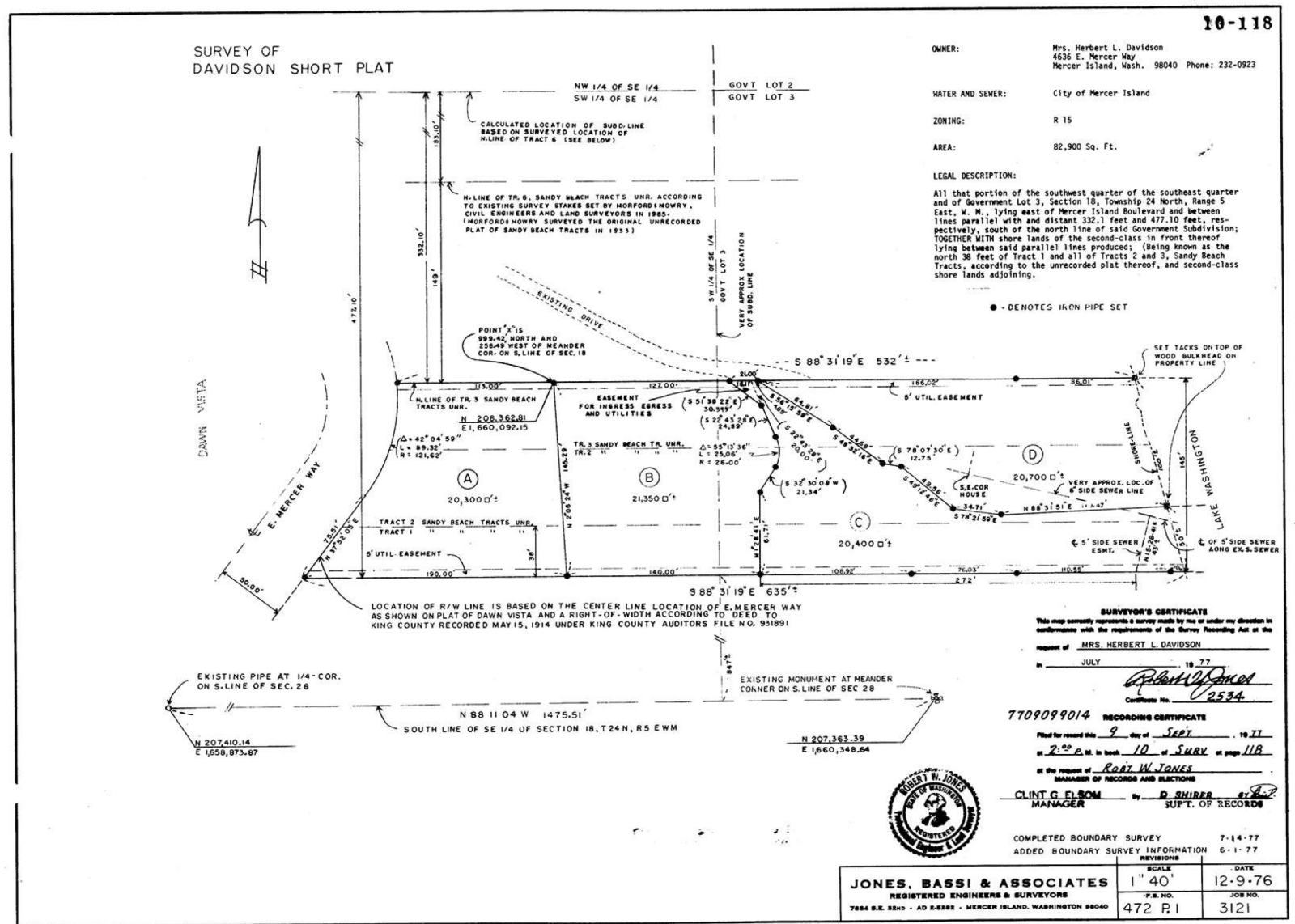
DRAWN BY: CS, AB
DATE: 2-22-2023

Revised 4-17-23



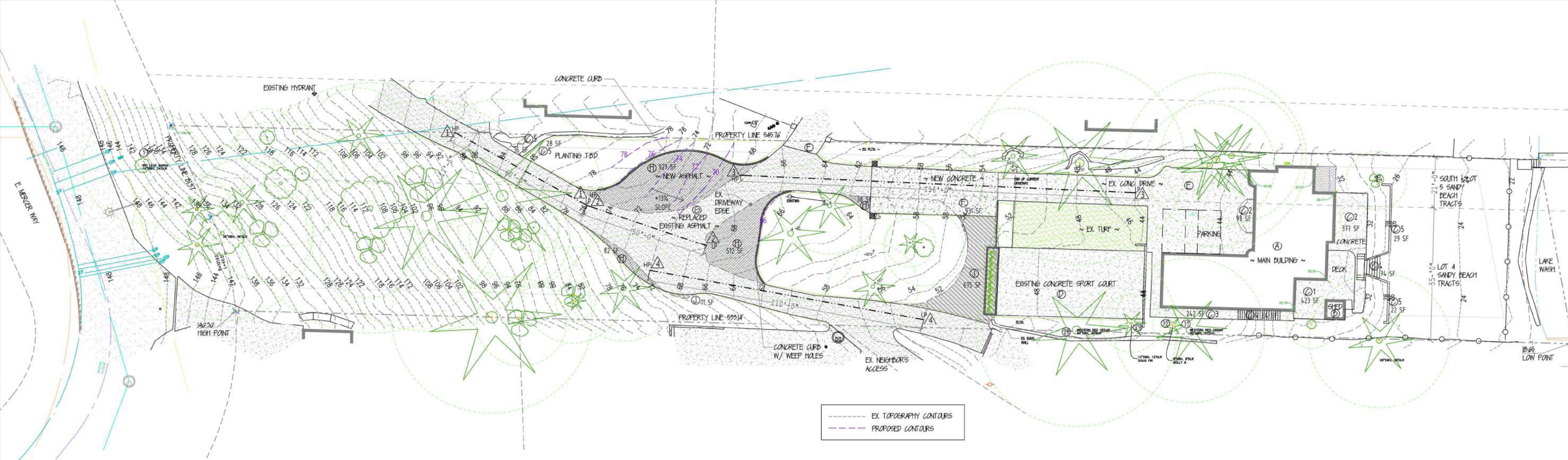
SITE PLAN:
 SCALE: 1" = 20'-0"
 PRINTS TO SCALE ON 24"x36"

YUEN RESIDENCE
 4624 E. MERCER WAY
 MERCER ISLAND, WA 98040



**SITE PLAN
 PROJECT INFORMATION**

**DRAWN BY: CS, AB
 DATE: 1-25-2023**



SCALE: 1" = 20'-0"
 PRINTS TO SCALE ON 24"x36"
 0 5 10 20 30 FEET

DRIVEWAY SLOPES/ GRADIENTS CALCULATIONS:

HP	LP	RISE	RUN	%
80	76	4'	40'	10%
76	68	8'	50'	16%
68	44	24'	156'	15%
70	52	18'	110'	16%

PROJECT AREA INFORMATION:

