# CITY OF MERCER ISLAND

# Community Planning & Development 9611 SE 36TH STREET | MERCER ISLAND, WA 98040





	NSF	PEC.	ΓΙΟ	N R	EQ	UEST

online	2:
_	MyBuildingPermit.com

ONE: 206.275.7605   www.mercerisland.gov	14		voicemail:
IePlan	ASHIN	IGTO.	(206) 275-7730
TE: ALL RECORDS AND DRAWINGS ARE SUBJECT	TO PUBLIC	DISCLOSURE AS REQUIR	RED BY RCW 42.56
ONTACT INFORMATION:	1010021	, Discussification in the control of	ALD DI NGTV 12.30
plicant is to complete the following information.			
oplicant Contact information <i>prior</i> to permit issuance:	<u>A</u>	pplicant Contact information	n post permit issuance:
ame:	N	ame:	
ddress:	А	ddress:	
hone:		hone:	
mail:			
is the Engineer of Record's responsibility to specify all reque owner is responsible for hiring an approved private Spectors (except Geotechnical) must be WABO certified. Then Special Inspection or Structural Observation is required spection. Note: Inspection by the City Inspector is required blow. Do not cover or conceal any work prior to the City in	uired Special ecial Inspectod, the report of in addition	Inspections or Structural Ob r for the checked inspections shall be submitted to the City	noted below. All Special  Building Inspector prior to the City
STRUCTURAL OBSERVATION BY ENGINEER OF RECORD (	FOR)·		
Engineer of Record:	_ Company:_		Phone:
☐ General Conformance to Construction Documents			
SOILS / GEOTECHNICAL:			
Special Inspector:			
<ul><li>☐ Erosion control measures</li><li>☐ Shoring installation and monitoring</li></ul>		•	ent action
Observe and monitor excavation		Rockery installation	
<ul><li>☐ Verification of soil bearing</li><li>☐ Other:</li></ul>		Pile placement (auger cast/c Other:	driven pile)
REINFORCED CONCRETE:		other.	
Special Inspector:	_ Company:_		Phone:
Concrete strength		Retaining wall construction	
	∐	0.1	uction
<ul><li>☐ Shotcrete placement</li><li>☐ Other:</li></ul>		Other:	
STRUCTURAL STEEL: (AISC 360, Chapter N)			
Special Inspector:	_ Company:_		Phone:
Fabrication and shop welds		Moment Frame construction	1
Structural steel erection, field welds and bolting			
Other:		Other:	
STRUCTURAL MASONRY: Special Inspector:	Company:		Phone:
☐ Mortar strength	_		on
Masonry unit strength		Wall panel and veneer instal	llation
Other:		Other:	
Other:		Other.	
WOOD:			
Special Inspector / Engineer of Record:	_ Company:_		Phone:
Lateral resisting system construction		High strength diaphragm co	nstruction
Other:		Other:	
OTHER SPECIAL INSPECTIONS:			
Special Inspector:	_ Company:_		Phone:
<ul><li>Epoxy grout installations</li><li>Expansion anchor installations</li></ul>	∐	Stucco installation Infiltration System	
Other post installed anchors		Exterior Insulation Finish Sys	stem (EIFS) installation
Alternative construction methods:		Other:	
Alternative construction materials:		Other:	
EFERRED SUBMITTALS:	shan drawin	as for submittal to the City fo	w way iang and annound prior to itan
ne Applicant is required to select all deferred submittals / brication / construction.	shop drawing	gs for subfilitial to the City fo	r review and approval prior to iter
Connector plate wood trusses		Post tension layout	
Metal joist / metal trusses		Exterior cladding	
☐ Premanufactured structures (stairs, etc.) ☐ Precast concrete elements		Window wall / curtain wall of Other:	construction
Other:		Other:	
NERGY CODE COMPLIANCE INFORMA dicate where the following information is located in the d escriptive Compliance (RECPC) Form into the drawing set.	rawing set. A	llternatively, incorporate or in	nclude the Residential Energy Code
Sheet:			
Building envelope: wSEC Table 402.1.1		Air Leakage Testing. IRC Section Re	
(include U-factors, insulation and moisture control)		✓ Provide air leakage test	report verifying air leakage rate
Whole house ventilation: IRC Section M1507 WA Amended (include ventilation option and duct sizing if applicable)		does not to exceed 5 air  Duct Leakage Testing. WSEC RAD	
Energy Credit Information: wsec Table 406.2		Postconstruction Test. WSEC R4	
(include specific, written requirements)		Rough-in Test. WSEC R403.2.2.3	
RECPC Form Information:  (if incorporated within drawing set)			
(iii // // // // // // // // // // // //			

