

PROJECT DATA	PROJECT DATA	PROPERTY DATA	CONSTRUCTION DATA	ENERGY DATA	ENERGY DATA	VENTILATION DATA	TABLE OF CONTENTS																																																																																	
<b>OWNER</b> Steve & Joanne Adams 8035 SE 45TH ST MERCER ISLAND 98040  <b>ARCHITECT</b> PHONE: 206-355-9770 MCFADDEN DESIGN LLC 1914 5TH ST KIRKLAND, WA 98033 CONTACT: MICHAEL MCFADDEN MICHAEL@MCFADDENDSIGN.COM  <b>CONTRACTOR</b> JOE MEYERS CONSTRUCTION INC. PHONE: 425-328-7849 CONTACT: JOE MEYERS LICENSE #: JOEMMYC951PP EIN/TAX ID: 81-0675182  <b>STRUCTURAL ENGINEER</b> QUANTUM CONSULTING ENGINEERS 1511 THIRD AVENUE, SUITE 323 SEATTLE, WA 98101 206-957-3900 PHONE 206-957-3901 FAX CONTACT: MAX SKOTHEIM MSKOTHEIM@QUANTUMCE.COM	<b>SURVEYOR</b> TERRANE 10801 MAIN STREET, SUITE 102 BELLEVUE, WA 98004 425-458-4488 CONTACT: DANA HALL E: DANA@TERRANE.NET	<b>PROJECT ADDRESS</b> 8035 SE 45TH ST MERCER ISLAND 98040  <b>LOT AREA</b> 25,130 SF  <b>ASSESSOR'S TAX NUMBER</b> 770010-0091  <b>LEGAL DESCRIPTION</b> SEWARD ADD PORT OF 16 THRU 19 LY W OF LN RING N 00-16-04 E 100 FT FR FT ON S LN OF 19 49.95 FT E OF SW COR TH S 89-43-56 W ALG S LN OF 17 0.25 FT M/L TO PT 81.10 FT E OF SW COR OF 17 TH N 00-16-04 E 101.28 FT M/L TO N LN OF 16 & POR 32 THRU 34 LY E OF LN BEG ON NLY LN OF LOT 34 S 28 FT W OF NE COR THOF TH S 27-09-40 W 24.75 FT TH ON CURVE TO LEFT RAD 144 FT DIST 110.75 FT TH S 16-54-20 E 35.79 FT TH S 64-59-11 E 68.47 FT TO LN LOT 32	<b>SCOPE OF WORK:</b> WEST SIDE OF HOUSE WALLS REMOVED & REBUILT ON EXISTING FOUNDATION AND SLAB, WALLS TO REMAIN EAST OF ENTRY & NEW ROOF FOR HOUSE AND GARAGE.  <b>GROSS FLOOR AREA</b> 10,000 S.F. OR 40% OF LOT AREA, WHICHEVER IS LESS <b>NET LOT AREA = 25,130.0 S.F. X 40% ALLOWABLE GROSS FLOOR AREA = 10,052 S.F.</b>  <b>GFA CALCULATION</b> (MEASURED FROM EXTERIOR FACES OF BUILDING) LOWER FLOOR : 706 S.F. MAIN FLOOR : 3,981 S.F. GARAGE/SHOP : 1,283 S.F. <b>TOTAL = 5,970 S.F.</b>  5,970 S.F. < 10,052 S.F. (THEREFORE GFA IS OK)	<b>PROVIDE INSULATION SPECIFIED PER R402.2</b>  <b>PROVIDE CONTINUOUS AIR BARRIER &amp; THERMAL BARRIER PER TABLE R-402.4.1.1</b>  <b>THE BUILDING ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE PER R402.4</b>  <b>PROVIDE TESTING OF BUILDING ENVELOPE PER R402.4.1.2</b>  <b>FENESTRATION AIR LEAKAGE TESTING FOR WINDOWS, DOORS, AND SLIDING GLASS DOORS TO COMPLY PER R402.4.3</b>  <b>RECESSED LIGHTING IN THE BUILDING THERMAL ENVELOPE TO COMPLY PER R402.4.4</b>  <b>FENESTRATION TRADE OFFS PER SECTION R4-2.1.4 OR R405 NOT APPLICABLE</b>  <b>PROVIDE MANDATORY CONTROLS OF CONDITIONING SYSTEMS PER SECTION R403</b>  <b>BUILDING FRAMING CAVITIES PER R403.2.3 SHALL NOT BE USED AS DUCTS OR PLENUMS</b>  <b>PROVIDE MECHANICAL PIPING INSULATION PER R403.3 MINIMUM R-6</b>  <b>MECHANICAL DUCTS OUTSIDE OF THE THERMAL ENVELOPE SHALL BE INSULATED A MINIMUM OF R-8 PER SECTION R403.2.1</b> <b>MECHANICAL DUCTS, AIR HANDLERS, AND FILTER BOXES SHALL BE SEALED AND TESTED PER PER R403.2.2</b> <b>JOINTS AND SEAMS TO COMPLY WITH ADOPTED IMC OR IRC</b>	<b>2018 WSEC ENERGY CREDIT OPTIONS</b> EACH DWELLING UNIT IN ONE AND TWO FAMILY DWELLINGS AND TOWNHOUSES, AS DEFINED IN SECTION 101.2 OF THE IRC SHALL COMPLY WITH SUFFICIENT OPTIONS FROM TABLE R406.2 SO AS TO ACHIEVE THE FOLLOWING MINIMUM # OF CREDITS.  <b>CATEGORY: LARGE DWELLING UNIT: 6 CREDITS.</b>  <b>TABLE R406.2 ENERGY CREDITS SELECTED</b> <table border="1"> <thead> <tr> <th>OPTION</th> <th>DESCRIPTION</th> <th>CREDIT</th> </tr> </thead> <tbody> <tr> <td>2a</td> <td><b>AIR LEAKAGE CONTROL AND EFFICIENT VENTILATION:</b> COMPLIANCE BASED ON R402.4.1.2; REDUCE THE TESTED AIR LEAKAGE TO 3.0 AIR CHANGES PER HOUR MAXIMUM AND ALL WHOLE HOUSE VENTILATION REQUIREMENTS AS DETERMINED BY SECTION M1507.3 OF THE INTERNATIONAL RESIDENTIAL CODE SHALL BE MET WITH A HIGH EFFICIENCY FAN (MAXIMUM 0.35 WATTS/CFM), NOT INTERLOCKED WITH THE FURNACE FAN. 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PER 2018 IRC TABLE M1507.3.3 (2) INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS, RUN TIME % IN EACH 4-HOUR SEGMENT TO BE 75% WITH A FACTOR OF 1.3: 135 CFM X 1.3 = 175.5 CFM  PER 2018 IRC M1507.3.6.1 ALL HABITABLE SPACES SHALL RECEIVE FILTERED VENTILATION AIR.  MINIMUM OF .35 AIR EXCHANGES PER HOUR FOR ALL HABITABLE ROOMS. MAXIMUM OF .50 AIR EXCHANGES PER HOUR FOR ALL HABITABLE ROOMS.  <b>SYSTEM COMPONENTS</b> TIMER INTAKE GRILL & DUCTING (FROM EXTERIOR) MOTORIZED DAMPER ELECTRIC AIR TEMPERING UNIT INTAKE BLOWER DISTRIBUTION DUCTING (HABITABLE ROOMS) DISTRIBUTION GRILLS (HABITABLE ROOMS) ELECTRIC EXHAUST FAN EXHAUST DUCTING EXHAUST PORT WITH BACK DRAFT DAMPER  <b>SYSTEM FUNCTION</b> INTAKE BLOWER, AIR TEMPERING UNIT, AND EXHAUST FAN TO BE CONNECTED TO TIMER FOR SYNCHRONIZED, INTERMITTENT USE THROUGHOUT EACH DAY. FRESH AIR FROM THE EXTERIOR IS PULLED THROUGH AIR TEMPERING UNIT, THEN DISTRIBUTED THROUGH DUCTING TO ALL HABITABLE ROOMS. 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1914 5th St.  
 Kirkland, WA 98003

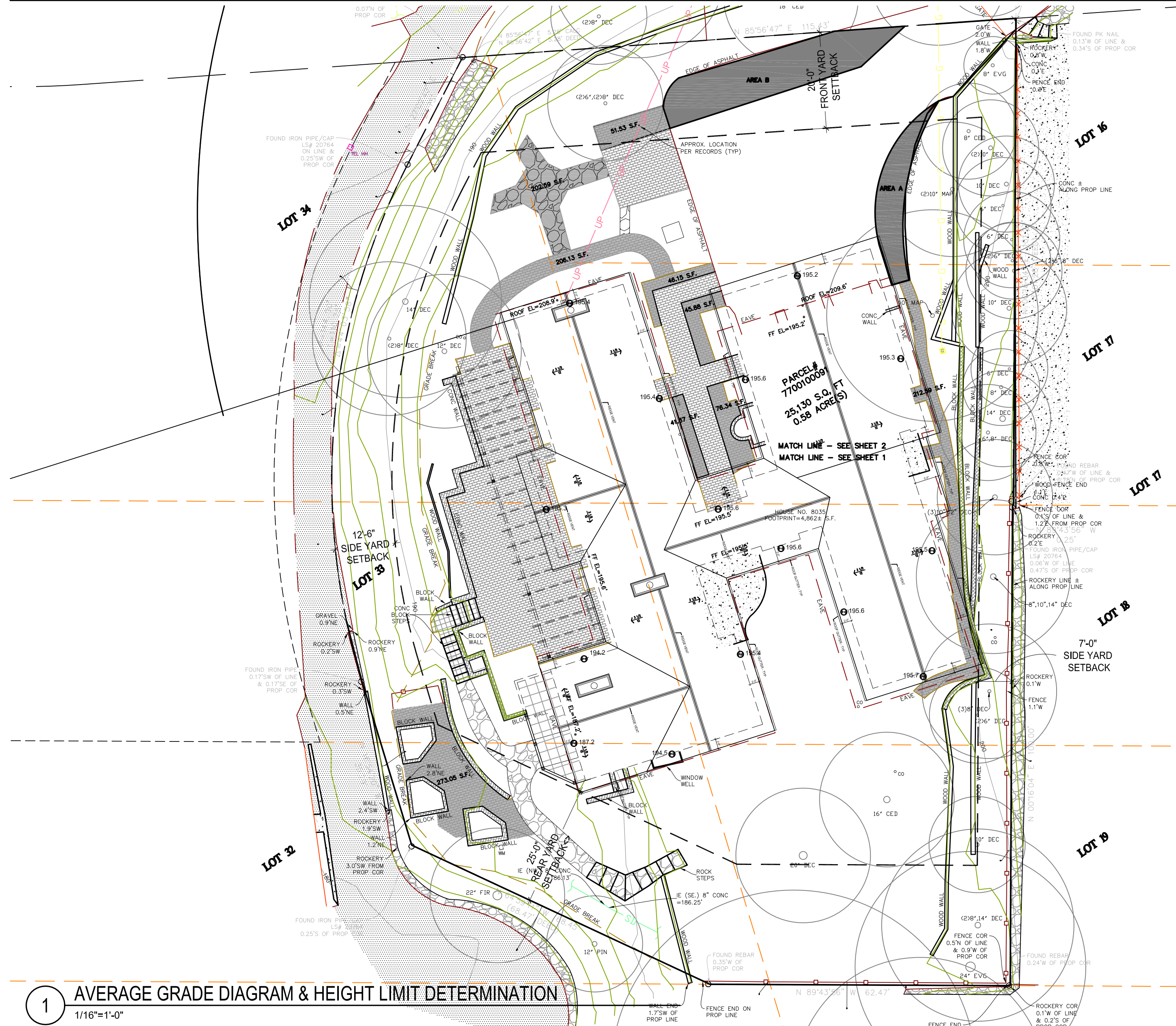
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ADAMS RESIDENCE

8035 SE 45TH ST  
 MERCER ISLAND 98040

PROJECT INFO & ZONING DIAGRAMS

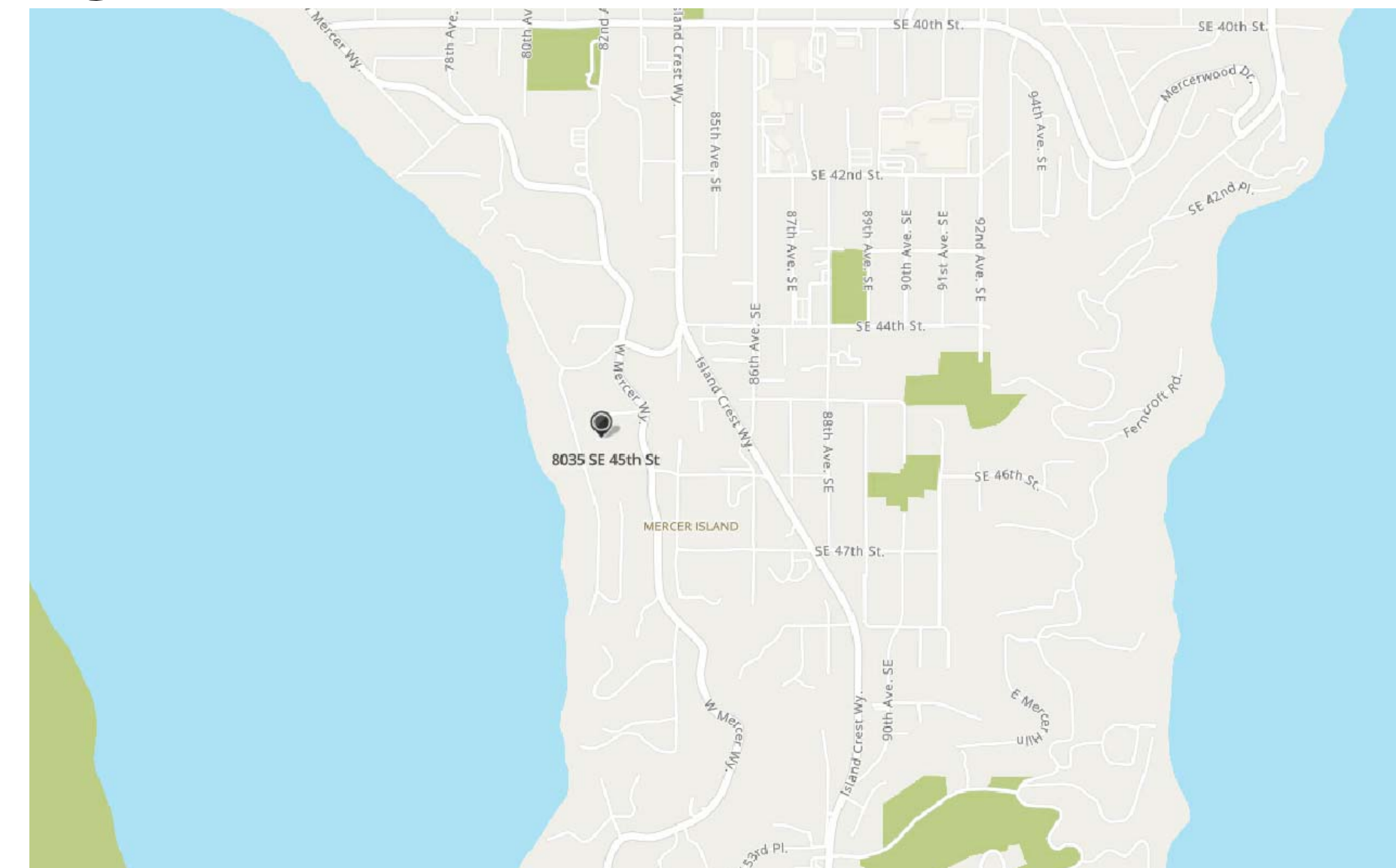
A-1.0



2018 INTERNATIONAL RESIDENTIAL CODE (IRC)  
 2018 INTERNATIONAL MECHANICAL CODE (IMC)  
 2018 INTERNATIONAL FUEL GAS CODE (IFGC)  
 2018 UNIFORM PLUMBING CODE (UPC)  
 2018 INTERNATIONAL SWIMMING POOL & SPA CODE  
 2018 WASHINGTON STATE ENERGY CODE (WSEC)  
 2018 ICC/ANSI A111-1-09 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES, WITH STATEWIDE AND CITY AMENDMENTS.



3 PATIO VIEW  
 NOT TO SCALE



2 VICINITY MAP  
 NOT TO SCALE

1 AVERAGE GRADE DIAGRAM & HEIGHT LIMIT DETERMINATION  
 1/16"=1'-0"







**LEGAL DESCRIPTION**

(PER STATUTORY WARRANTY DEED RECORDING #20210222003556)  
 THAT PORTION OF LOTS 16 THROUGH 19 AND LOTS 32 THROUGH 34, SEWARD ADDITION, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 24 OF PLATS, PAGE 26, IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:  
 BEGINNING AT A POINT ON THE NORTHERLY LINE OF SAID LOT 34 WHICH BEARS SOUTH 85°56'42" WEST 5.28 FEET FROM THE NORTHEAST CORNER THEREOF;  
 THENCE SOUTH 27°09'40" WEST 24.75 FEET;  
 THENCE ON A CURVE TO THE LEFT HAVING A RADIUS OF 144 FEET A DISTANCE OF 110.75 FEET;  
 THENCE SOUTH 16°54'20" EAST 35.79 FEET;  
 THENCE SOUTH 64°59'11" EAST 68.47 FEET TO THE SOUTH LINE OF SAID LOT 32;  
 THENCE SOUTH 89°43'57" EAST, ALONG THE SOUTH LINE, 12.50 FEET TO THE SOUTHEAST CORNER OF SAID LOT 32;  
 THENCE CONTINUING ON THE SOUTH LINE OF LOT 19, SOUTH 89°43'56" EAST 49.95 FEET;  
 THENCE NORTH 00°16'04" EAST 100 FEET TO THE SOUTH LINE OF LOT 17;  
 THENCE SOUTH 89°43'56" EAST, ALONG THE SOUTH LINE OF LOT 17, 0.25 FEET, MORE OR LESS, TO A POINT WHICH IS SOUTH 89°43'56" EAST 81.10 FEET FROM THE SOUTHWEST CORNER OF SAID LOT 17;  
 THENCE NORTH 00°16'04" EAST 101.28 FEET TO THE NORTH LINE OF SAID LOT 16;  
 THENCE WESTERLY, ALONG THE NORTH LINE OF SAID LOTS 16 AND 34, SOUTH 85°56'42" WEST 115.43 FEET TO THE POINT OF BEGINNING.  
 SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

**BASIS OF BEARINGS**

N 16°54'20" W BETWEEN FOUND CENTERLINE MONUMENTATION ALONG FOREST AVE SE PER R1

**REFERENCES**

- R1. SEWARD ADDITION PLAT, VOL. 24, PG. 26, RECORDS OF KING COUNTY, WASHINGTON.
- R2. RECORD OF SURVEY, VOL. 52, PG. 180, RECORDS OF KING COUNTY, WASHINGTON.
- R3. RECORD OF SURVEY, VOL. 114, PG. 62, RECORDS OF KING COUNTY, WASHINGTON.