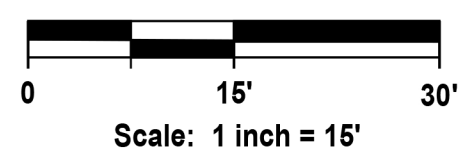
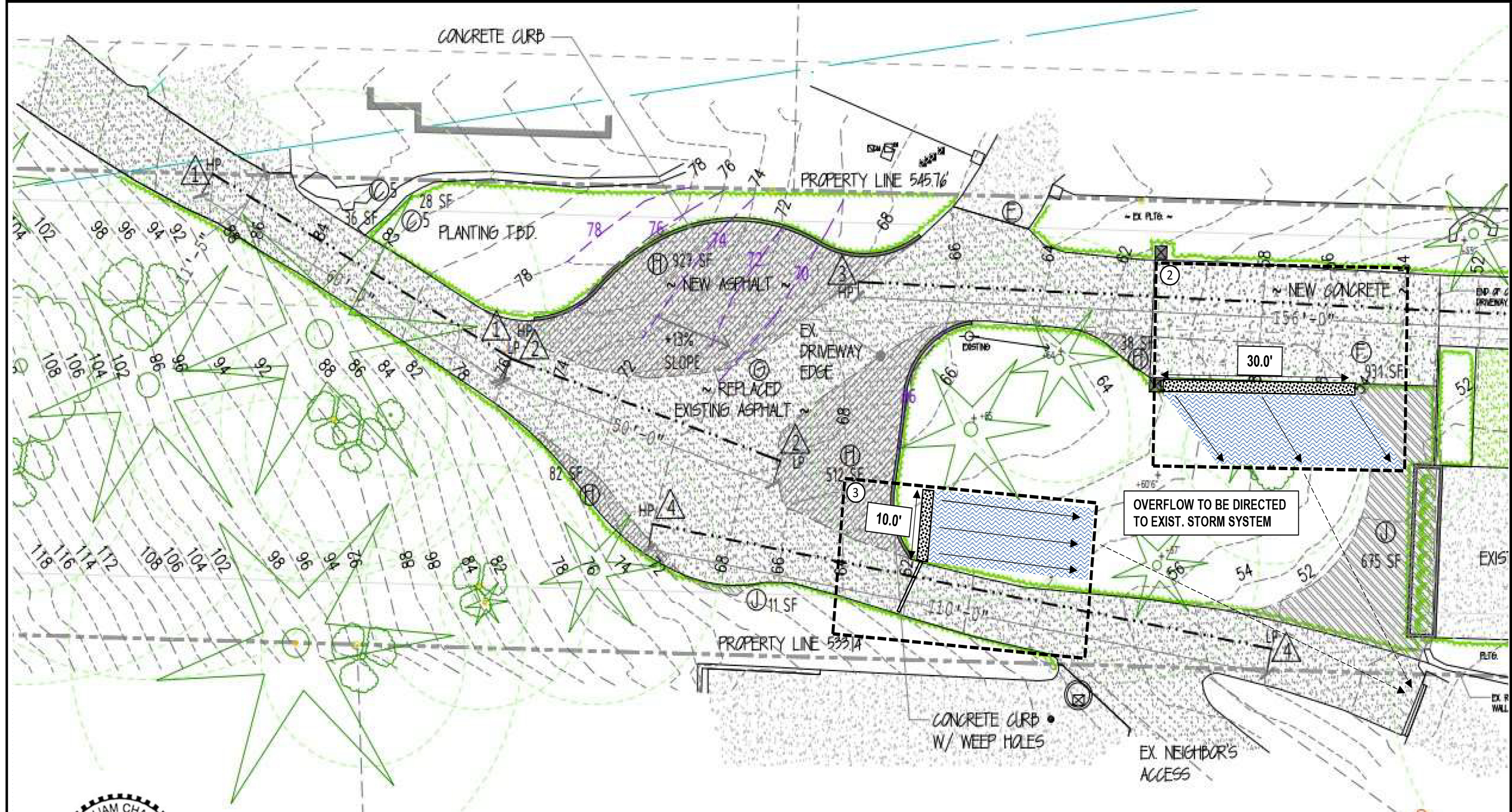
AREA CALCULATION:

- (A) EXISTING MAIN BUILDING: 2,490 SF
- (B) EXISTING SHED: 66 SF
- (C1) EXISTING UNCOVERED DECK: 423 SF
- (C2) EXISTING UNCOVERED PATIOS: 476 SF
- (C3) EXISTING WALKWAYS: 242 SF
- (C4) EXISTING STAIRS: 138 SF
- (C5) EXISTING ROCKERS/ WALLS: 18 SF
- (D) EXISTING SPORT COURT: 1,600 SF
- (E) EXISTING CONCRETE DRIVE: 2,058 SF
- (F) NEW CONCRETE DRIVE: 99 SF
- (G) REPLACED ASPHALT: 3,836 SF
- (H) NEW ASPHALT: 1,553 SF
- (I) REMOVED ASPHALT: 686 SF
- (K) TOTAL LANDSCAPED AREA: 24,811 SF

YUEN RESIDENCE
 4624 E. MERCER WAY
 MERCER ISLAND, WA 98040

**DRIVEWAY SLOPES/
 GRADIENTS**

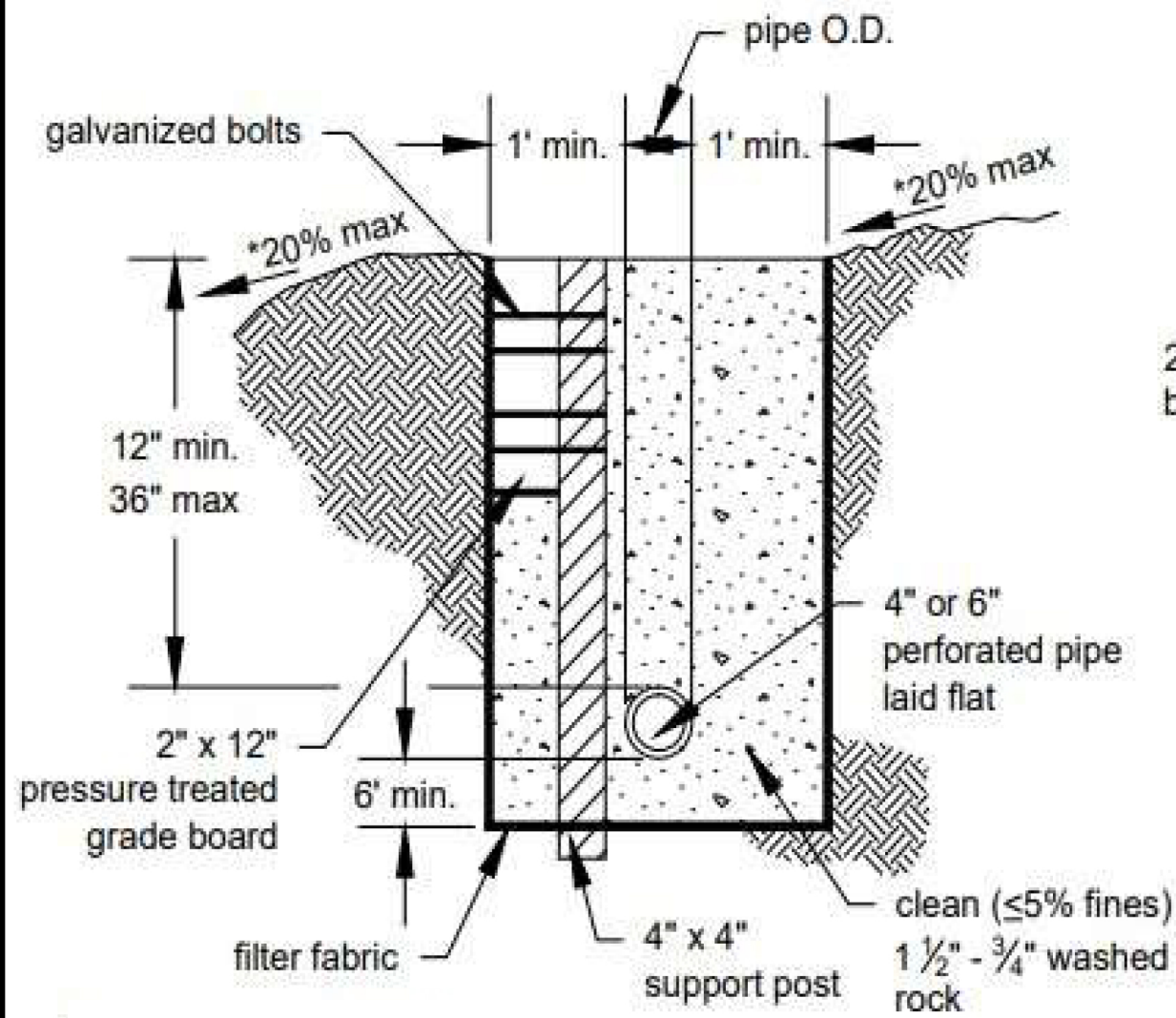
**DRAWN BY: CS, AB
 DATE: 2-22-2023**



DRAINAGE PLAN
PROPOSED DRIVEWAY EXPANSION
4624 E MERCER WY
MERCER ISLAND, WA 98040

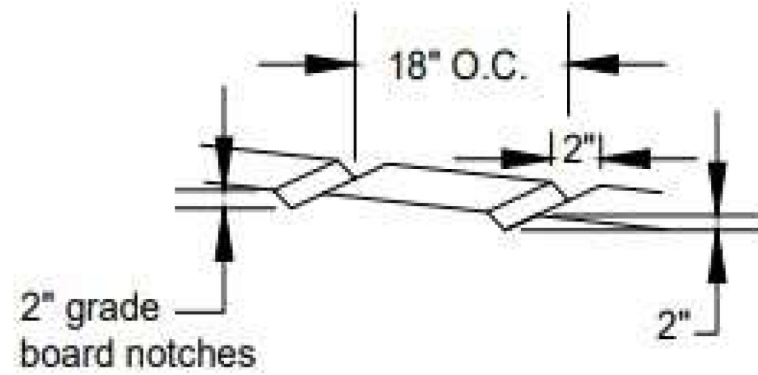
SCALE	As Shown	DATE	3/17/23	MADE	AH	CHKD	WC	JOB NO.	G-5770	PLATE	1
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Source: Landscape Plan by Ragen & Associates, 2023



① **DISPERSION TRENCH DETAIL**

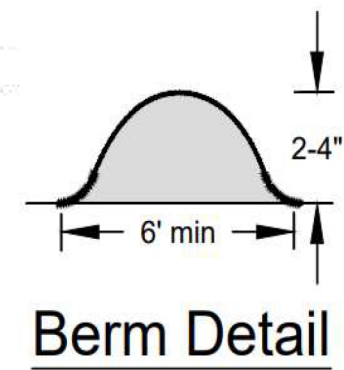
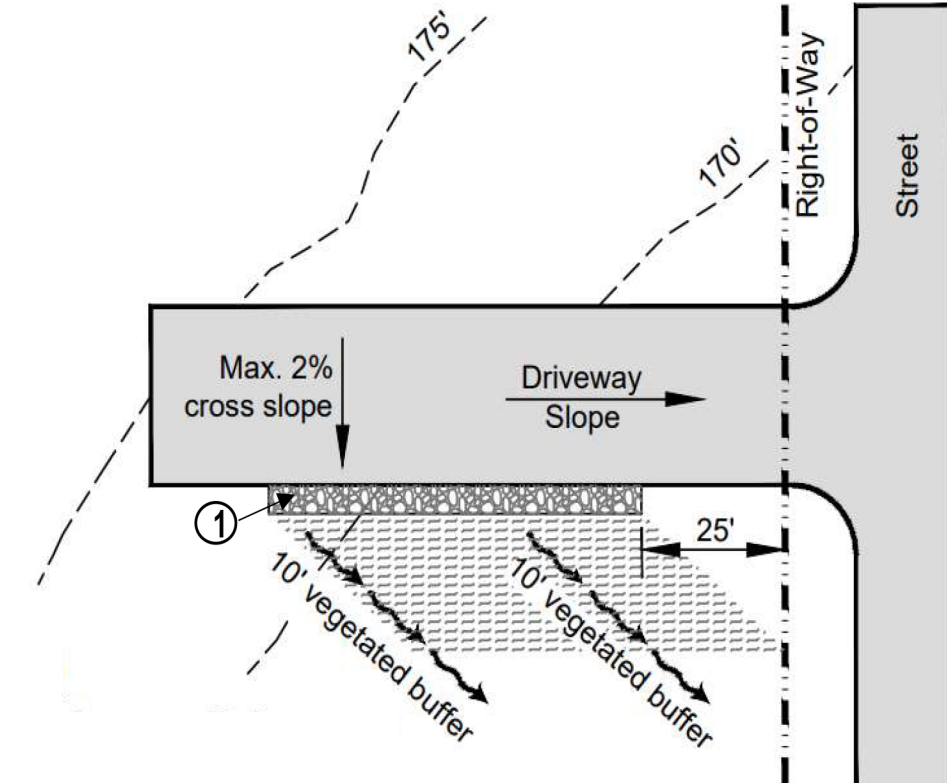
*15% max for flow control/water quality treatment in rural areas.