TO BE COMPLETED BY CPD	PROJECT ALERTS:  Construction of the project shall be from approved plans only. No deviation from the approved project plans is allowed without prior approval from the City of Mercer Island. Approved plans must be kept on site and maintained in good condition.  Mefer to "Conditions of Permit Approval" provided at permit issuance for required construction rules and regulations, including:  Site Considerations  ROW restrictions  ROW restrictions  Roditional Fire Code Requirements  Planning Requirements  Planning Requirements  Noise Abatement Certification  Access Road Requirements  Water Service Requirements  Refer to "Preconstruction Meeting Checklist" provided at the preconstruction meeting for development related requirements.  Temporary site address with minimum 6" high numbers visible from the street must be installed.  Forsion control measures must be as shown on approved project drawings. All erosion control is to be in place and inspected prior to the start of any site work.  A City of Mercer Island Business License is required for all subcontractors. Call (206) 275-7783 for more information.  TREE PROTECTION REQUIREMENTS:  Tree protection as shown on approved drawings shall be installed at tree dripline prior to start of any site work and must remain in place throughout the project.  Replacement trees must be a minimum of six feet tall at installation. They must be planted and approved prior to final inspection.  For this project, trees are authorized to be removed and replaced with trees.  This project appears to be within a protected eagle nest area. Contact Federal Fish and Wildlife at (360) 534-9304 or visit their website at http://www.fws.gov/pacific/eagle  FIRE PROTECTION REQUIREMENTS:  Separate Permits are required for ALL fire protection systems. For more information, see http://www.mercergov.org/Page.asp?NavID=2614	TO BE COMPLETED BY CPD	l'i v ii
	NFPA 13D		
TO BE COMPLETED BY CPD	Fire sprinkler design calculations must be provided prior to determining water supply system requirements.   Water Supply system upgrade required   City Installation.   Applicant Installation.   Required Service Line Size:	TO BE COMPLETED BY CPD	
CPD	APPROVED CODE ALTERNATIVES:  Code alternatives must be Inspected. Refer to the Inspection Checklist  CA1:	CPD	
O BE COMPLETED BY C	Geotechnical Engineer  SEASONAL DEVELOPMENT LIMITATION RESTRICTION:  Applies (Geologic Hazard area). Grading not permitted between October 1 through April 1.  Waiver approved. Grading and excavation permitted subject to all conditions noted in Seasonal Development Limitation Waiver Permit.  Permit number  Approved by  Date	O BE COMPLETED BY C	II