**VERTICAL DATUM**

NAVD88 PER GPS OBSERVATIONS

**SURVEYOR'S NOTES**

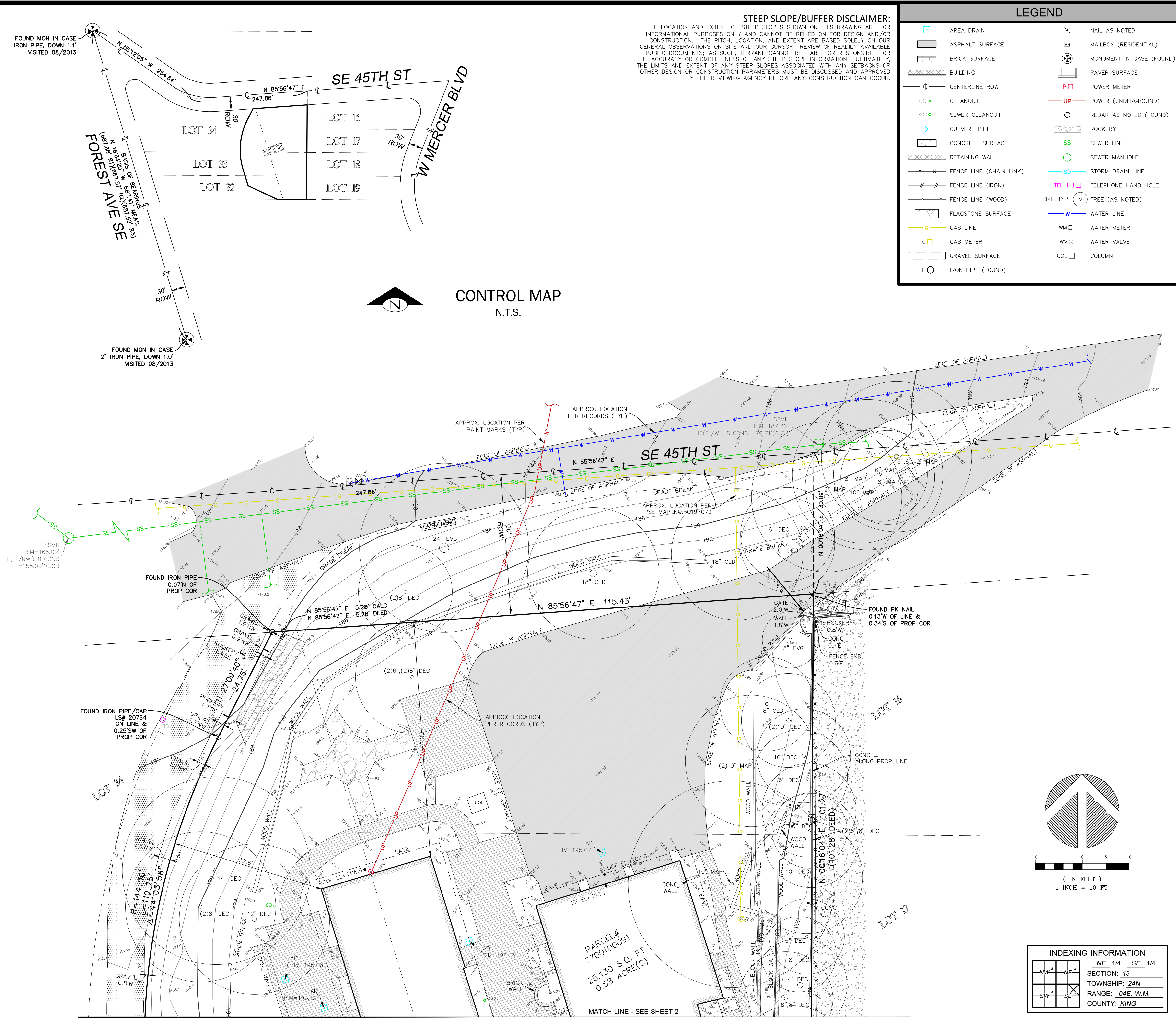
1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN JULY OF 2022. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES; TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
4. SUBJECT PROPERTY TAX PARCEL NO. 7700100091.
5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 25,130± S.F. (0.58 ACRES)
6. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN HEREON.
7. EXISTING STRUCTURE(S) LOCATION AND DIMENSIONS ARE MEASURED FROM THE FACE OF THE SIDING UNLESS OTHERWISE NOTED.
8. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

**VICINITY MAP**

N.T.S.



**TOPOGRAPHIC & BOUNDARY SURVEY**



**STEEP SLOPE/BUFFER DISCLAIMER:**  
 THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS; AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.

**LEGEND**

AREA DRAIN	NAIL AS NOTED
ASPHALT SURFACE	MAILBOX (RESIDENTIAL)
BRICK SURFACE	MONUMENT IN CASE (FOUND)
BUILDING	PAVER SURFACE
CENTERLINE ROW	POWER METER
CLEANOUT	POWER (UNDERGROUND)
SEWER CLEANOUT	REBAR AS NOTED (FOUND)
CULVERT PIPE	ROCKERY
CONCRETE SURFACE	SEWER LINE
RETAINING WALL	SEWER MANHOLE
FENCE LINE (CHAIN LINK)	STORM DRAIN LINE
FENCE LINE (IRON)	TELEPHONE HAND HOLE
FENCE LINE (WOOD)	TREE (AS NOTED)
FLAGSTONE SURFACE	WATER LINE
GAS LINE	WATER METER
GAS METER	WATER VALVE
GRAVEL SURFACE	COLUMN
IRON PIPE (FOUND)	

**measure success**

**TOPOGRAPHIC & BOUNDARY SURVEY**  
 PARCEL NO. 7700100091  
**ADAM RESIDENCE**  
 8035 SE 45TH ST  
 MERCER ISLAND, WA 98040



**Terrane**  
 10801 Main Street, Suite 102, Bellevue, WA 98004  
 phone 425.458.4488 support@terrane.net  
 www.terrane.net

JOB NUMBER: 211187  
 DATE: 07/14/21  
 DRAFTED BY: RSN  
 CHECKED BY: JGM/CSP  
 SCALE: 1" = 10'

REVISION HISTORY	

**INDEXING INFORMATION**  
 NE 1/4 SE 1/4  
 SECTION: 13  
 TOWNSHIP: 24N  
 RANGE: 04E, W.M.  
 COUNTY: KING

**SHEET NUMBER**  
 1 OF 2



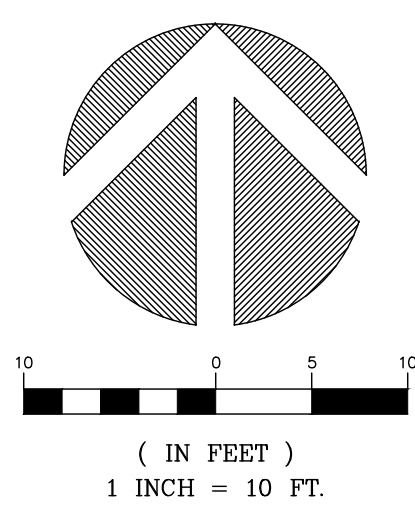
# TOPOGRAPHIC & BOUNDARY SURVEY

## LEGEND

	AREA DRAIN		NAIL AS NOTED
	ASPHALT SURFACE		MAILBOX (RESIDENTIAL)
	BRICK SURFACE		MONUMENT IN CASE (FOUND)
	BUILDING		PAVER SURFACE
	CENTERLINE ROW		POWER METER
	CLEANOUT		POWER (UNDERGROUND)
	SEWER CLEANOUT		REBAR AS NOTED (FOUND)
	CULVERT PIPE		ROCKERY
	CONCRETE SURFACE		SEWER LINE
	RETAINING WALL		SEWER MANHOLE
	FENCE LINE (CHAIN LINK)		STORM DRAIN LINE
	FENCE LINE (IRON)		TELEPHONE HAND HOLE
	FENCE LINE (WOOD)		TREE (AS NOTED)
	FLAGSTONE SURFACE		WATER LINE
	GAS LINE		WATER METER
	GAS METER		WATER VALVE
	GRAVEL SURFACE		COLUMN
	IRON PIPE (FOUND)		

## STEEP SLOPE/BUFFER DISCLAIMER:

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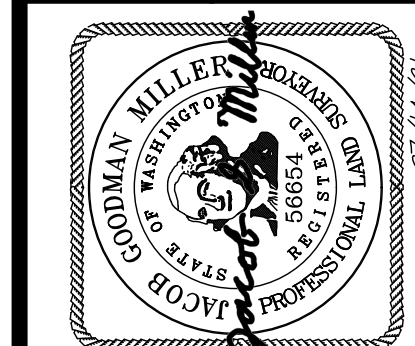


INDEXING INFORMATION			
NE	1/4	SE	1/4
NW	1/4	SE	1/4
SECTION: 13			
TOWNSHIP: 24N			
RANGE: 04E, W.M.			
COUNTY: KING			

TOPOGRAPHIC & BOUNDARY SURVEY

PARCEL NO. 7700100091

ADAM RESIDENCE  
8035 SE 45TH ST  
MERCER ISLAND, WA 98040



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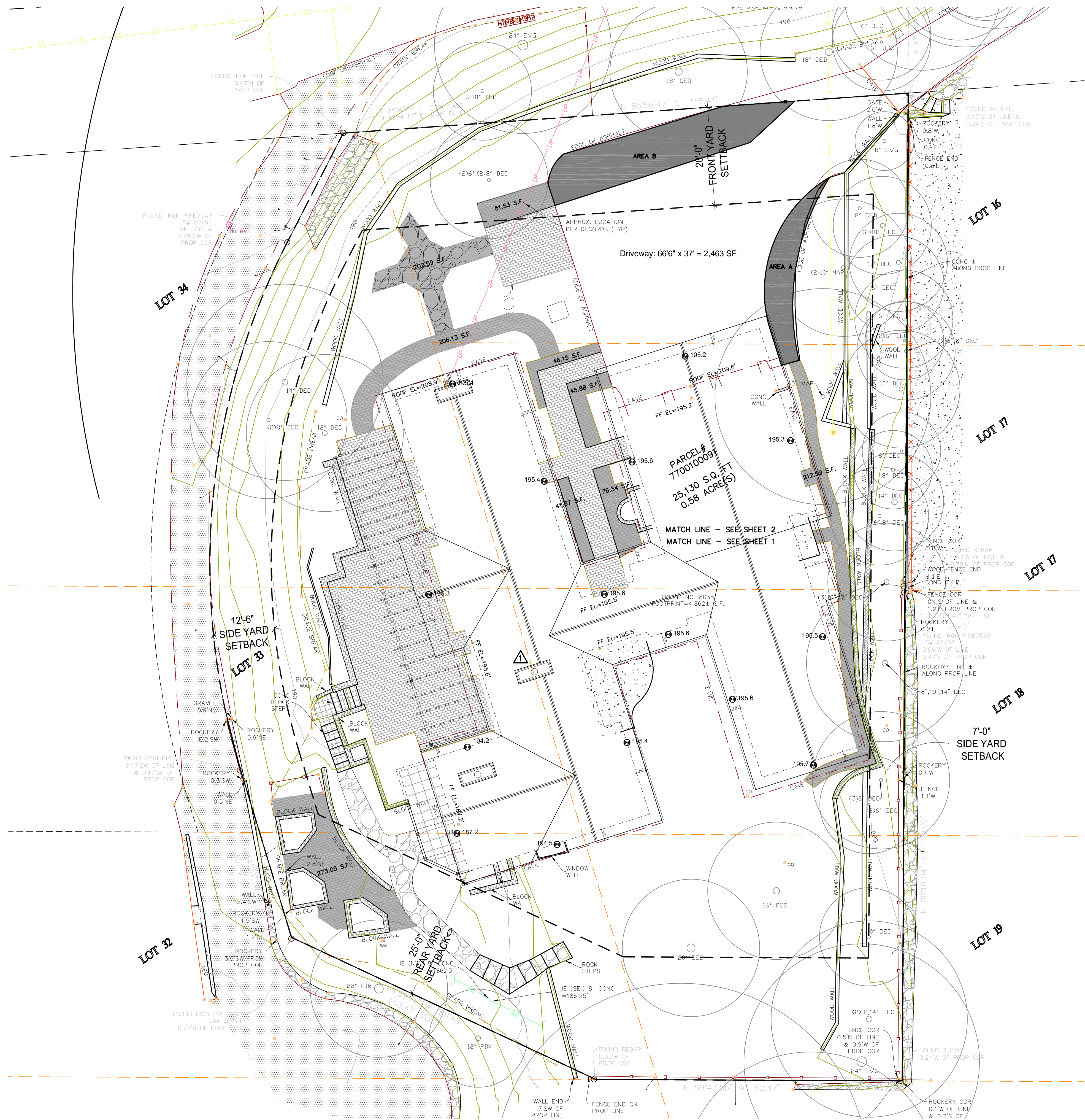
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SCALE:	1" = 10'

REVISION HISTORY	

SHEET NUMBER  
2 OF 2

measure success





**AVERAGE BUILDING ELEVATION CALCULATION**

$$ABE = (24.2 * 195.4) + (76.3 * 195.3) + (13.6 * 194.2) + (19.7 * 187.2) + (37.6 * 194.5) + (35.4 * 195.4) + (23.2 * 195.6) + (35.3 * 195.6) + (21.3 * 195.7) + (49 * 195.5) + (30.7 * 195.3) + (32 * 195.2) + (29.5 * 195.6) + (18.5 * 195.6) + (50 * 195.4) / (24.2 + 76.3 + 13.6 + 19.7 + 37.6 + 35.4 + 23.2 + 35.3 + 21.3 + 49 + 30.7 + 32 + 29.5 + 18.5 + 50) ABE = 195.0'$$

MAXIMUM BUILDING HEIGHT = 30' ABOVE A.B.E.  
 MAXIMUM BUILDING ELEVATION = 195.0' + 30' = 225'

NOTE:  
 CONTRACTOR TO VERIFY  
 OVERHANGS AND SETBACKS.

**LOT COVERAGE CALCULATIONS**

LOT COVERAGE IS BUILDING AND/OR ROOF FOOTPRINT AND DRIVEWAY AREA:  
 ALLOWABLE LOT COVERAGE = 8,796 SF  
 HOUSE AND/OR ROOF FOOTPRINT = 6,723 SF  
 EXISTING DRIVEWAY = 2,463 SF  
 6,723 SF + 2,463 SF = 9,186 SF TOTAL LOT COVERAGE  
 TOTAL LOT COVERAGE IS OVER ALLOWABLE LOT COVERAGE  
 9,186 SF - 8,796 SF = 390 SF  
 OVER ALLOWABLE LOT COVERAGE BY 390 SF, NEED TO REMOVE 390 SF OF LOT COVERAGE  
 AREA A = 351 SF (REMOVE)  
 AREA B = 188 SF (REMOVE)  
 TOTAL = 351 SF + 188 SF = 539 SF  
 NEW DRIVEWAY AREA = 2,463 SF - 351 SF - 188 SF = 1,924 SF  
 REMOVING AREAS A & B WILL BRING TOTAL LOT COVERAGE UNDER LIMIT (6,723 SF + 1,924 SF = 8,647 SF)  
 EXTRA LOT COVERAGE 8,796 SF - 8,647 SF = 122 SF

**CURRENT HARDSCAPE COVERAGE**

CURRENT HARDSCAPE COVERAGE  
 WALLS = 333 SF  
 EXISTING HARDSCAPE AREAS = 504 + 1203 + 329 + 270 + 203 + 213 + 273 + 333 = 3,534 SF  
 ALLOWABLE HARDSCAPE COVERAGE = 2,383.7 SF (9% LOT + 122 SF FROM EXTRA LOT COVERAGE: 25,130 / 10.00 + 122 = 2,383.7 SF)  
 OVERAGE = 3,534 SF - 2,383.7 SF = 1,150.3 SF  
 THEREFORE, 1,150.3 SF NEEDS TO BE REMOVED.

**MATERIAL KEY**

SYMBOL	DESCRIPTION	REMARKS
(Symbol)	LOT COVERAGE	EXISTING DRIVEWAY ASPHALT
(Symbol)	REMOVED	REMOVED
(Symbol)	HARDSCAPE	EXISTING HARDSCAPE PATHWAYS
(Symbol)	REMOVED	REMOVED

BUILDING PAD AREA = 16,721 S.F.  
 THERE ARE NO LAND USE APPLICATIONS ASSOCIATED W/ THIS PROJECT.

THE CONTRACTOR SHALL SCOPE ROOF TIGHTLINES AROUND THE HOUSE AND VERIFY THAT THE PIPES ARE CLEAN AND FREE OF DEBRIS SUCH THAT THE SYSTEM IS INTACT. THE CONTRACTOR AND OWNER TAKE FULL RESPONSIBILITY FOR THE CONDITION OF THE DOWNSPOUT TIGHTLINE AND IMPACT TO DOWNSTREAM PROPERTIES. CONTRACTOR TO PROVIDE CLOSED CAPTION TELEVISED VIDEO (CCTV) FOR OWNER AND CITY TO REVIEW THAT SHOWS THE EXISTING DRAINAGE SYSTEM IS WORKING PROPERLY. IF THERE ARE ISSUES WITH THE EXISTING SYSTEM, THE CONTRACTOR SHALL REPAIR THE SYSTEM WITHIN THE OWNER'S PROPERTY LIMITS

GEOLOGICAL HAZARD AREAS: EROSION, POTENTIAL SLIDE, AND WIND EXPOSURE HAZARD AREAS COVER ENTIRE SITE. NO STEEP SLOPES ON SITE. PER 19.07.130 WORK IS NOT IN A CRITICAL AREA. PER 19.07.160 ALTERATION OF PREVIOUSLY DEVELOPED AREA IN A GEOLOGICAL AREA IS COVERED UNDER SUBMITTED GEOTECH REPORT.

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SITE PLAN

1 SITE PLAN  
 SCALE: 3/32" = 1'-0"







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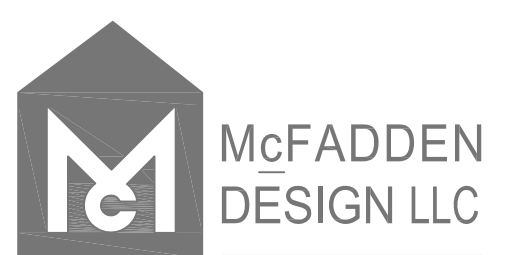
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FLOOR PLAN LEGEND		
SYMBOL	DESCRIPTION	REMARKS
	DEMO WALL	Existing wall to be removed
	EXISTING WALL	Existing wall to remain
	NEW WALL (Line of Drywall)	2x studs @ 16" O.C.
	EXHAUST FAN	CFM AS NOTED, VENT TO EXTERIOR, SWITCH SEPARATELY
	SMOKE ALARM CO2 DETECTOR	CEILING MOUNTED
	SOUND WALL	STAGGERED 2X STUDS WITH ROCK WOOL SOUND BATTS & ADDITIONAL LAYER GWB AT RECEIVER SIDE

NOTE: CONTRACTOR MUST CONTACT ARCHITECT IMMEDIATELY FOR ANY DISCREPANCIES IN CONTRACT DOCUMENTS OR EXISTING CONDITIONS PRIOR TO PROCEEDING WITH WORK.

- GENERAL STAIR NOTES**
- Tread run to be 10" minimum (11" minimum for occupancies greater than 10).
  - Riser height to be 7 3/4" maximum (7" maximum for occupancies greater than 10).
  - Stair width and landing length to be 36" minimum.
  - Winder tread width to be 6" minimum.
  - Winder tread width to be 10" minimum at a point 12" from inside of stair.
  - Handgrasp width to be 1 1/4" minimum and 2" maximum.
  - Handgrasp to have a minimum clear space to wall surface of 1 1/2".
  - Handgrasp to project into stairway 3 1/2" maximum.
  - Top of handgrasp to be 34" minimum and 38" maximum above nosings.
  - Handgrasp to be continuous from first to last nosing.
  - Handgrasp to return to wall or terminate at a newel post.
  - Guardrails (level) to be capable of withstanding a #200 force at any point in any direction.
  - Guardrail members to be spaced so as to prohibit the passing of a 4" diameter sphere through railing at any point.
  - Guardrails and handrails to be 36" minimum above finish floor.