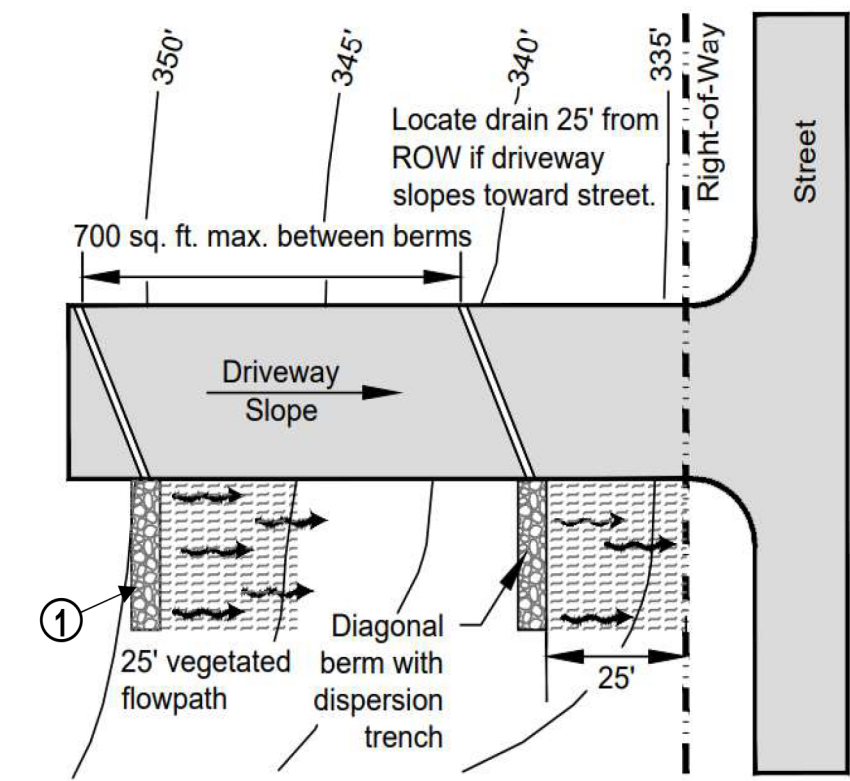
Notes:

1. This trench shall be constructed so as to prevent point discharge and/or erosion.
2. Trenches may be placed no closer than 50 feet to one another. (100 feet along flowline)
3. Trench and grade board must be level. Align to follow contours of site.
4. Support post spacing as required by soil conditions to ensure grade board remains level.

② **SHEET FLOW DISPERSION FROM A DRIVEWAY**



Berm Detail



③ **DRIVEWAY DISPERSION TRENCH DETAIL**



DRAINAGE PLAN DETAILS
PROPOSED DRIVEWAY EXPANSION
4624 E MERCER WY
MERCER ISLAND, WA 98040