REQUIRED CON	STRUCTION INSPECTIONS:		1 [	•
• • •	·	ctions appropriate for the project. Request inspections online at	l <u></u> l	
	spection. Be specific as to type of inspection.	6) 275-7730. Allow at least 24 hours (48 hours for Reinforcing steel)		
Inspector shall initial	and date appropriate inspection only if approve	ed. Note: <i>Items marked with an "*" require a separate permit.</i> It is the	NUMBER	
applicants responsib	lity to apply for and obtain all City of Mercer Isl	and permits.		
	roved			
	Pre-construction Meeting to Review Condition	ns of Permit Approval.	ERMIT	
*	Tree protection Erosion control			
*	Sewer disconnect and cap. If applicable, separa			
*	Right-of-way use or work / easement, materia separate ROW permit required	l delivery, etc. If applicable,	-	
	Land clearing, grading and demolition		NCN	
	Temporary power	Maria de Langa	e be	
	Pilings / Shoring / Shotcrete. If applicable, prov (property line); Geotechnical Engineer / Specia	·	PA	
	reports of inspections (pile and shoring installa	ation, etc.)	OCCU spections approved.	
	Footings, setbacks, UFER ground. If applicable, (building height and setbacks); Special Inspect		DCCU pections pproved	
	(soil bearing capacity, compaction, earthwork,		insp d ap	
	Foundation walls / concrete columns			
	Roof and footing drains Foundation damproofing		FICATE Of the fiter all required performed an	
*	Storm drainage, including (but not limited to):		AT all re	
	• Connections to storm	• Area drains	er a	
	main in ROW • Detention systems	<ul><li>Conveyance piping / cleanouts</li><li>Storm drain in ROW</li></ul>	ص	
	Infiltration systems	Control structures / manholes	L pen	
	<ul> <li>Catch basins including         oil-water separator tees</li> </ul>	Pump systems     Retaining wall drainage	$\frac{1}{2}$ $\frac{1}{2}$ $\frac{1}{2}$	
*	Water Service	Netalling wan uramage		
	Water Supply			
U	Water as-built drawings Side sewer installation, including (but not limit	ted to):	_	
	• Connections to side	• Back-flow valves	<u> </u>	
	_sewer main	Grinder pump systems		
	<ul> <li>Connections to existing</li> <li>side sewer</li> </ul>	Sewer manholes	-	
	Driveway / Access road			
	Underslab electrical / mechanical / plumbing Underslab insulation / vapor barrier / reinforci	ing		
	Underfloor framing	'''g		
	Nailing-Roof sheathing. If applicable, provide S	Special Inspection		
	letter for lateral wood inspection.  Nailing-Exterior wall and Shearwall. If applicab	ole provide Special		
	Inspection letter for lateral wood inspection.	ne, provide special	]	
	Rough hydronic installation			
*	Rough electric installation  Rough fire alarm (wiring inspection)			
	Rough plumbing installation (DWV, water)			
	Rough mechanical Gas Piping			
*	Rough fire sprinkler / hydrostatic and flow (bu	cket) test		
	Framing and glazing. If applicable, provide Spe			
	lateral wood inspection, welding epoxy anchor Masonry construction (fireplace / walls / vene			
	Insulation installation	g., g.s.,		
	Stucco (paper and lath)		-	
	Shower pan (or tub) Miscellaneous			
	Code Alternative CA1:			
	Code Alternative CA2: Impact Fees Paid (If applicable)		_	
	impact rees raid (ir applicable)			
	Final Inspection: Tree Restoration			
	Final Inspection: Fire protection, including (bu  • Sprinkler	t not limited to):  • Fuel Tank Installation		
	• Access Road	Fire Extinguishing System		
	<ul><li>Fire Code Alternatives (see below)</li><li>FCA1:</li></ul>	• Fire Alarm System  ☐ FCA3:	-	
	FCA1:	FCA4:		
	Final Inspection: Water supply protection, incl	luding (but not limited to) TW		
	backflow devices for:  • Waterfront property	Well water on property	▎ ∟ ∟	
	Fire / lawn sprinkler	• Boiler	J 5 5	)
	<b>Final Inspection:</b> Site and utility: includes lands			
П	restoration complete and as-built drawings rea Final Inspection: Building, including electrical			)
	applicable, provide closeout (summary) letters	s from Engineer, Special	X	,
	Inspectors, Geotechnical Engineer, and exterio			J
	RARY CERTIFICATE OF OCCUPA		<b>⊢</b> □	
pplicant option. Addit	onal fees will be required and must be approve	ed prior to occupancy. TCO requires tree plantings be completed.	KEPT IMES ANCE	
			A SI A	
Approved		Start Date End Date	1 B 1	
ADDITIONAL RE	QUIRED CITY INSPECTIONS:		US	
all the appropriate co	ntact to arrange the inspection.		ΣΑΟ	
Required Inspection(s	):	ontact: Phone: Scheduling:	SITE	
			DRAWINGS ILDING SITE FOR CODE	
MPACT FEES:		PLAN REVIEW APPROVALS:		
applicable.		Not all review disciplines may be required to review the documents.	APPROVED ON THE BU	
Impact fees ap	ply and are due <i>prior</i> to Final Inspection or on		ıĕ⊢I	
	, and an end process of a market map and a		NO NE	

REVISED: JULY 2019

Mercer Island, WA

PROPERTY ADDRESS:

SAME AS ABOVE

PROPERTY TAX ACCOUNT NO.: 666680-0290

LEGAL DESCRIPTION

PARKRIDGE ADD AND UND INT IN TR C
PLAT BLOCK
PLAT LOT 29

PROJECT TEAM:

ARCHITECT:
JESSYCA POOLE
POOLE ARCHITECTURE
7718 FREMONT AVE N
SEATTLE, WA 98103
CELL: 206-484-3802

STRUCTURAL ENGINEER:
BRETT MOZDEN
SWENSON SAY FAGET
2124 THIRD AVE. SUITE 100
SEATTLE, WA 98121
PHONE: 206-443-6212

GENERAL CONTRACTOR:

GSF: ALLOWABLE 40% OF LOT AREA =.4(11814) = 4726

BASEMENT: 503 (SEE BASEMENT FLOOR AREA CALCS)