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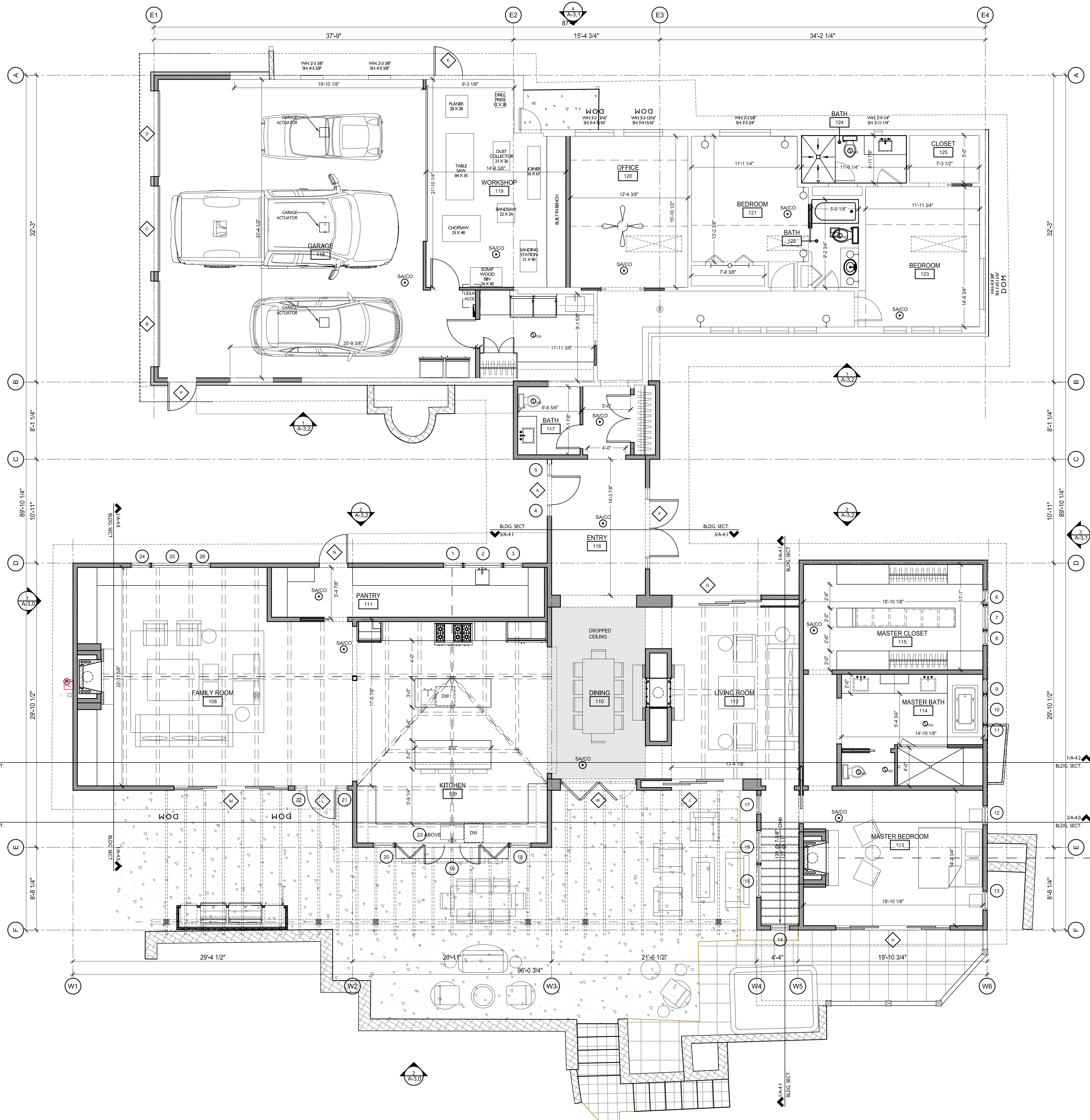
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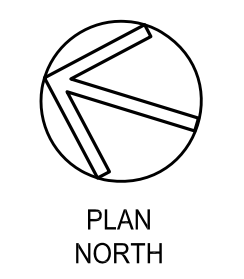
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**MAIN FLOOR PLAN**

A-2.1



2 LOWER FLOOR PLAN  
SCALE: 3/16" = 1'-0"

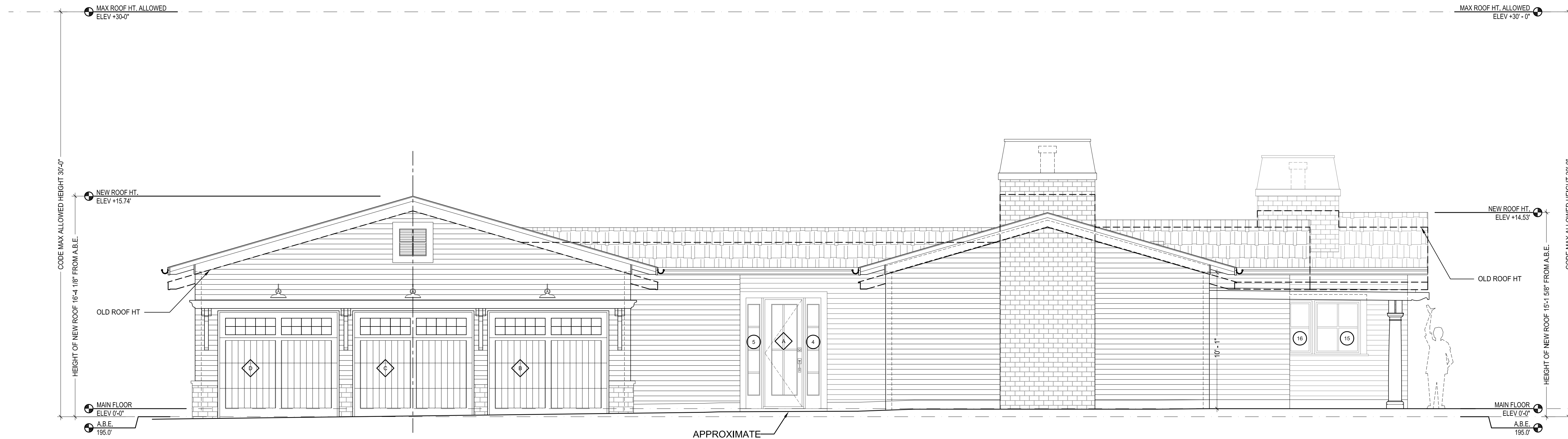


1 MAIN FLOOR PLAN  
SCALE: 3/16" = 1'-0"



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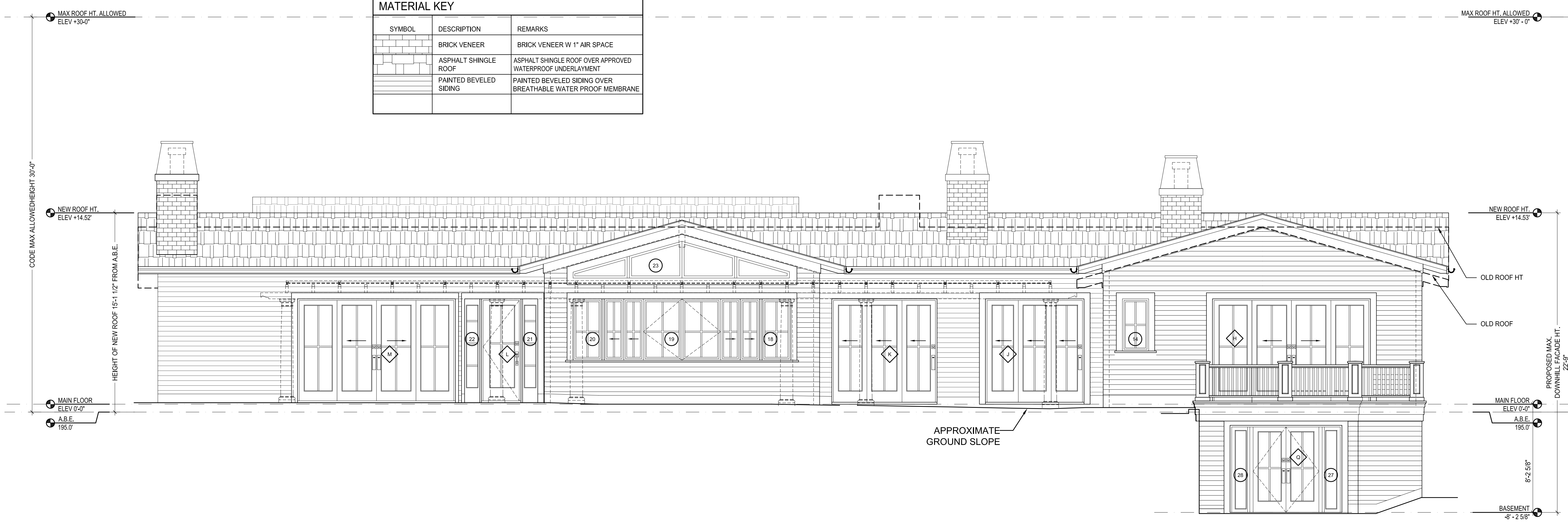
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1 NORTH ELEVATION  
 Scale 1/4" = 1'-0"

NOTE: +0'-0" (T.O. MAIN FINISH FLOOR) = ELEVATION 195.5'

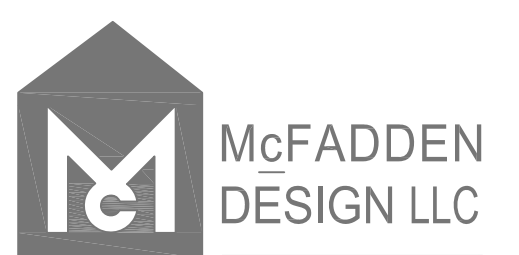
SYMBOL	DESCRIPTION	REMARKS
	BRICK VENEER	BRICK VENEER W 1" AIR SPACE
	ASPHALT SHINGLE ROOF	ASPHALT SHINGLE ROOF OVER APPROVED WATERPROOF UNDERLAYMENT
	PAINTED BEVELED SIDING	PAINTED BEVELED SIDING OVER BREATHABLE WATER PROOF MEMBRANE



2 WEST ELEVATION  
 Scale 1/4" = 1'-0"

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EXTERIOR ELEVATIONS



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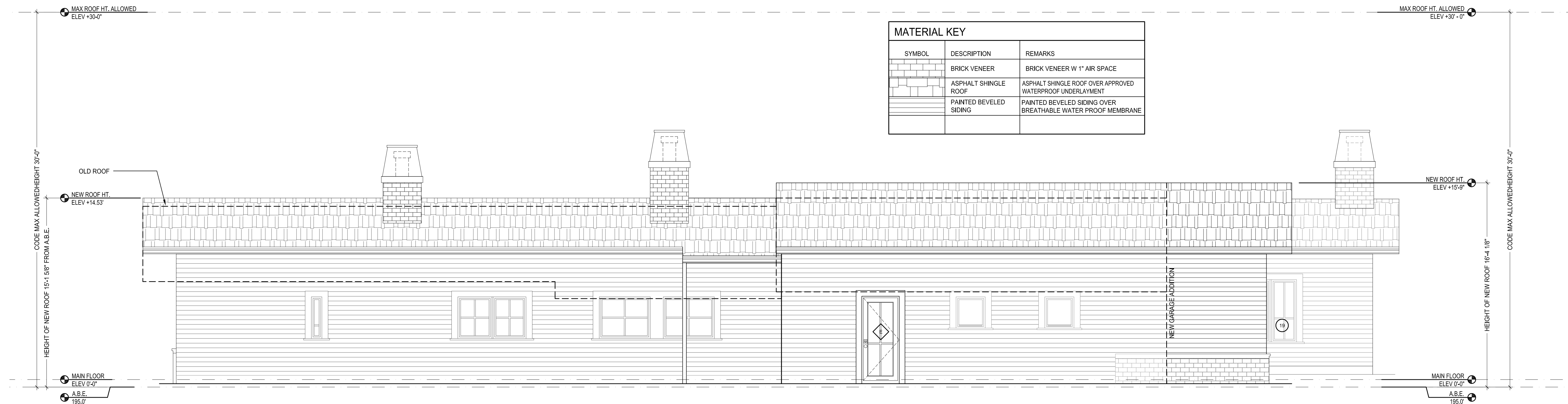
EXTERIOR ELEVATIONS

A-3.1

**1 SOUTH ELEVATION**  
 Scale 1/4" = 1'-0"

NOTE: +0'-0" (T.O. MAIN FINISH FLOOR) = ELEVATION 195.5'

SYMBOL	DESCRIPTION	REMARKS
	BRICK VENEER	BRICK VENEER W 1" AIR SPACE
	ASPHALT SHINGLE ROOF	ASPHALT SHINGLE ROOF OVER APPROVED WATERPROOF UNDERLAYMENT
	PAINTED BEVELED SIDING	PAINTED BEVELED SIDING OVER BREATHABLE WATER PROOF MEMBRANE

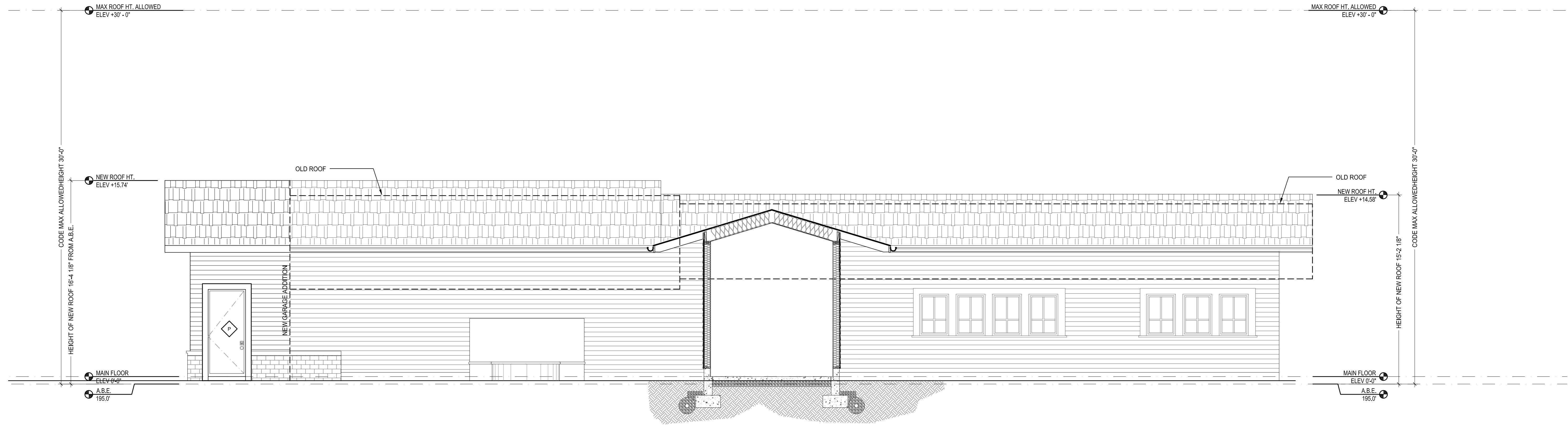


**2 EAST ELEVATION**  
 Scale 1/4" = 1'-0"



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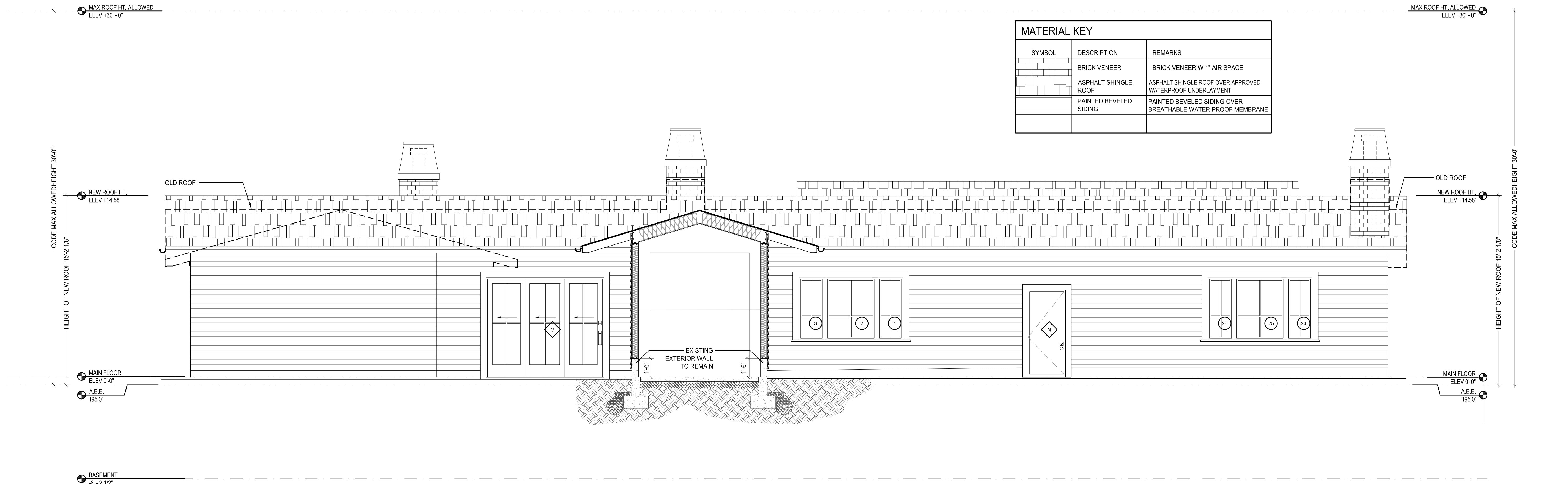
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1 WEST GARAGE ELEVATION  
 Scale 1/4" = 1'-0"

DESIGN	MM
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SHEET ISSUE DATE	07.19.2022
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2023-07-12	PERMIT SET
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NOTE: +0'-0" (T.O. MAIN FINISH FLOOR) = ELEVATION 195.5'



2 ENTRY SECTION  
 Scale 1/4" = 1'-0"



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**ADAMS RESIDENCE**

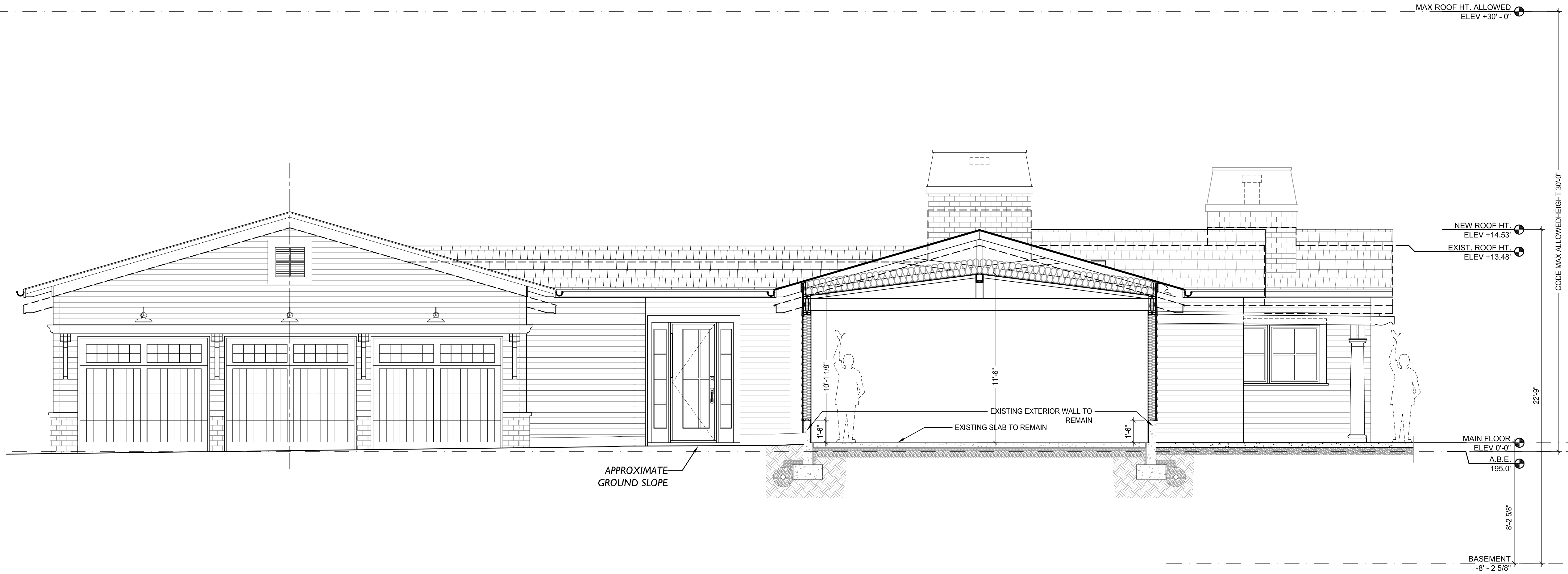
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EXTERIOR ELEVATIONS



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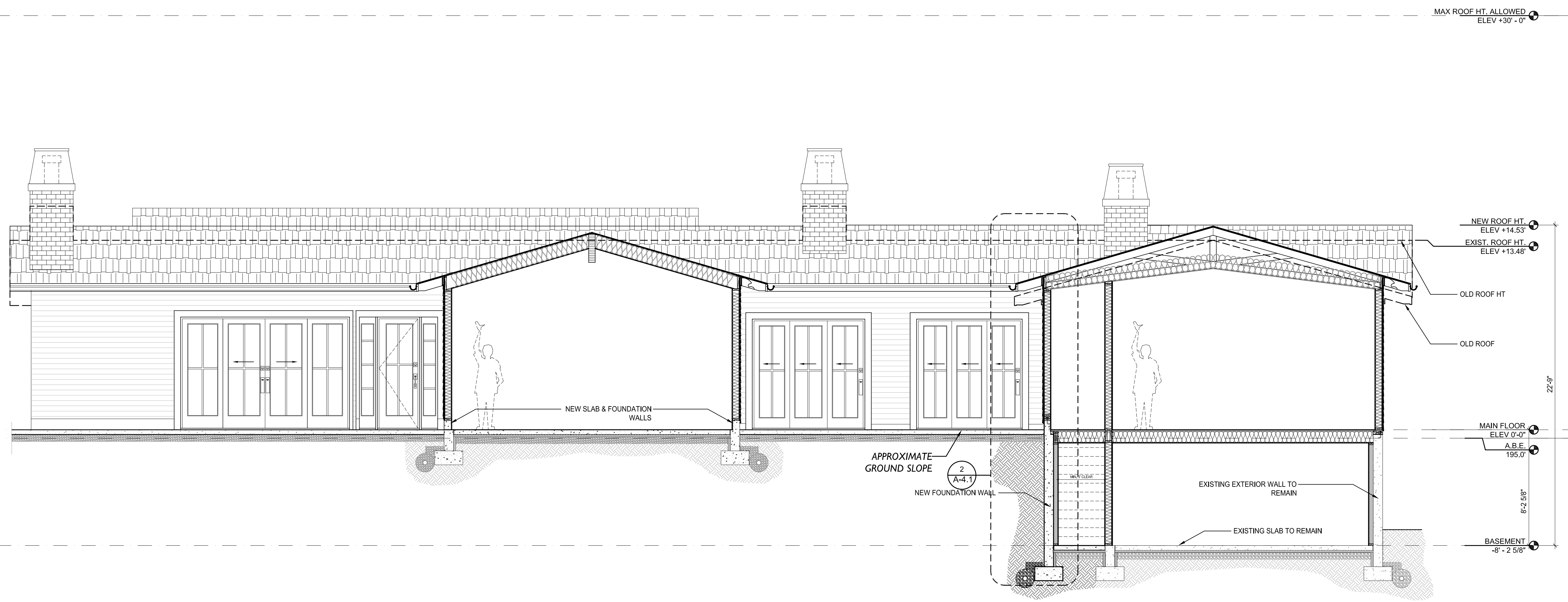
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**1 BUILDING SECTION**  
 Scale 1/4" = 1'-0"

DESIGN	MM
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**2 BUILDING SECTION**  
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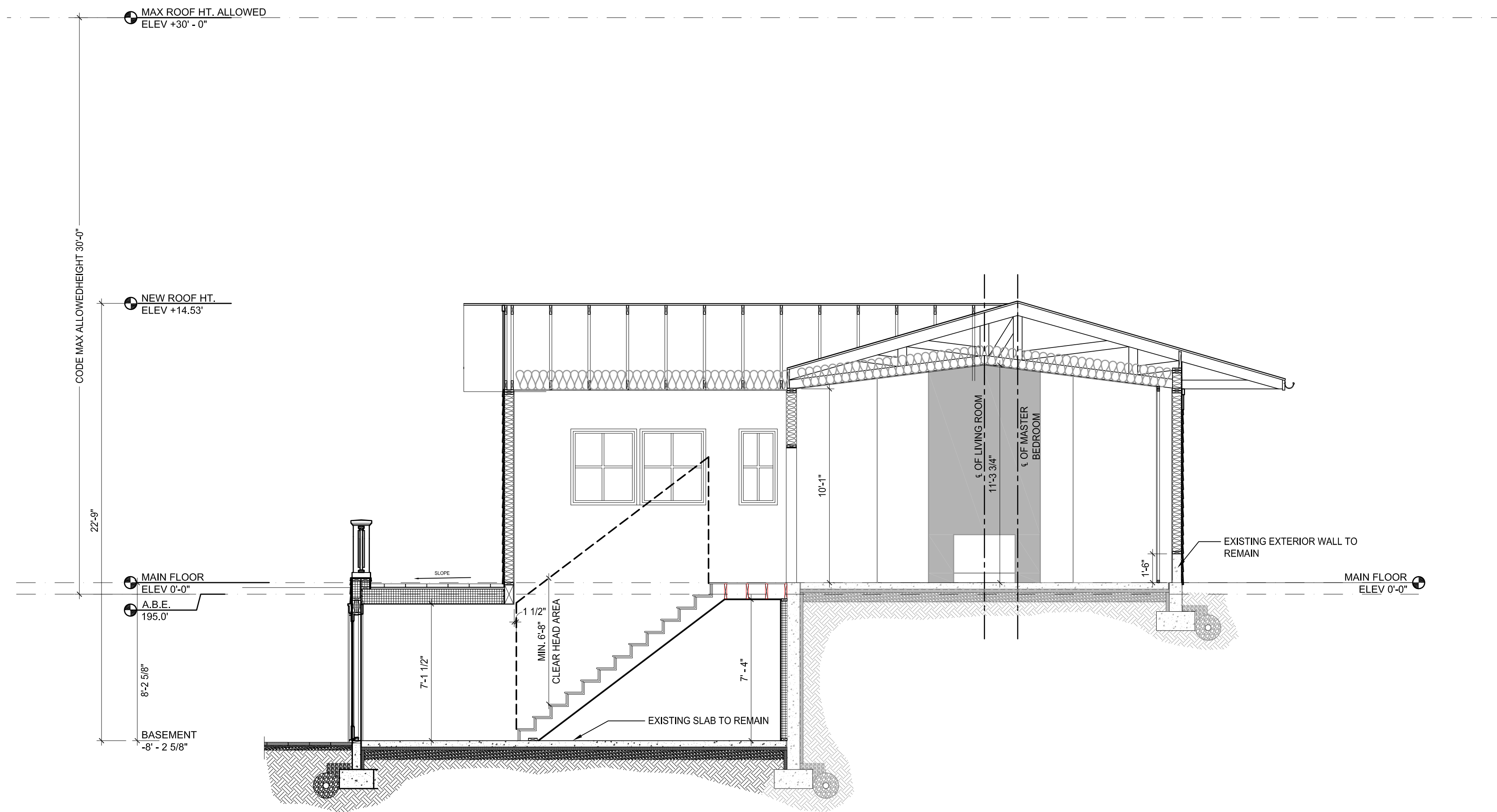
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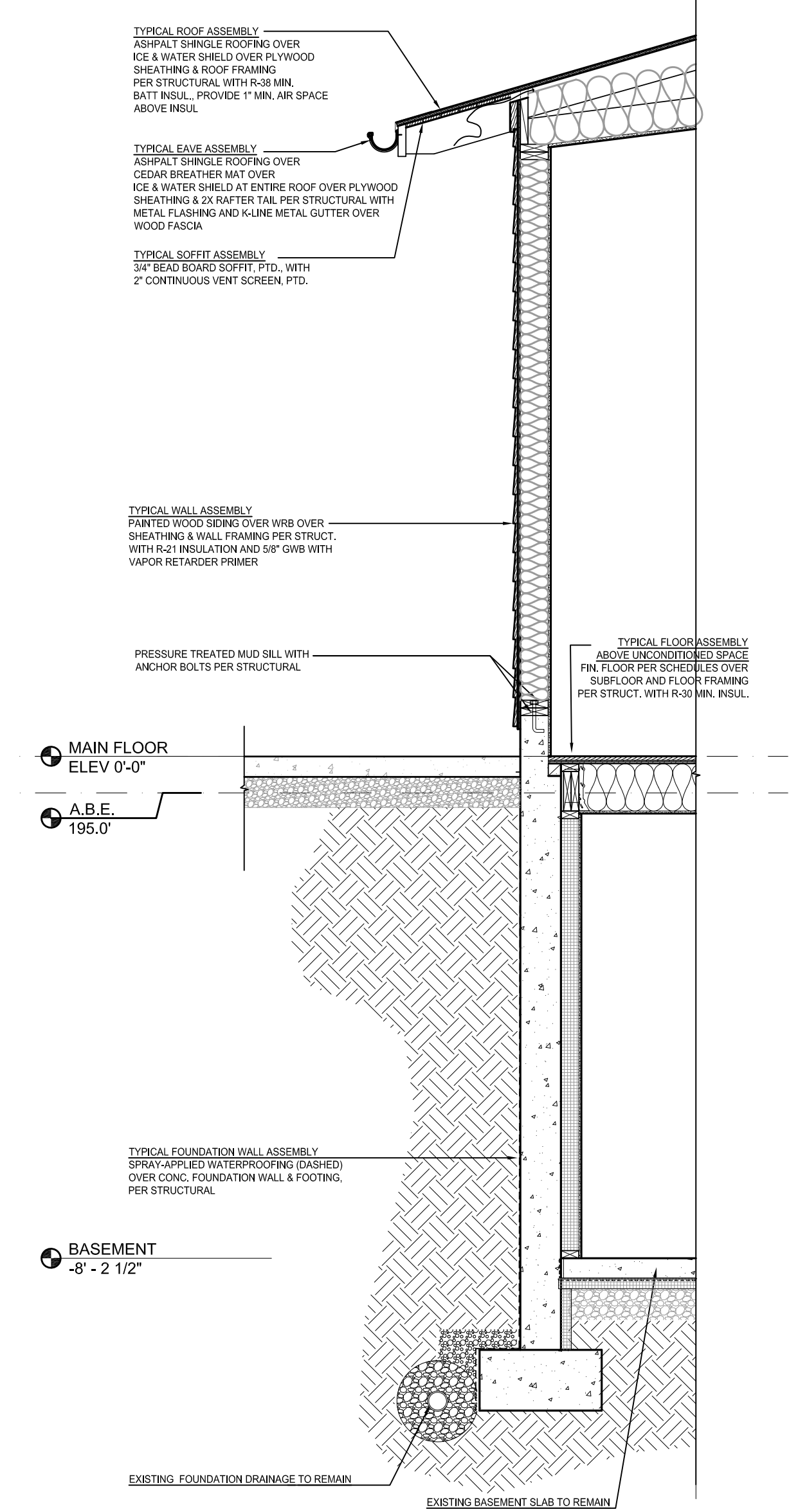
BUILDING SECTION

A-4.0

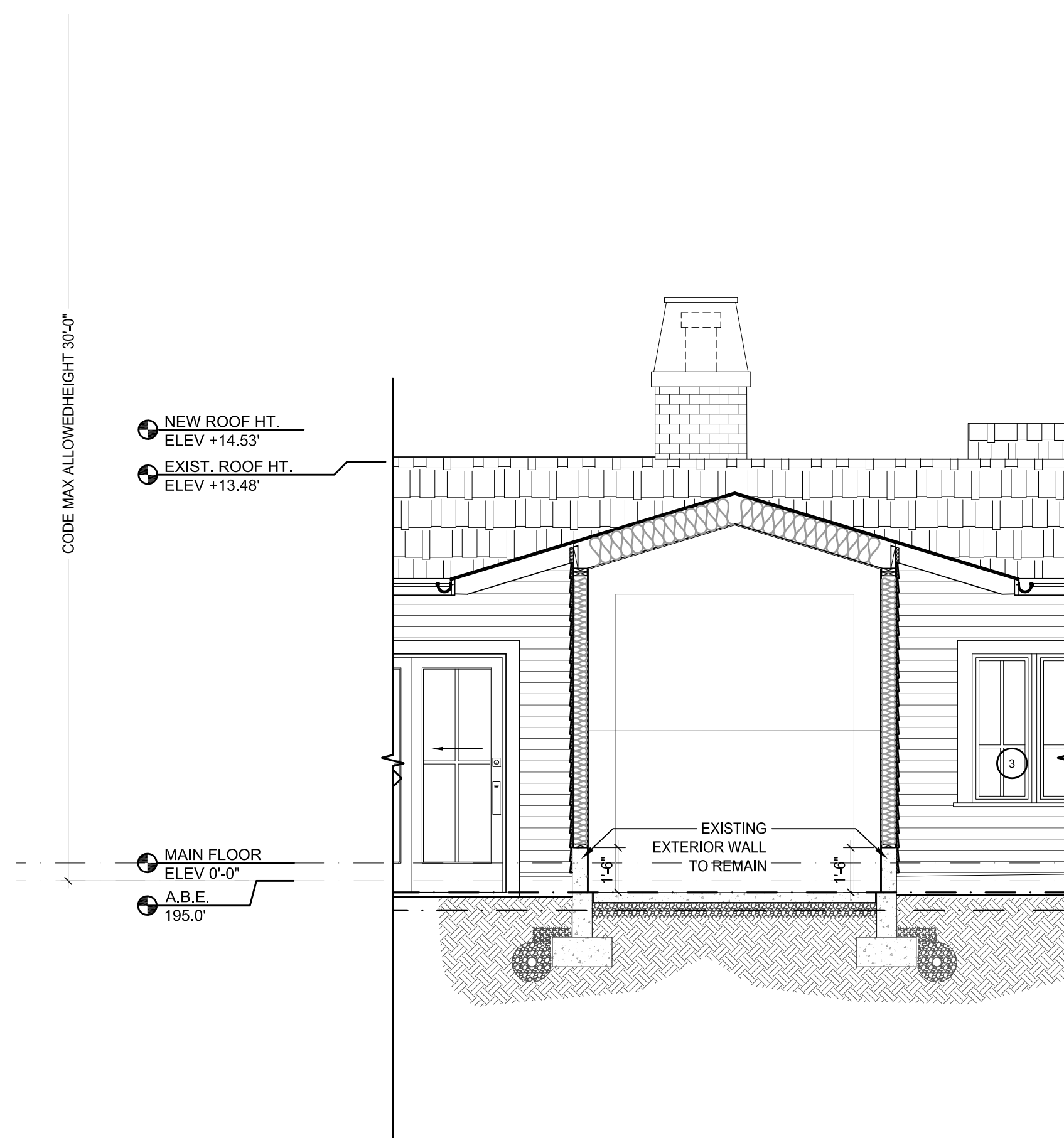




**1 BUILDING SECTION**  
Scale 1/4" = 1'-0"



**2 NEW WALL SECTION**  
Scale 1/2" = 1'-0"



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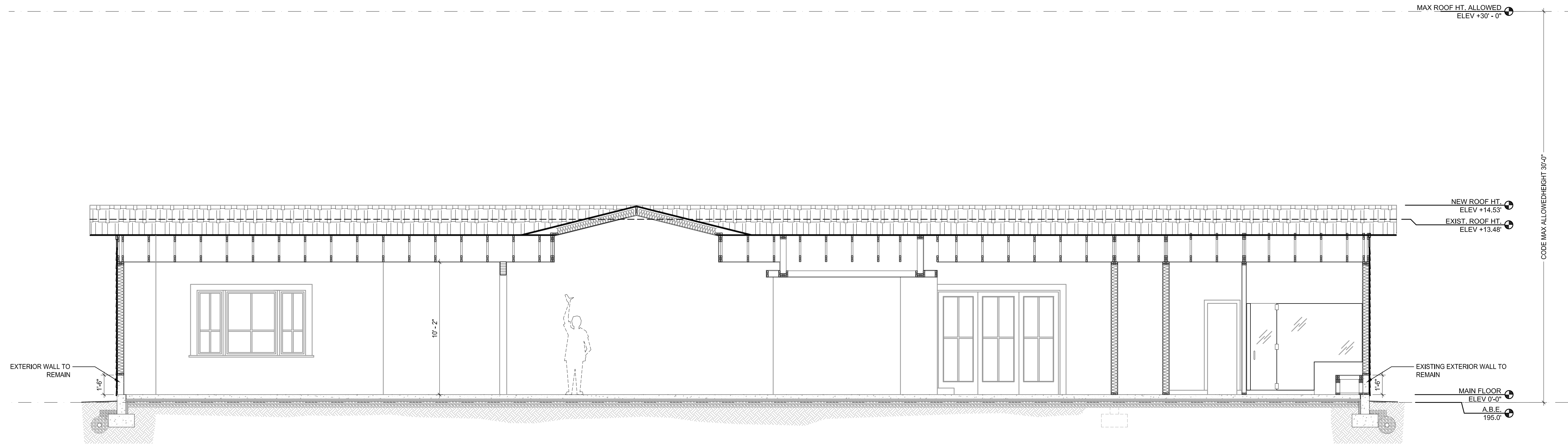
BUILDING SECTION

A-4.1



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BUILDING SECTION

A-4.2



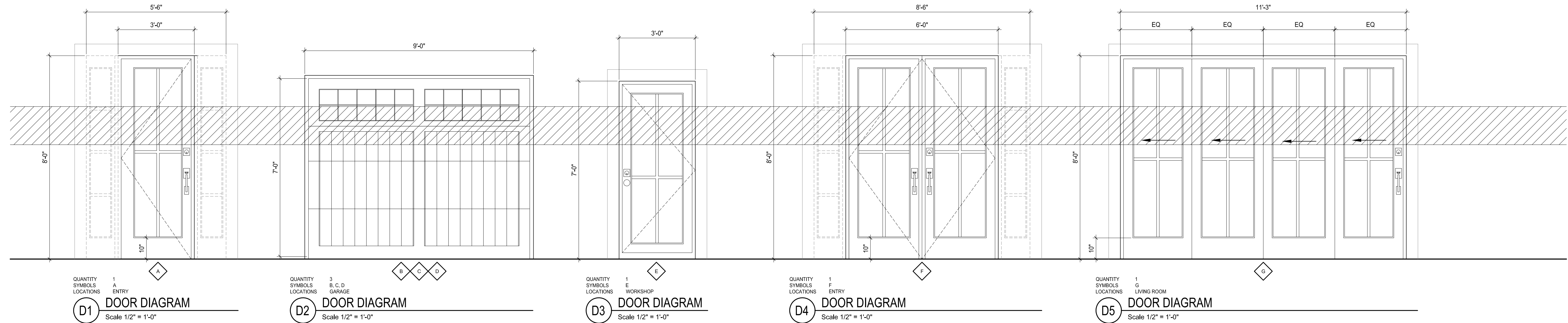
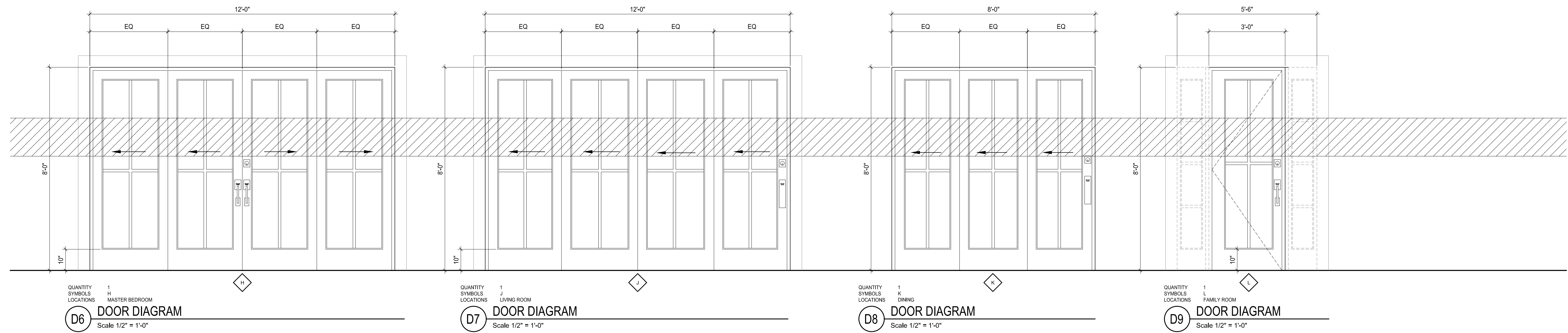
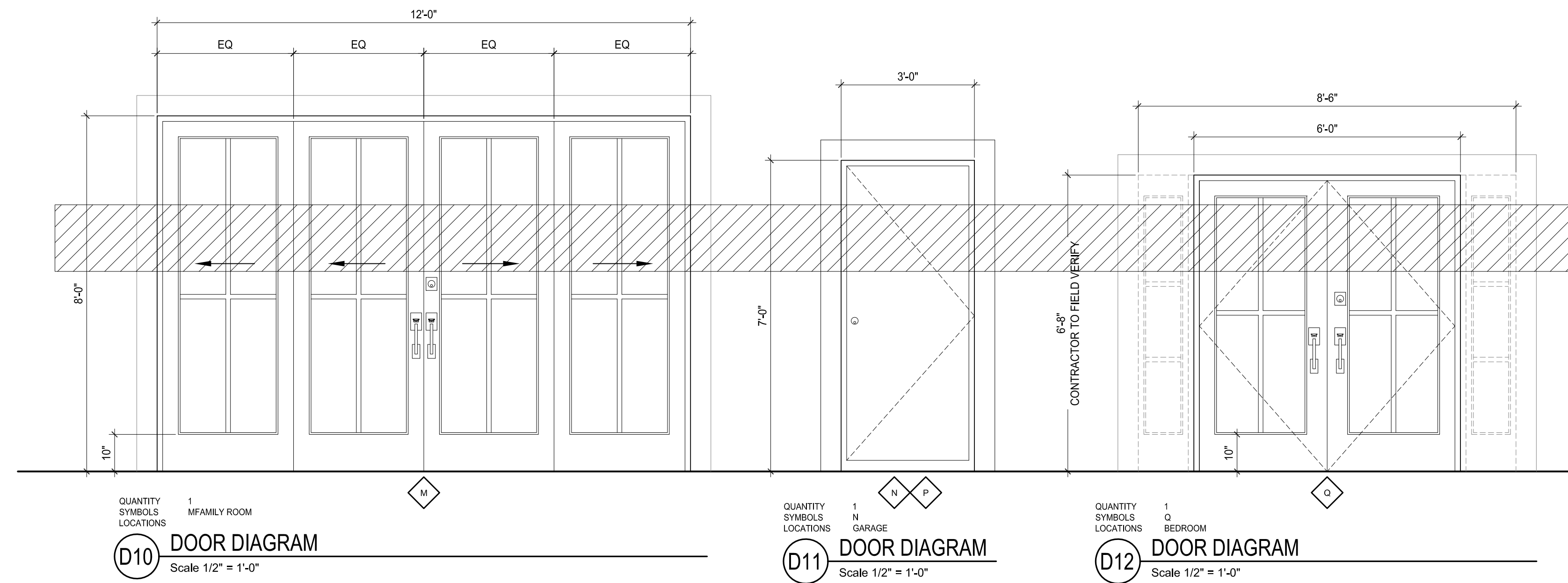
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SYMBOL	LOCATION	ROOM	DIAGRAM	TYPE	GLAZED AREA	FINISH (INT. / EXT.)	U	REMARKS
A	SEE DIAGRAM	116	D1	SWINGING	12.14 SF	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)
B	SEE DIAGRAM	118	D2	OVERHEAD	8.9 SF	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)
C	SEE DIAGRAM	118	D2	OVERHEAD	8.9 SF	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)
D	SEE DIAGRAM	118	D2	OVERHEAD	8.9 SF	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)
E	SEE DIAGRAM	119	D3	SWINGING	11.65 SF	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)
F	SEE DIAGRAM	116	D4	SWINGING	26.32 SF	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)
G	SEE DIAGRAM	112	D5	SLIDING	50.16 SF	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)
H	SEE DIAGRAM	113	D6	SLIDING	57.12 SF	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)
J	SEE DIAGRAM	112	D7	SLIDING	57.12 SF	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)
K	SEE DIAGRAM	110	D8	BI-FOLDING	34.68 SF	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)
L	SEE DIAGRAM	108	D9	SWINGING	12.14 SF	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)
M	SEE DIAGRAM	108	D10	SLIDING	57.12 SF	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)
N	SEE DIAGRAM	111	D11	SWINGING	NA	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)
P	SEE DIAGRAM	118	D11	SWINGING	NA	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)
Q	SEE DIAGRAM	001	D12	SWINGING	26.32 SF	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)

**DOOR SCHEDULE ORGANIZATION**  
 1. EXTERIOR DOORS ARE CALLED OUT WITH A SINGLE LETTER (EXAMPLE: A, B, C...)  
 2. PROVIDE EXTERIOR TRIM AND WALL COVERS AS INDICATED ON EXTERIOR ELEVATIONS AND DETAILS  
 3. LABELING BEGINS AT THE MAIN LEVEL, THEN LOWER  
 4. CONTRACTOR TO COVER ALL REQUIRED ROUGH OPENING SIZES WITH MANUFACTURER'S FRAMING  
 5. MANUFACTURER TO REVIEW INSTALLATION LOCATIONS AND DETERMINE WHICH LITES ARE REQUIRED TO BE SAFETY GLAZING  
 6. MANUFACTURER TO REVIEW INSTALLATION LOCATIONS AND SIZES TO DETERMINE IF OPERABLE DOORS MEET EGRESS REQUIREMENTS

**DOOR DIAGRAM NOTES**  
 1. ALL DIAGRAMS ARE SHOWN FROM THE EXTERIOR SIDE  
 2. PROVIDE EXTERIOR TRIM AND WALL COVERS AS INDICATED ON EXTERIOR ELEVATIONS AND DETAILS  
 3. SHOP DRAWING APPROVAL BY ARCHITECT REQUIRED PRIOR TO FABRICATION  
 4. CONTRACTOR TO COVER ALL REQUIRED ROUGH OPENING SIZES WITH MANUFACTURER'S FRAMING  
 5. MANUFACTURER TO REVIEW INSTALLATION LOCATIONS AND DETERMINE WHICH LITES ARE REQUIRED TO BE SAFETY GLAZING  
 6. MANUFACTURER TO REVIEW INSTALLATION LOCATIONS AND SIZES TO DETERMINE IF OPERABLE DOORS MEET EGRESS REQUIREMENTS



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DOOR DIAGRAMS  
 & SCHEDULE

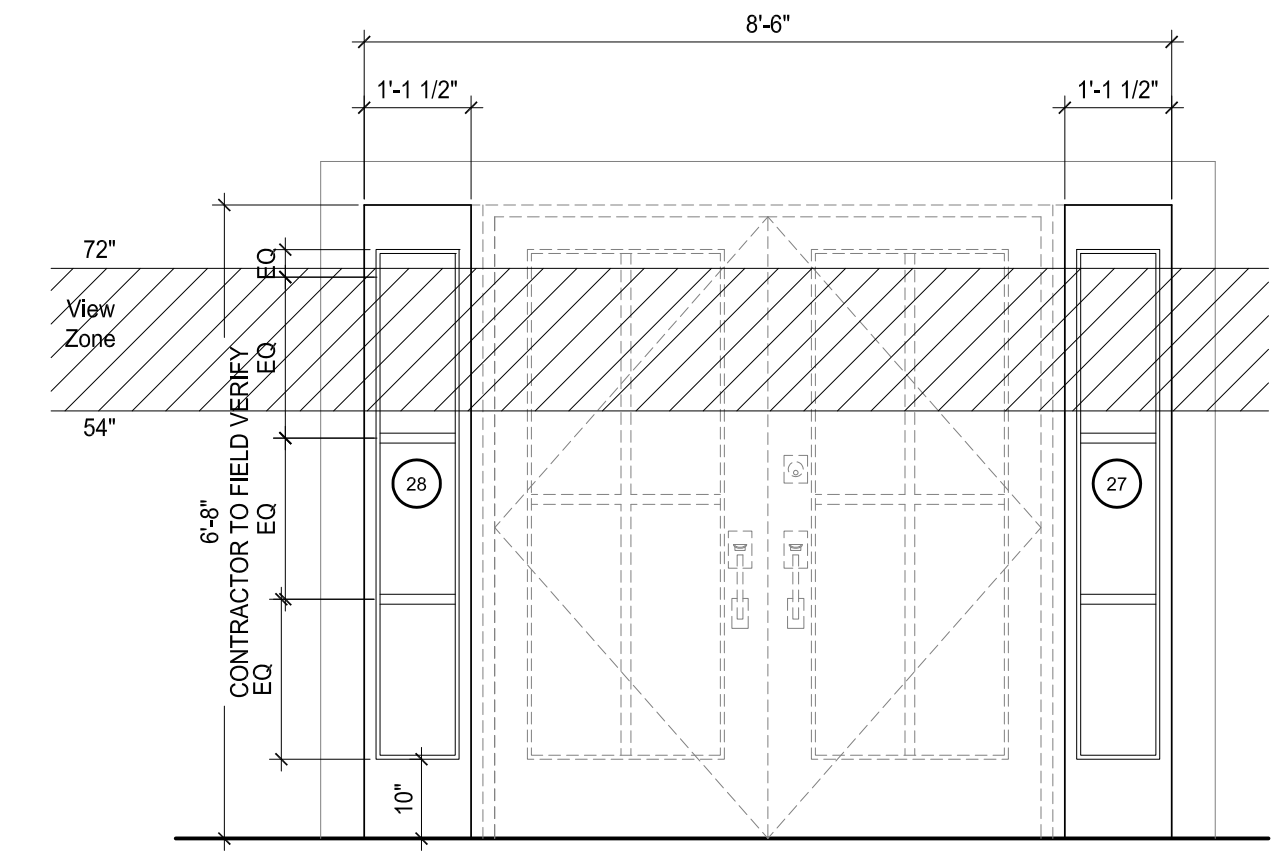
A-6.0



SYMBOL	LOCATION	ROOM	DIAGRAM	TYPE	AREA	FINISH	U	REMARKS
1	SEE DIAGRAM	111	W1	FIXED	1.0 SF	PTD. / CLAD	0.24	SAFETY GLASS
2	SEE DIAGRAM	111	W1	FIXED	16.08 SF	PTD. / CLAD	0.24	SAFETY GLASS
3	SEE DIAGRAM	111	W1	FIXED	1.0 SF	PTD. / CLAD	0.24	SAFETY GLASS
4	SEE DIAGRAM	116	W2	FIXED	5.24 SF	PTD. / CLAD	0.24	SAFETY GLASS
5	SEE DIAGRAM	116	W2	FIXED	5.24 SF	PTD. / CLAD	0.24	SAFETY GLASS
6	SEE DIAGRAM	115	W3	CASEMENT	5.1 SF	PTD. / CLAD	0.24	SAFETY GLASS
7	SEE DIAGRAM	115	W3	FIXED	9.95 SF	PTD. / CLAD	0.24	SAFETY GLASS
8	SEE DIAGRAM	115	W3	CASEMENT	5.1 SF	PTD. / CLAD	0.24	SAFETY GLASS
9	SEE DIAGRAM	114	W4	CASEMENT	5.1 SF	PTD. / CLAD	0.24	SAFETY GLASS
10	SEE DIAGRAM	114	W4	FIXED	9.95 SF	PTD. / CLAD	0.24	SAFETY GLASS
11	SEE DIAGRAM	114	W4	CASEMENT	5.1 SF	PTD. / CLAD	0.24	SAFETY GLASS
12	SEE DIAGRAM	113	W5	FIXED	5.72 SF	PTD. / CLAD	0.24	-
13	SEE DIAGRAM	113	W5	FIXED	5.72 SF	PTD. / CLAD	0.24	-
14	SEE DIAGRAM	STAIRS	W5	FIXED	5.72 SF	PTD. / CLAD	0.24	-
15	SEE DIAGRAM	STAIRS	W6	FIXED	10.98 SF	PTD. / CLAD	0.24	SAFETY GLASS
16	SEE DIAGRAM	STAIRS	W6	FIXED	10.98 SF	PTD. / CLAD	0.24	SAFETY GLASS
17	SEE DIAGRAM	STAIRS	W5	FIXED	5.72 SF	PTD. / CLAD	0.24	-
18	SEE DIAGRAM	109	W7	FIXED	7.93 SF	PTD. / CLAD	0.24	SAFETY GLASS
19	SEE DIAGRAM	109	W7	BH-FOLD	41.68 SF	PTD. / CLAD	0.24	SAFETY GLASS
20	SEE DIAGRAM	109	W7	FIXED	7.93 SF	PTD. / CLAD	0.24	SAFETY GLASS
21	SEE DIAGRAM	108	W8	FIXED	5.24 SF	PTD. / CLAD	0.24	SAFETY GLASS
22	SEE DIAGRAM	108	W8	FIXED	5.24 SF	PTD. / CLAD	0.24	SAFETY GLASS
23	SEE DIAGRAM	109	W9	FIXED	19.56 SF	PTD. / CLAD	0.24	-
24	SEE DIAGRAM	108	W10	FIXED	1.0 SF	PTD. / CLAD	0.24	SAFETY GLASS
25	SEE DIAGRAM	108	W10	FIXED	16.08 SF	PTD. / CLAD	0.24	SAFETY GLASS
26	SEE DIAGRAM	108	W10	FIXED	1.0 SF	PTD. / CLAD	0.24	SAFETY GLASS
27	SEE DIAGRAM	001	W11	FIXED	5.24 SF	PTD. / CLAD	0.24	SAFETY GLASS
28	SEE DIAGRAM	001	W11	FIXED	5.24 SF	PTD. / CLAD	0.24	SAFETY GLASS

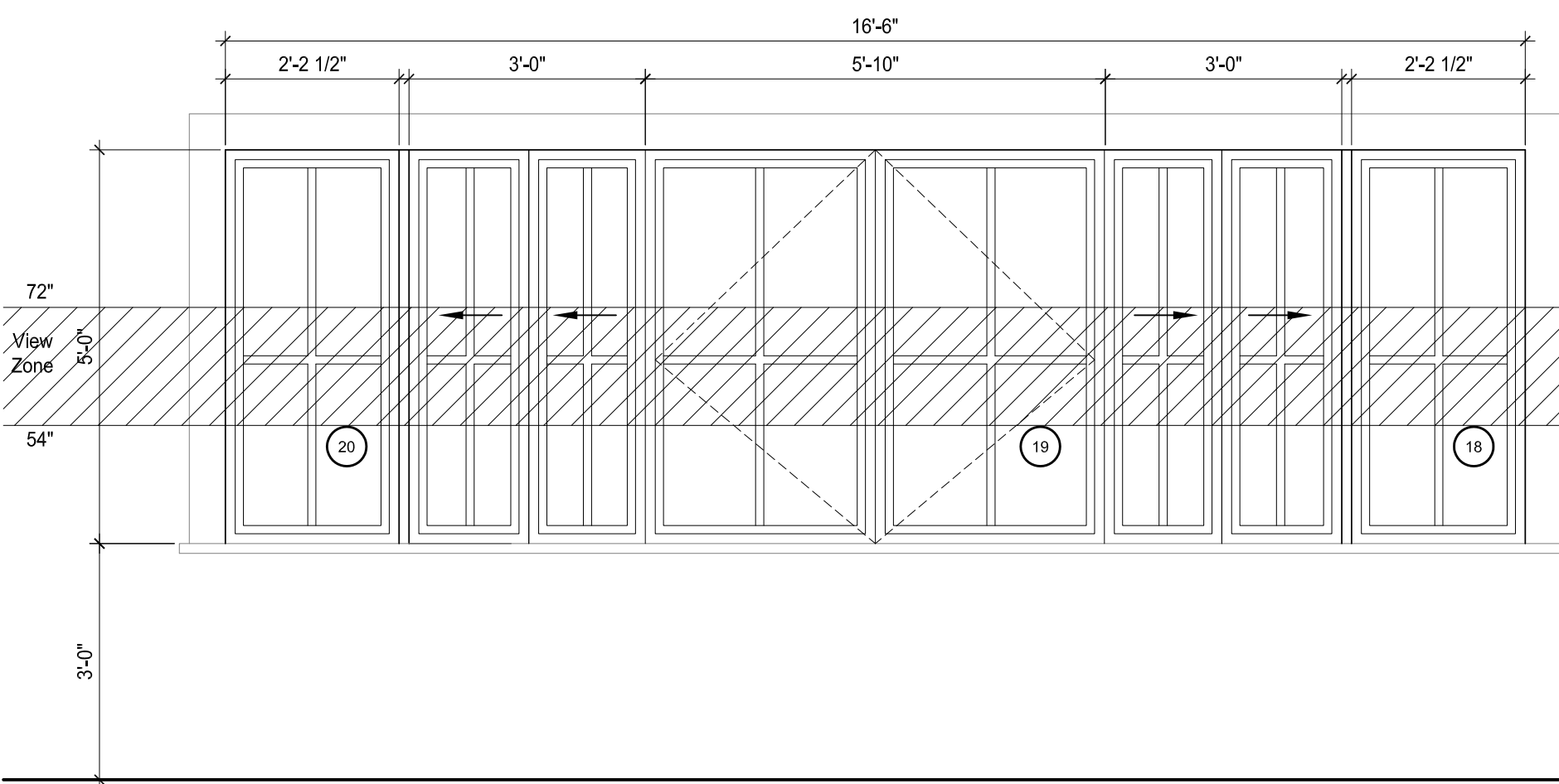
**GLAZING NOTES:**

1. GLAZING SHALL BE IN ACCORDANCE WITH IRC SECTION 308
2. EXTERIOR GLAZING; ALL EXTERIOR WALL GLAZING SHALL BE DOUBLE-GLAZED AND COMPLY WITH WASHINGTON STATE ENERGY CODE (WAC 51-11)

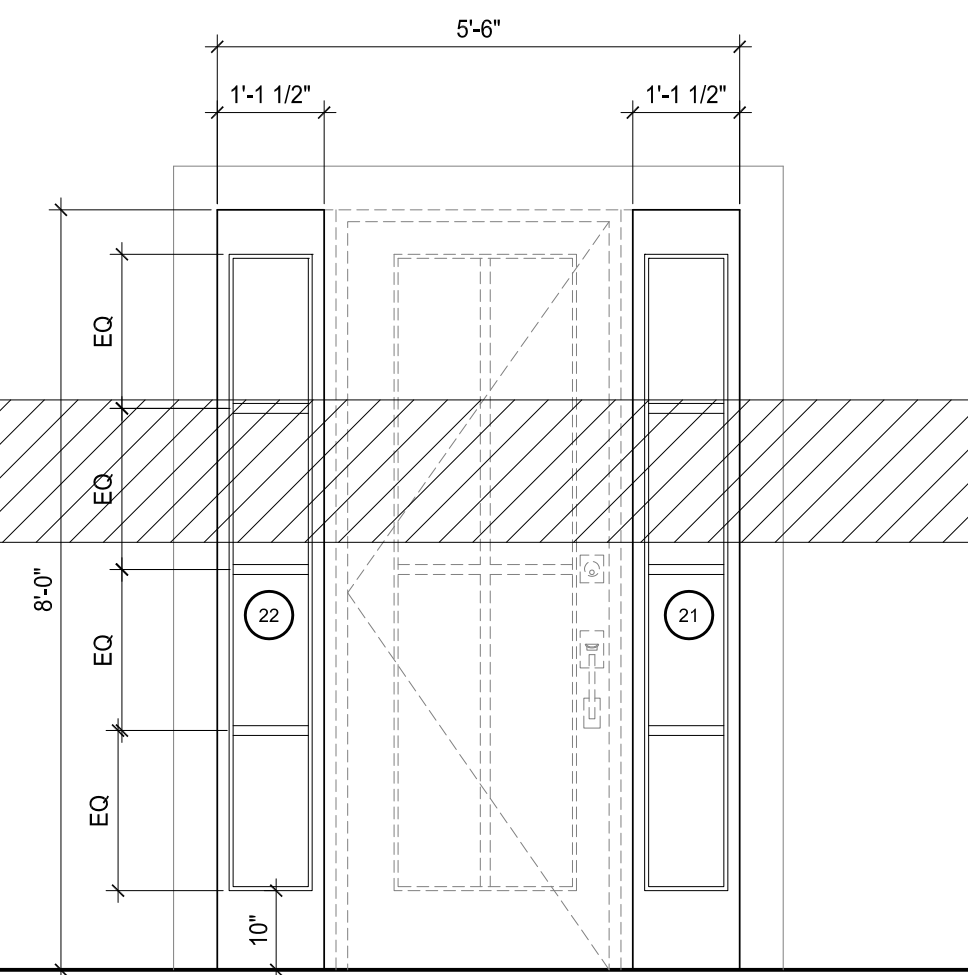


QUANTITY 2  
SYMBOLS 27, 28  
LOCATIONS BEDROOM

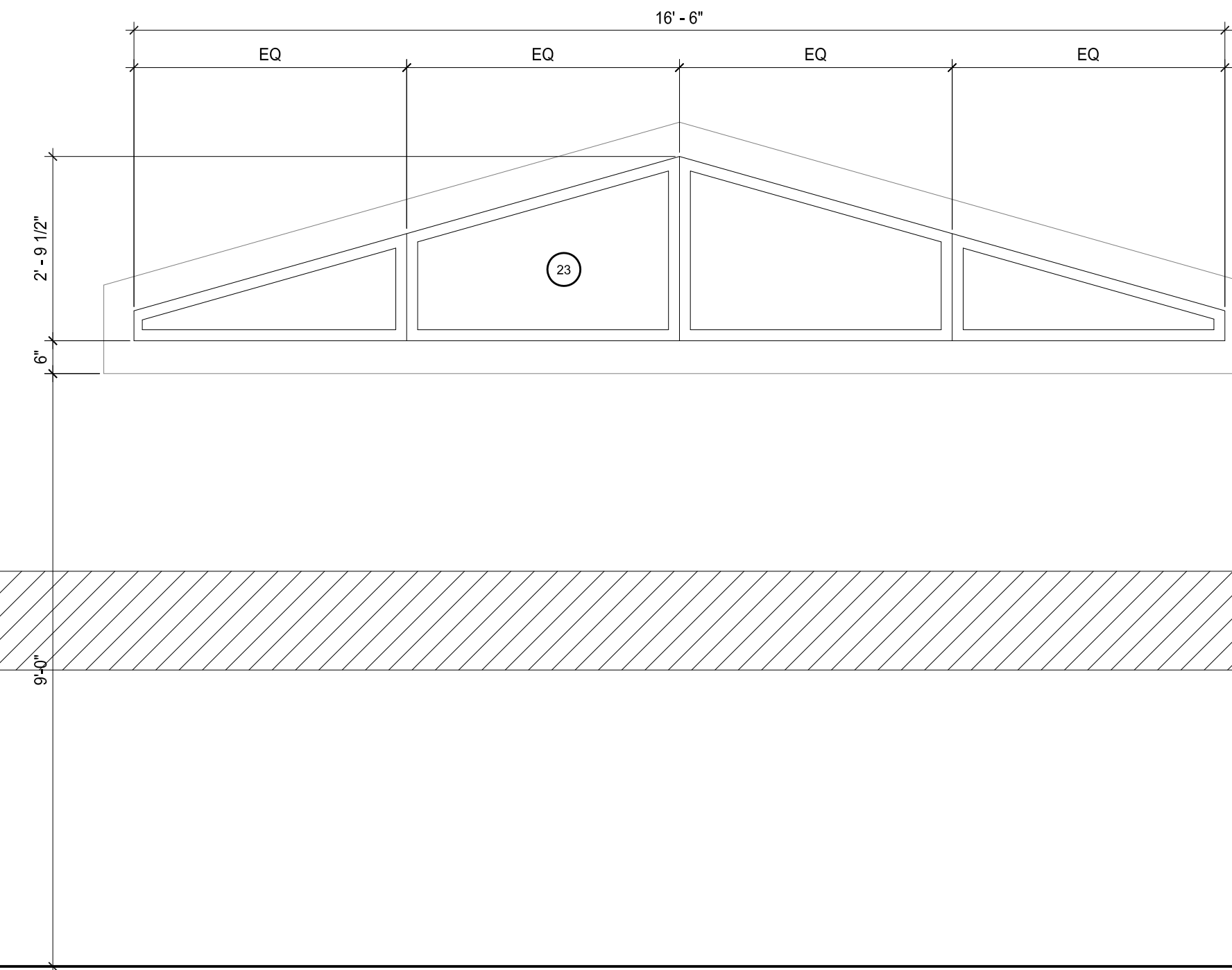
**W11 WINDOW DIAGRAM**  
Scale 1/2" = 1'-0"



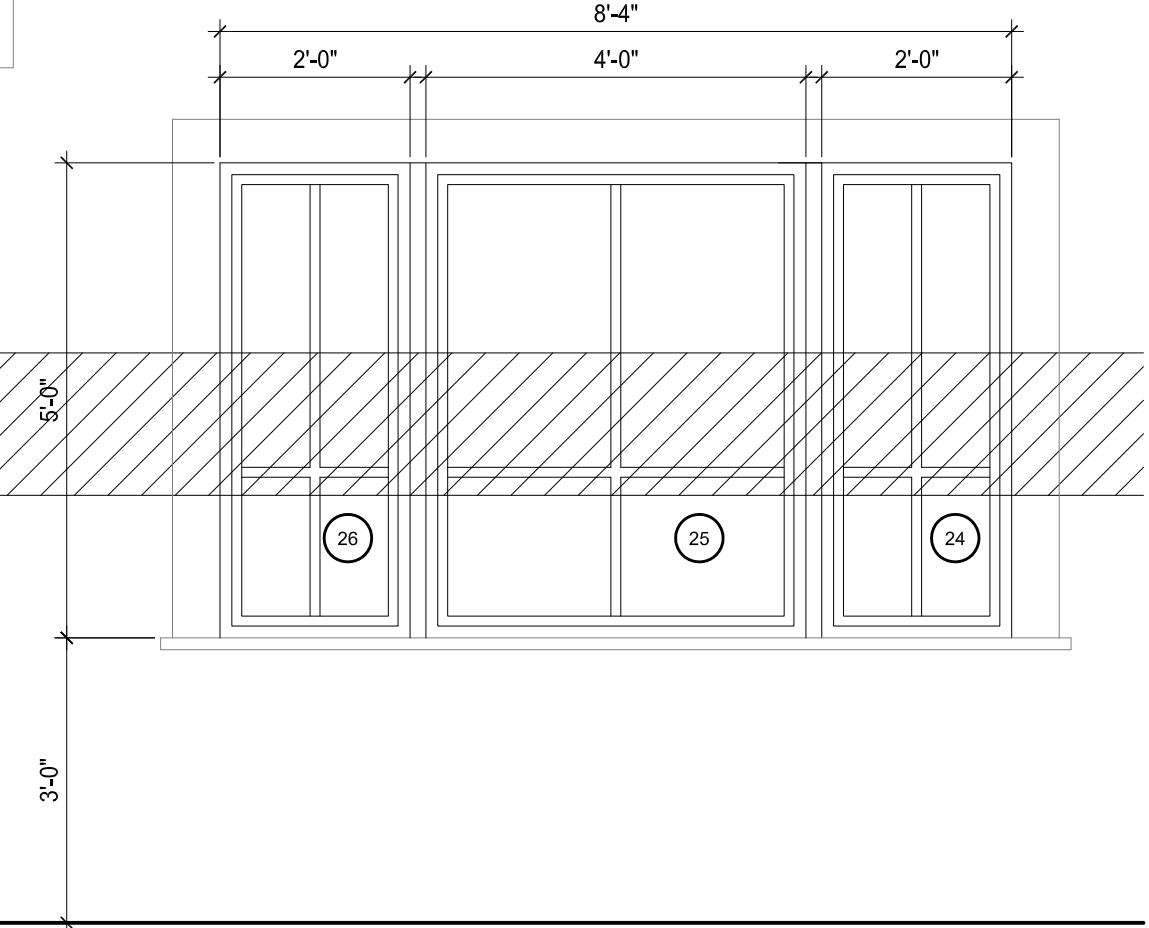
QUANTITY 1  
SYMBOLS 18, 19, 20  
LOCATIONS KITCHEN  
**W7 WINDOW DIAGRAM**  
Scale 1/2" = 1'-0"



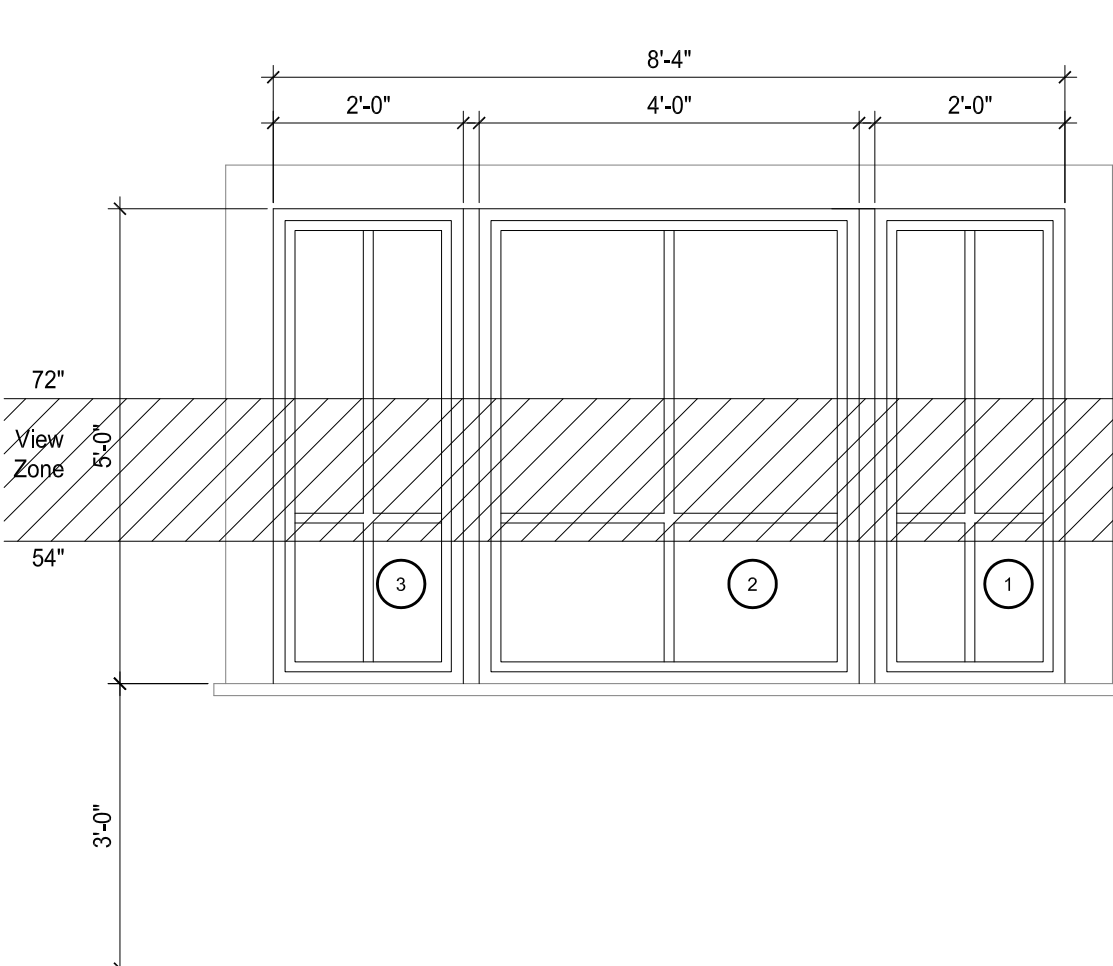
QUANTITY 1  
SYMBOLS 21, 22  
LOCATIONS FAMILY ROOM  
**W8 WINDOW DIAGRAM**  
Scale 1/2" = 1'-0"



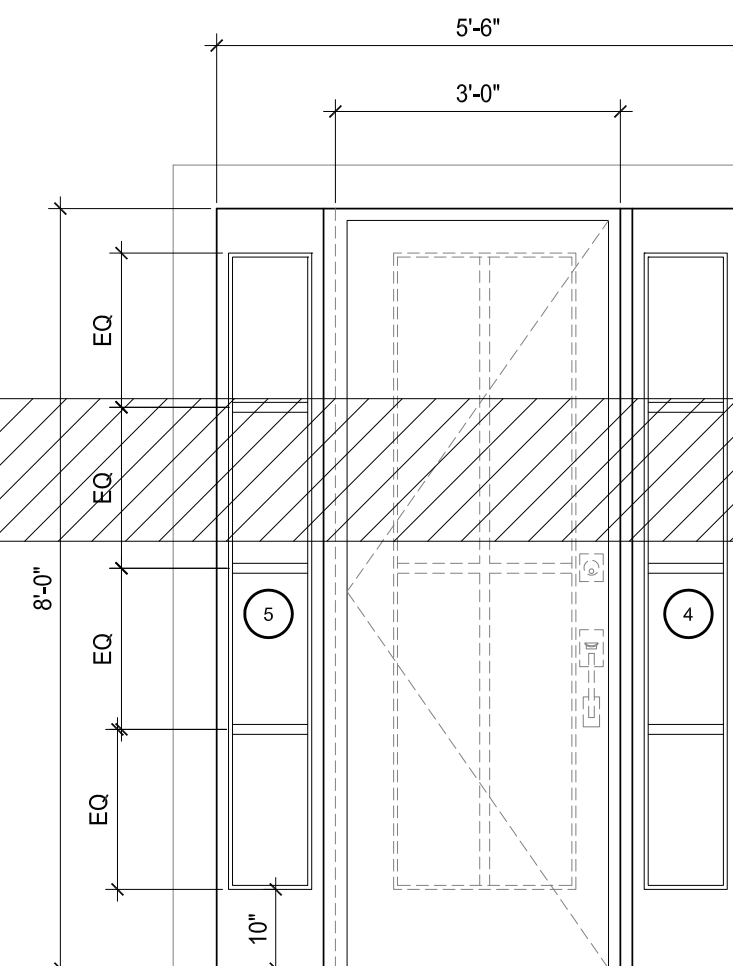
QUANTITY 1  
SYMBOLS 23  
LOCATIONS KITCHEN  
**W9 WINDOW DIAGRAM**  
Scale 1/2" = 1'-0"



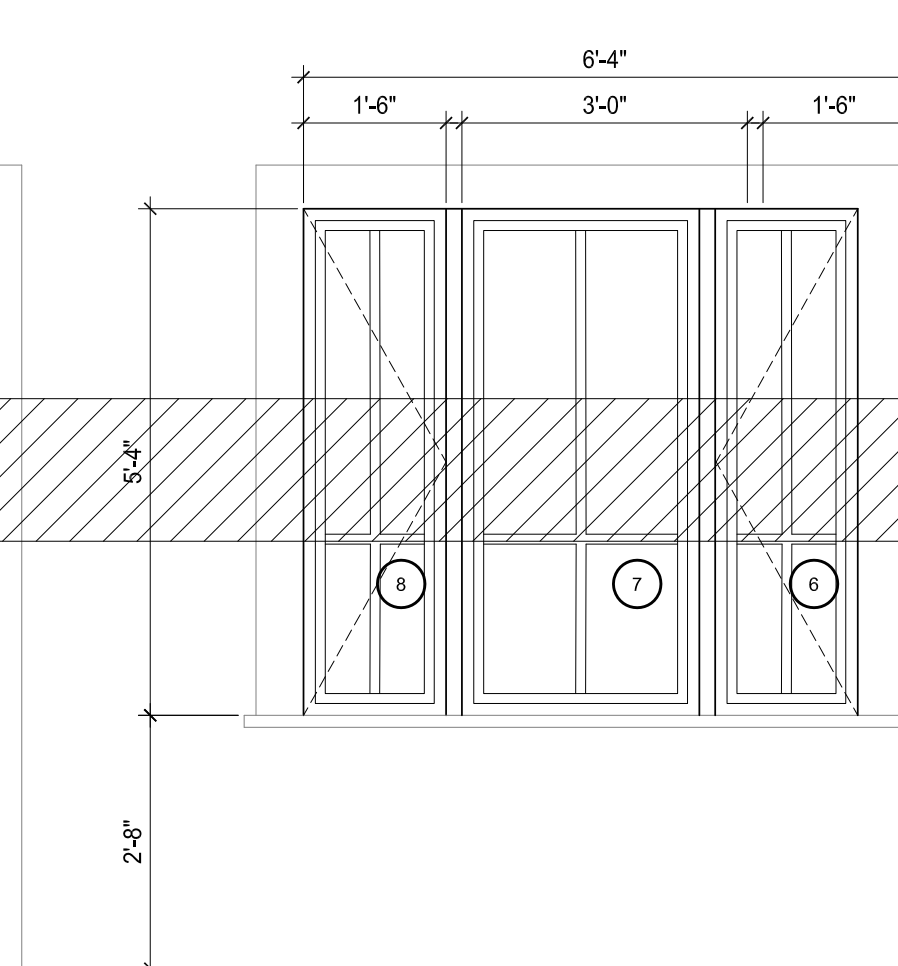
QUANTITY 1  
SYMBOLS 19, 20, 21  
LOCATIONS FAMILY ROOM  
**W10 WINDOW DIAGRAM**  
Scale 1/2" = 1'-0"



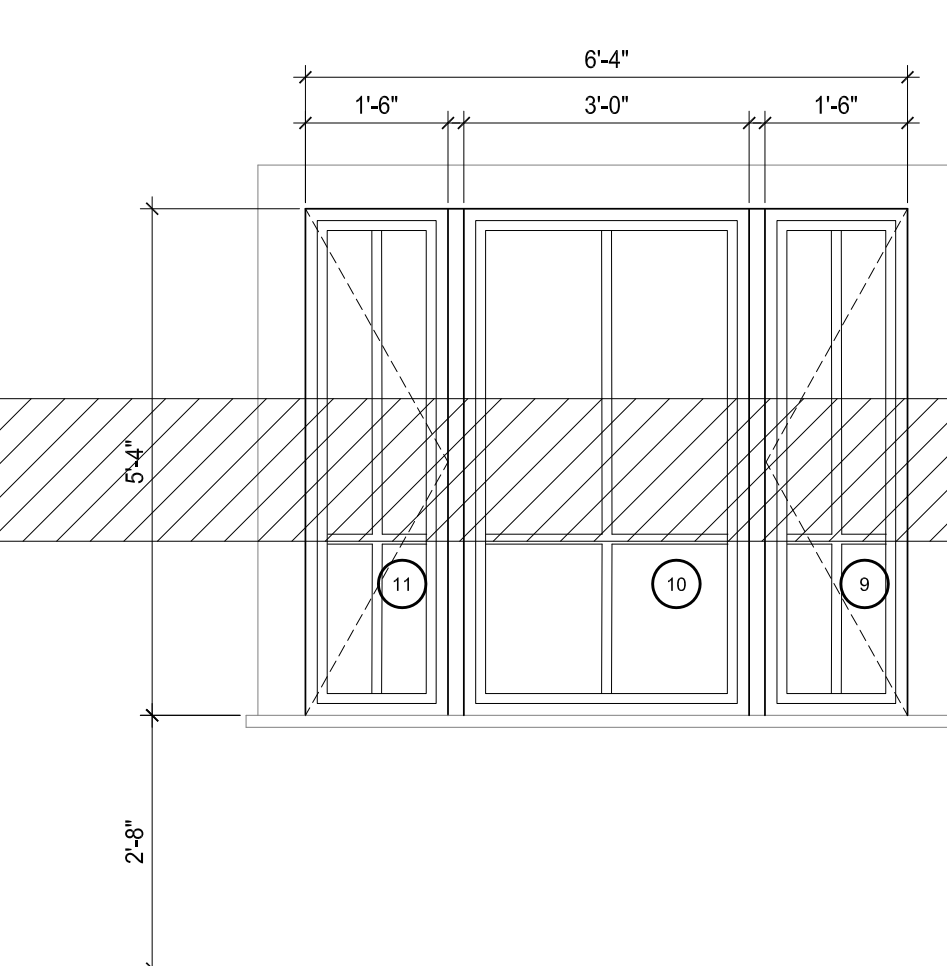
QUANTITY 1  
SYMBOLS 1, 2, 3  
LOCATIONS PANTRY  
**W1 WINDOW DIAGRAM**  
Scale 1/2" = 1'-0"



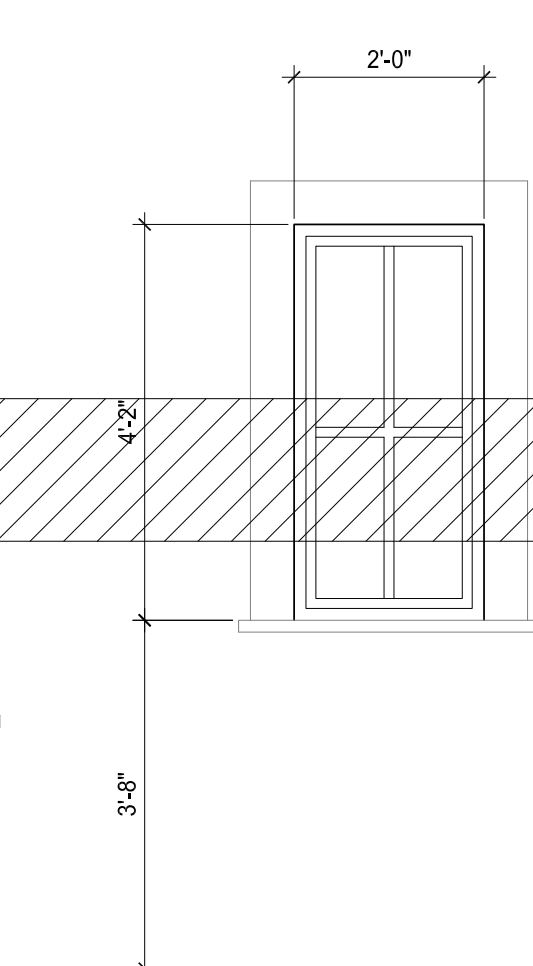
QUANTITY 1  
SYMBOLS 4, 5  
LOCATIONS ENTRY  
**W2 WINDOW DIAGRAM**  
Scale 1/2" = 1'-0"



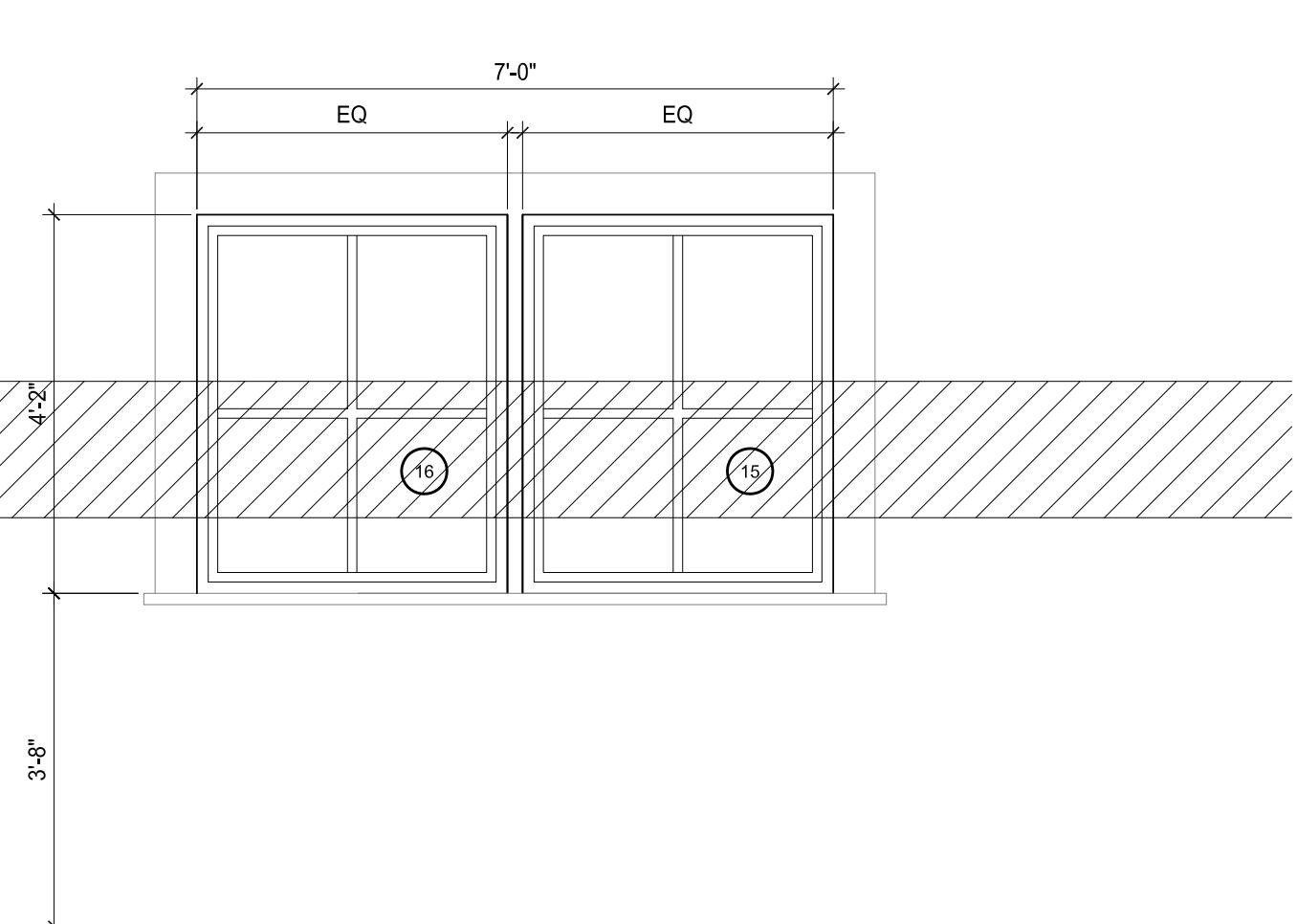
QUANTITY 1  
SYMBOLS 6, 7, 8  
LOCATIONS MASTER CLOSET  
**W3 WINDOW DIAGRAM**  
Scale 1/2" = 1'-0"



QUANTITY 1  
SYMBOLS 9, 10, 11  
LOCATIONS MASTER BATH  
**W4 WINDOW DIAGRAM**  
Scale 1/2" = 1'-0"



QUANTITY 4  
SYMBOLS 12, 13, 14, 17  
LOCATIONS MASTER BEDROOM, STAIRS  
**W5 WINDOW DIAGRAM**  
Scale 1/2" = 1'-0"



QUANTITY 1  
SYMBOLS 15, 16  
LOCATIONS STAIRS  
**W6 WINDOW DIAGRAM**  
Scale 1/2" = 1'-0"

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WINDOW DIAGRAMS  
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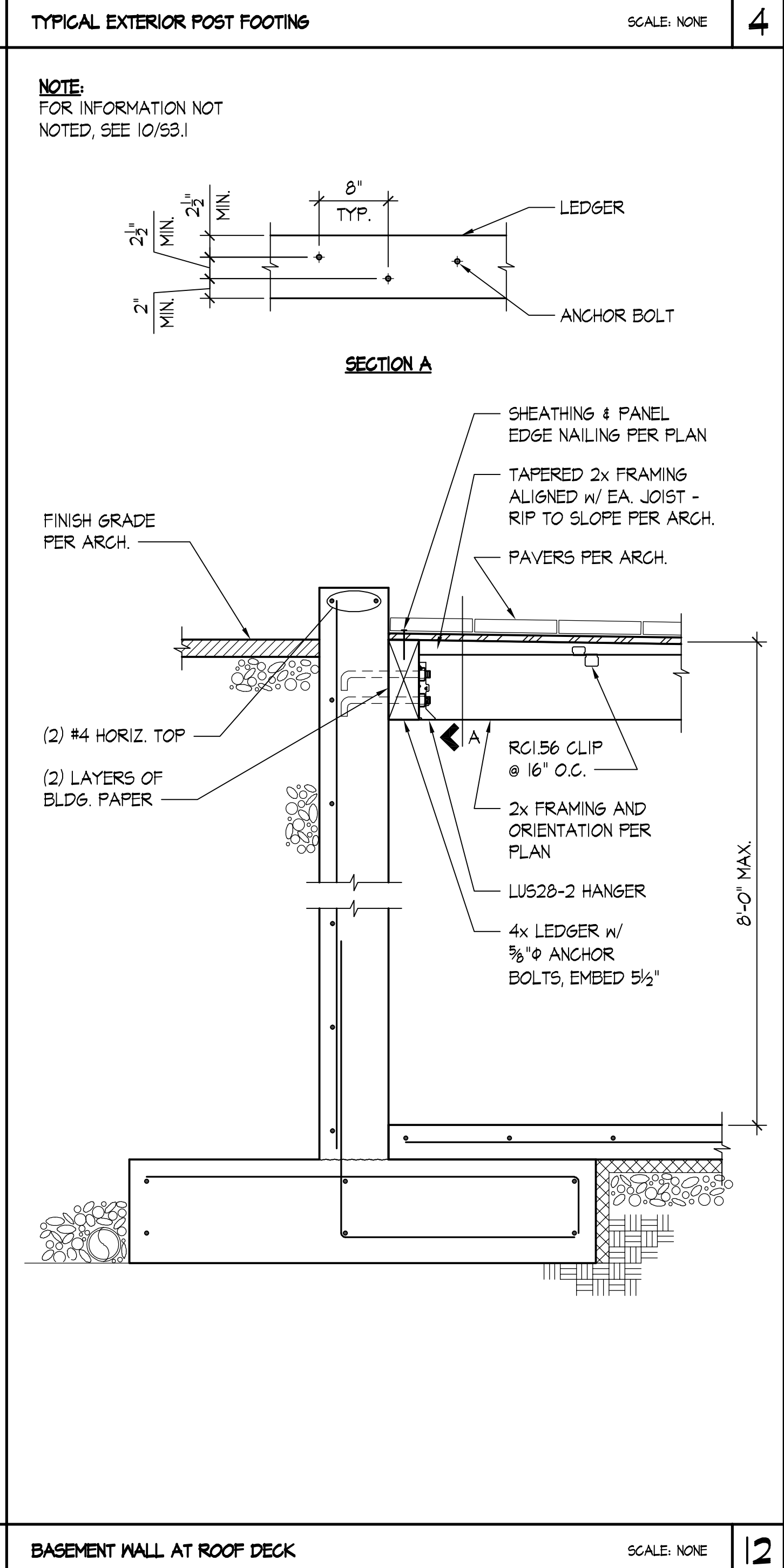
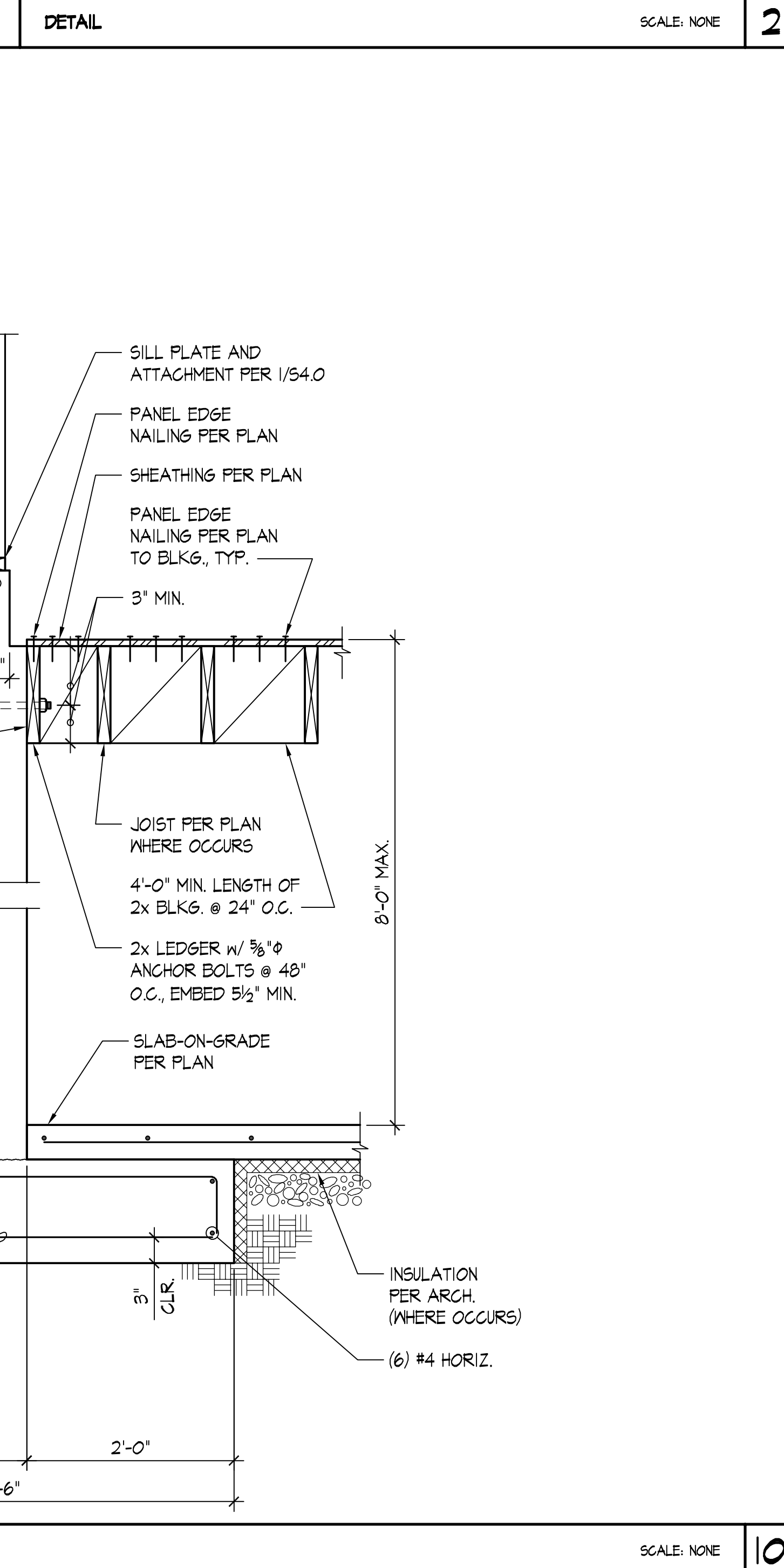
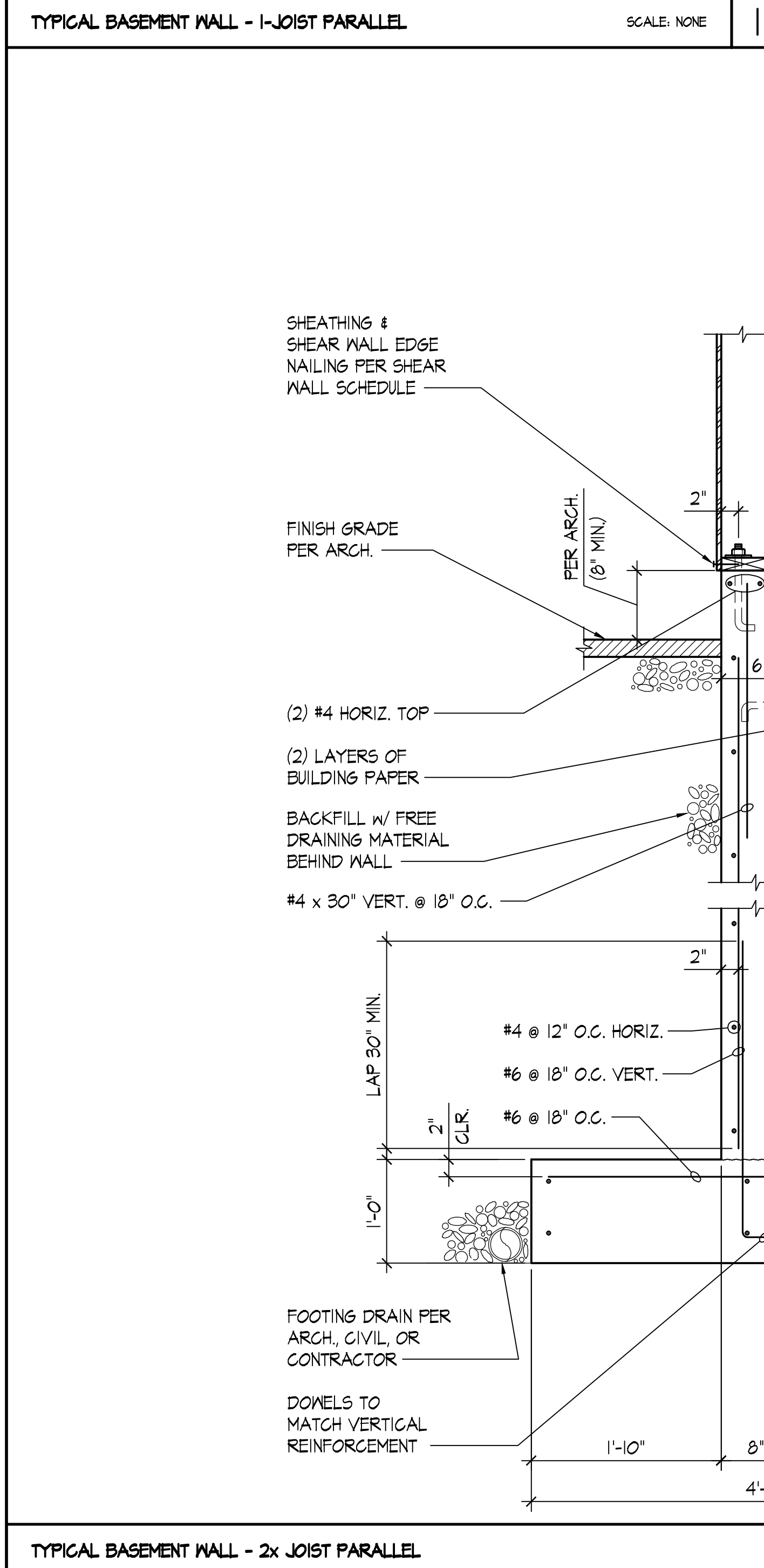
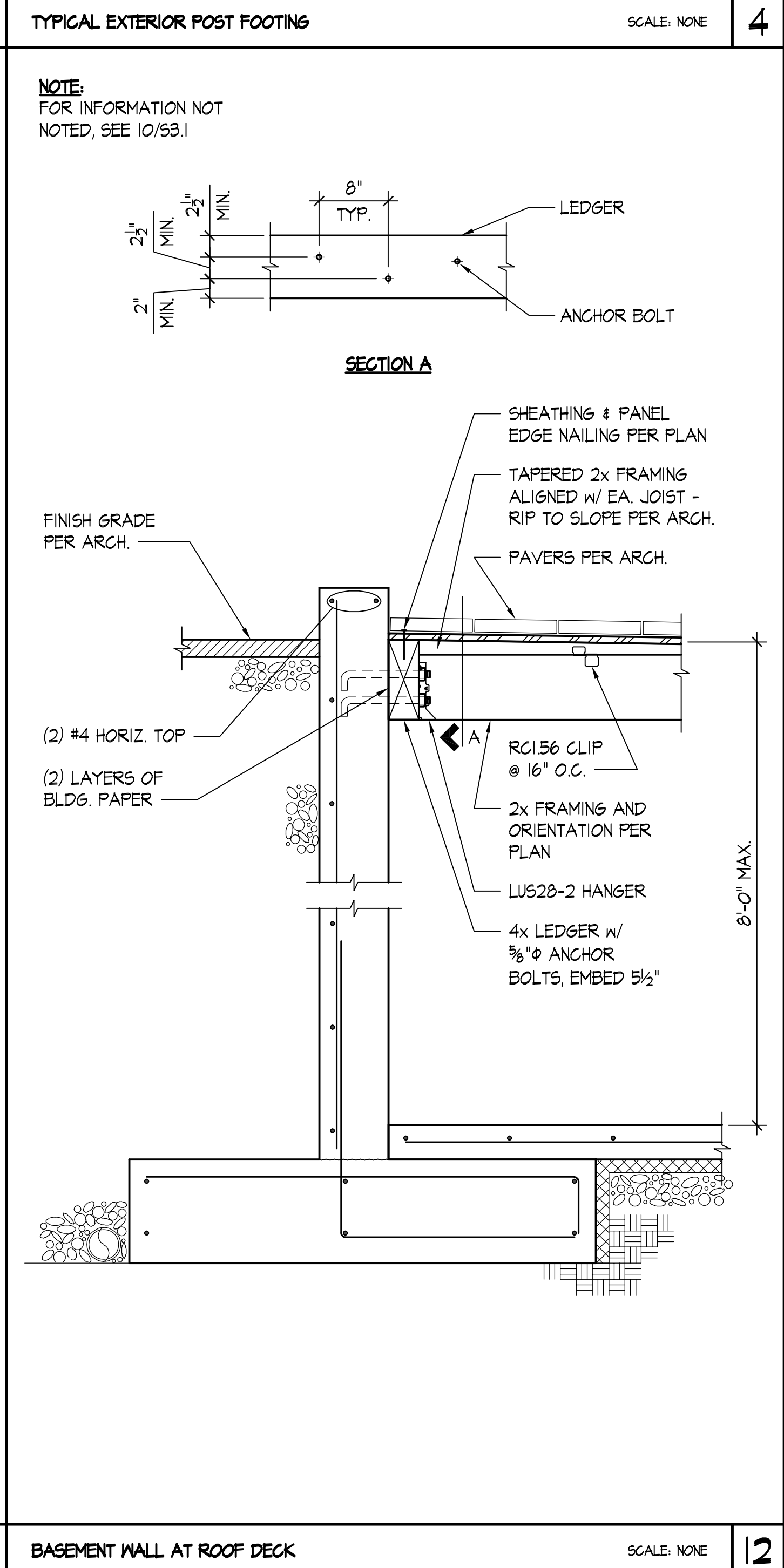
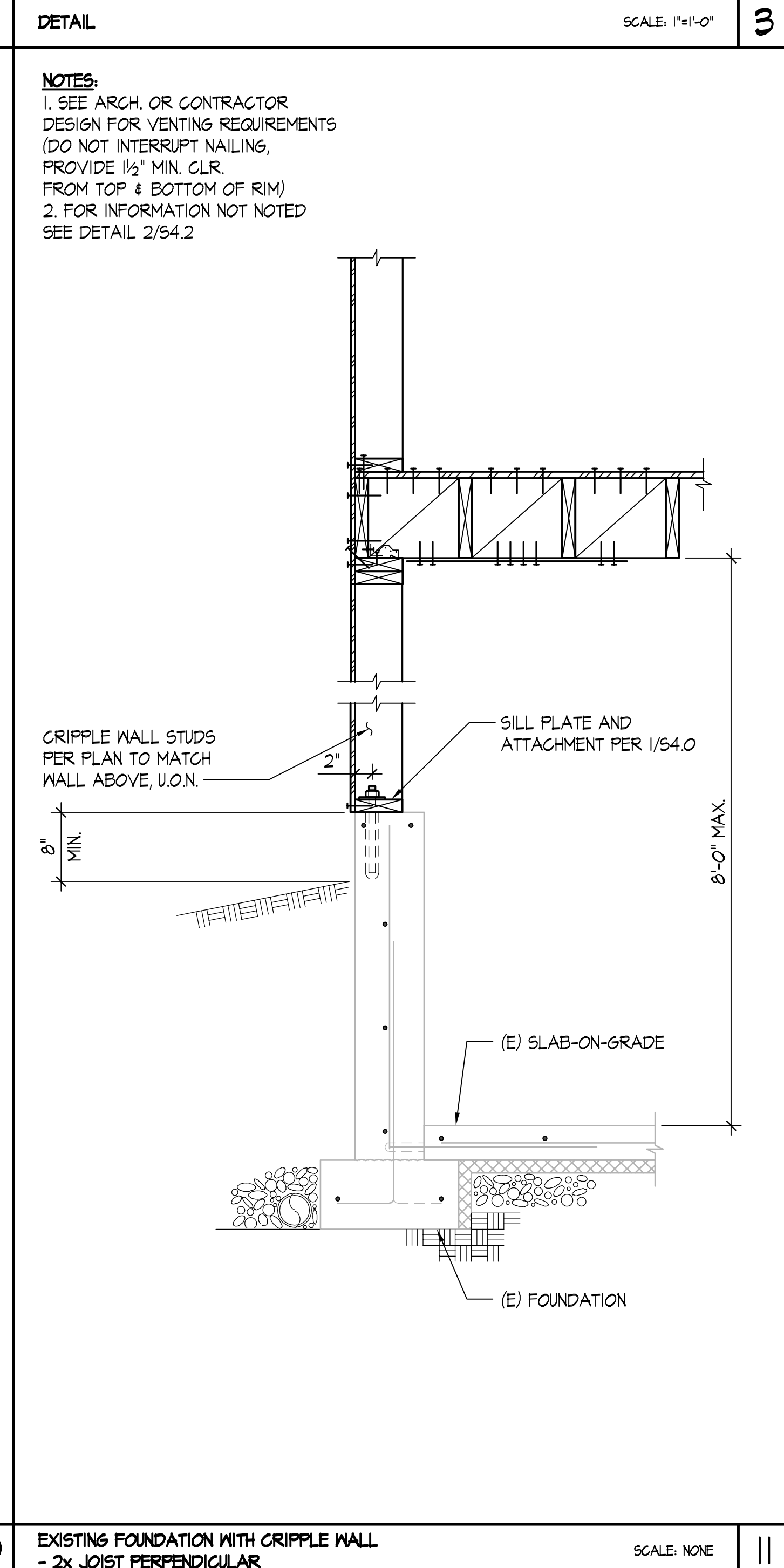
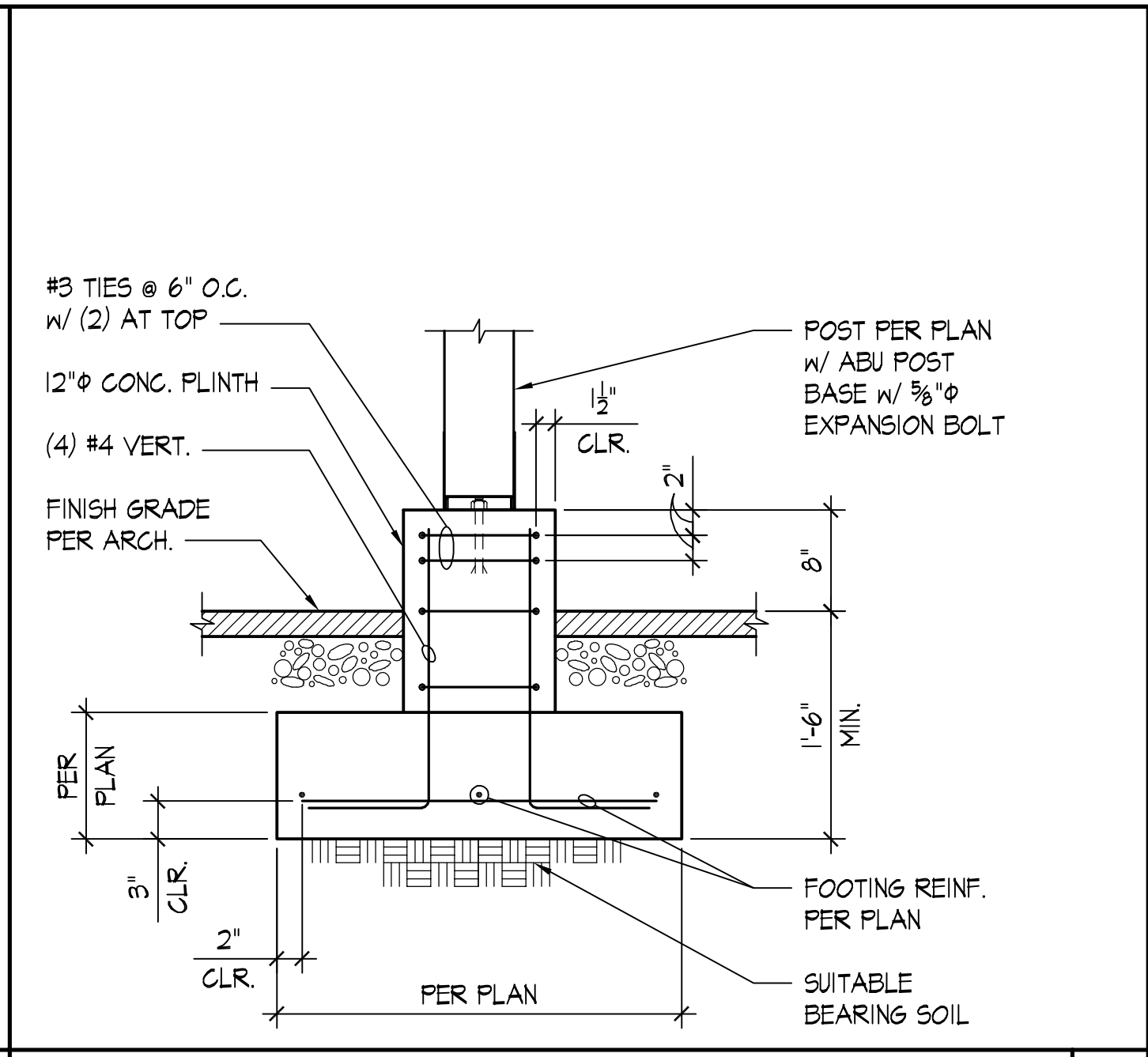
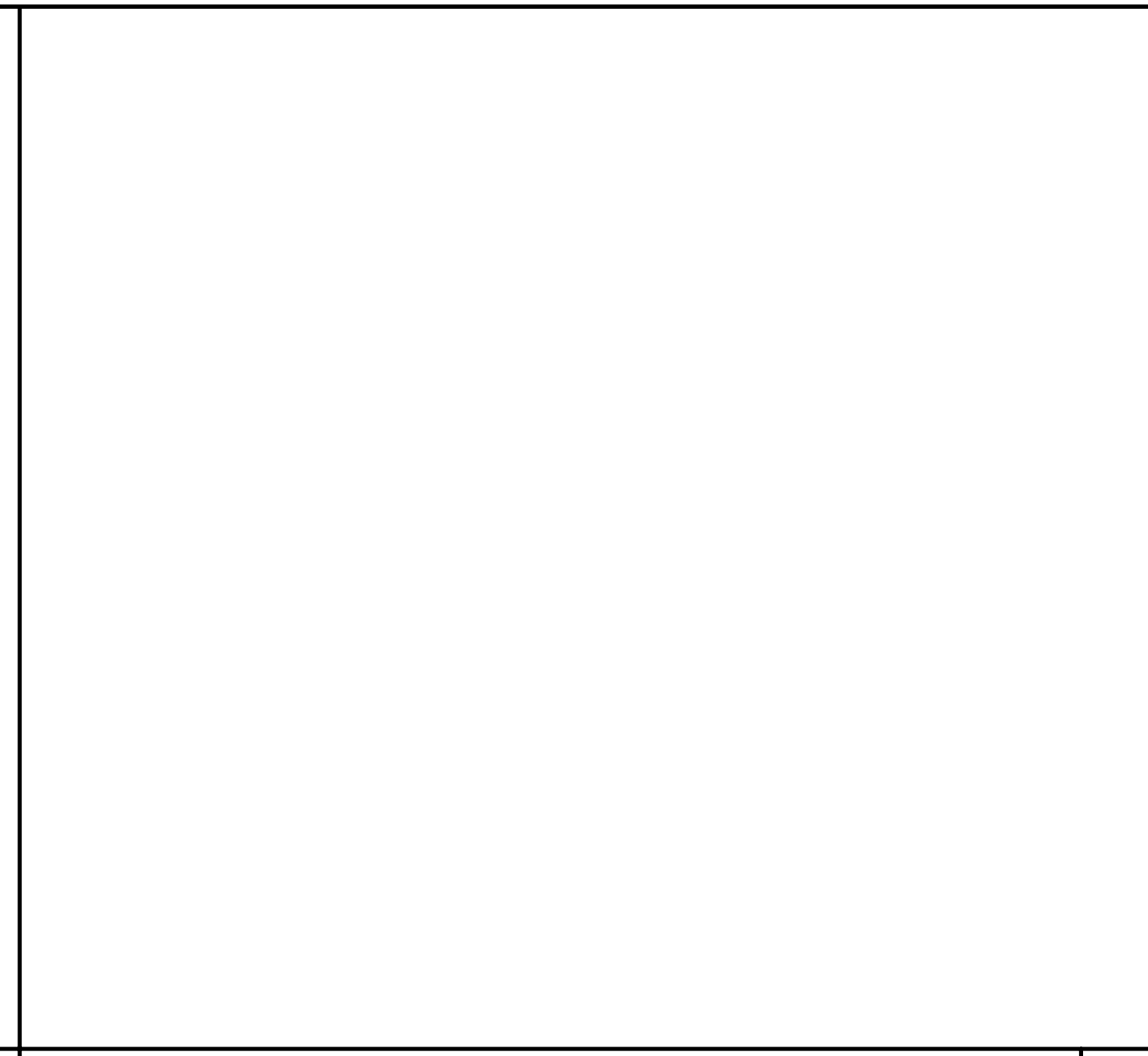
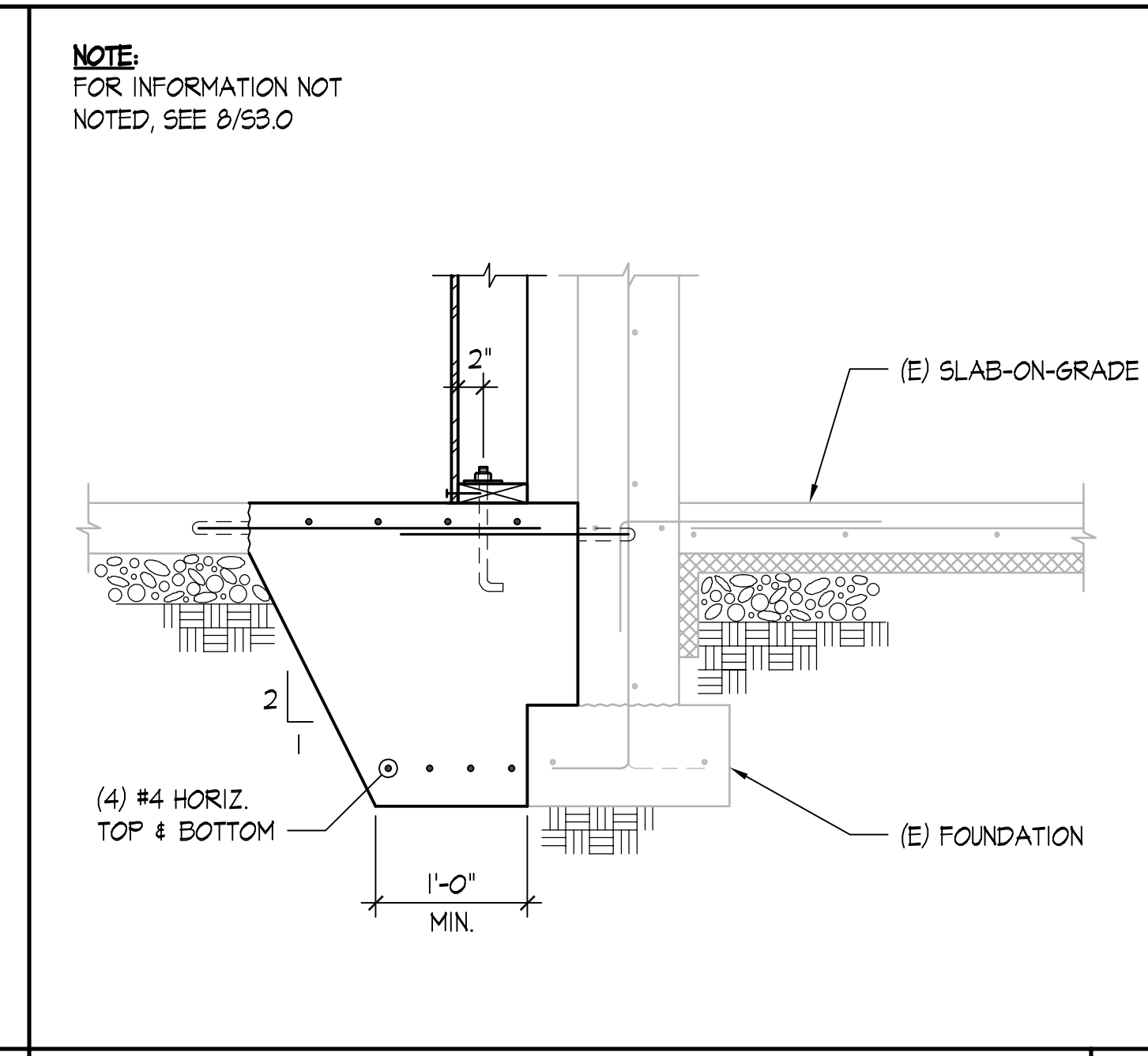
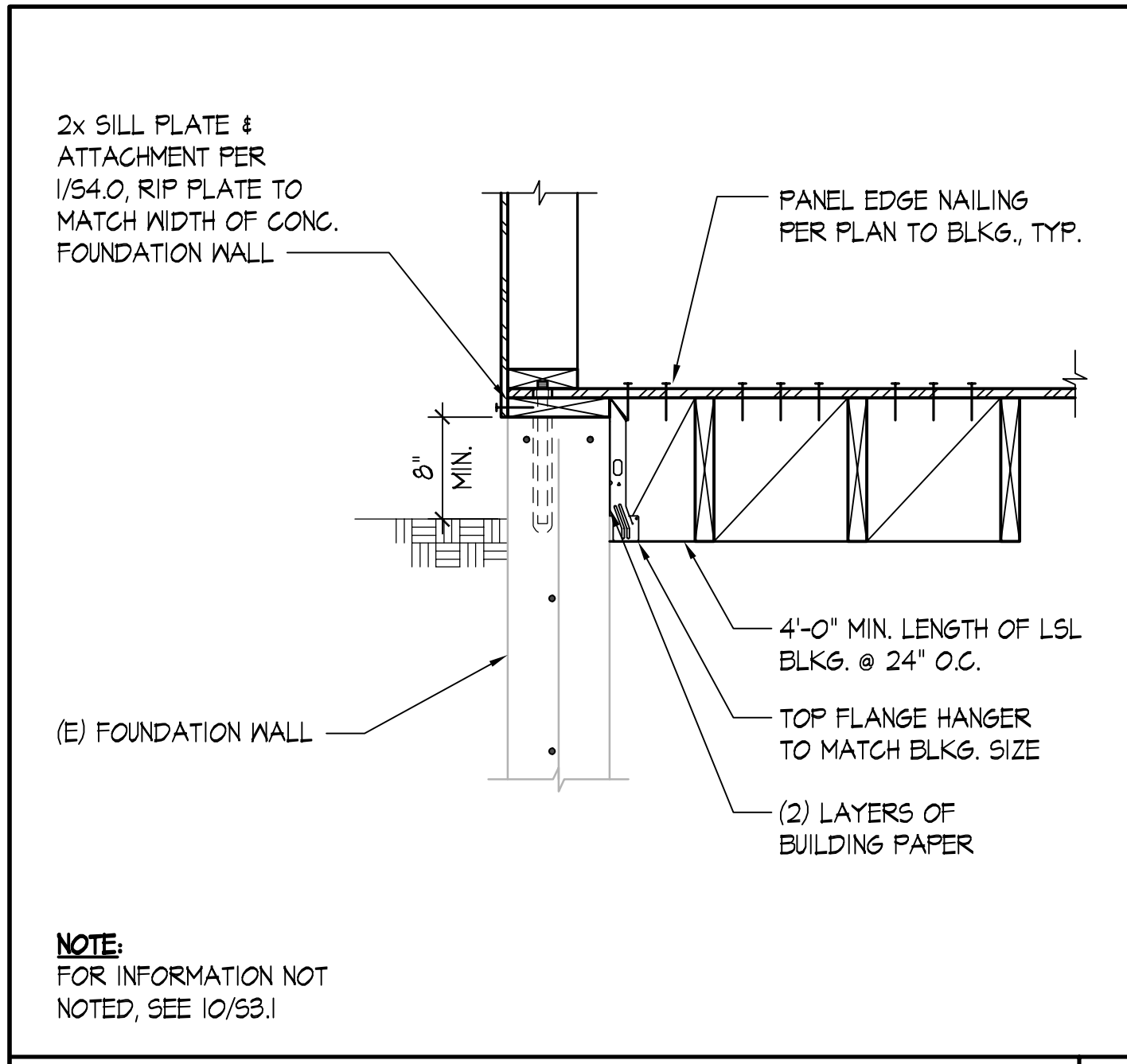












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SEAL:

SANDRO K. KODAMA  
1973  
PROFESSIONAL ENGINEER  
36613

PROJECT:

**ADAMS RESIDENCE**

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MERCER ISLAND, WA 98040

APPROVAL:

NO.	DESCRIPTION	DATE	BY
PERMIT SET		12/12/23	
ISSUES: 0		REVISIONS: 1	
P.M.	SKK		
P.E.	MKS		
DRAWN BY:	ATK		
SCALE:	AS SHOWN		
DATE:	12/12/23		
JOB NO.	22229.01		
SHEET TITLE:	TYPICAL BASEMENT DETAILS		

SHEET NO.

**S3.1**

File: 229-a371.dwg Plotter: Max 12/11/2023 12:12 pm