1ST FLOOR (ALL CEILINGS <12'): 1257

GARAGE >250SQFT: 372 SQFT

2ND FLOOR: 710 < 12'

PORTION OF 2ND FLR >12 BUT <16':50X1.5= 75 SQFT TOTAL PROPOSED: 2917 OK

HEATED FLOOR AREA
BASEMENT EXIST: 1185
BASEMENT PROPOSED: 1046
1ST EXIST: 1437
1ST PROPOSED: 1195
2ND PROPOSED: 688
TOTAL EXIST: 2622
TOTAL PROPOSED: 2925

ENERGY CODE COMPLIANCE - 2021 WESC RESIDENTIAL

PERSCRIPTIVE PATH

NEED 5.0 CREDITS FOR ADDITION TO EXIST BUILDING GREATER THAN 500 SQFT BUT LESS THAN 1500 SQFT

ENERGY EQUALIZATION CREDITS:

SYSTEM TYPE 3 (1.5 CREDITS)— INITIAL HEATING SYSTEM

USING A HEAT PUMP AND SUPPLEMENTAL HEATING PROVIDED

BY COMBUSTION FURNACE EMETING MINIMUM STANDARDS

LISTED IN TABLE C403.3.2(5)b FOUND IN 2021 WSEC

COMMERCIAL ENERGY CODE

OPTION 3.2 (.5 CREDITS) AIR SOURCE CENTRALLY DUCTED
HEAT PUMP WITH MINIMUM (HSPF 9.5) HSPF2 8.5
OPTION 6.1 (3.0 CREDITS) SOLAR ELECTRIC SYSTEM
GENERATING MINIMUM OF 3600kW ANNUALLY (SEE UPLOADED
SOLAR REPORT FOR DOCUMENTATION AND SITE PLAN SHEET A1
FOR PROPOSED SOLAR ARRAY LOCATION)

5.0 CREDITS TOTAL PROPOSED OK

2. NOTE ALL NEW EXTERIOR WINDOWS, GLAZED EXTERIOR DOORS AND SKYLIGHTS TO BE NFRC CERTIFIED.

3. A MINIMUM OF 90 PERCENT OF PERMANENTLY INSTALLED LAMPS SHALL BE HIGH EFFICACY LUMINAIRS

4. PROVIDE A PROGRAMMABLE THERMOSTAT FOR THE PRIMARY SPACE CONDITIONING SYSTEM WITHIN EACH DWELLING UNIT PER SEC R403.1.1.

ROOF VENTING

VENTING REQ'S BASED ON  $\frac{1}{300}$  OF ROOF AREA PROVIDED THAT: 1. CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM—IN WINTER SIDE OF THE CEILING. 2. AT LEAST 40% BUT NOT MORE THAN 50% OF THE VENTING IS PROVIDED BY VENTS LOCATED IN THE UPPER PORTION OF THE RAFTER SPACE.

ROOF 1 @ 2ND FLOOR ADDITION: 760 SQ.FT. VENTED AREA/300 = 2.5  $\frac{1}{2}$  SQ.FT. = 360 SQ.IN. REQ'D UPPER AND LOWER EAVE VENTS - 24' L W/ 12 SQ.IN./FT NFA 24'X2(12SQ.IN.) = 576 SQ.IN. NFA - OK (UPPER EAVE VENTING = 50% TOTAL VENTING - OK)

751 SQ.FT. VENTED AREA/300 = 2.5 SQ.FT. = <u>360 SQ.IN. REQ'D</u>

LOWER EAVE VENT=18'-8" WITH 12SQ.IN./FT NFA 18.66'X12SQ.IN. = 233SQ.IN. NFA

UPPER EAVE VENT = PROVIDE 18'

18'X12SQ.IN. = 216 SQ.IN. NFA

TOTAL VENTING AREA = 233 + 216 = 449SQ.IN. NFA - OK

(UPPER EAVE VENTING = 216SQ.IN.=48% TOTAL NFA - OK)

ROOF 3 @ FIRST FLOOR: 371 SQ.FT. VENTED AREA/300 = 1.2 SQ.FT. =  $\underline{173}$  SQ.IN. REQ'D

UPPER EAVE-USE COR-A-VENT ROOF-2-WALL WITH 6.75 SQ.IN. NFA PER 12"

19'X6.75SQ.IN. = 128 SQ.IN. NFA (MUST BE 40-50% TOTAL NFA)

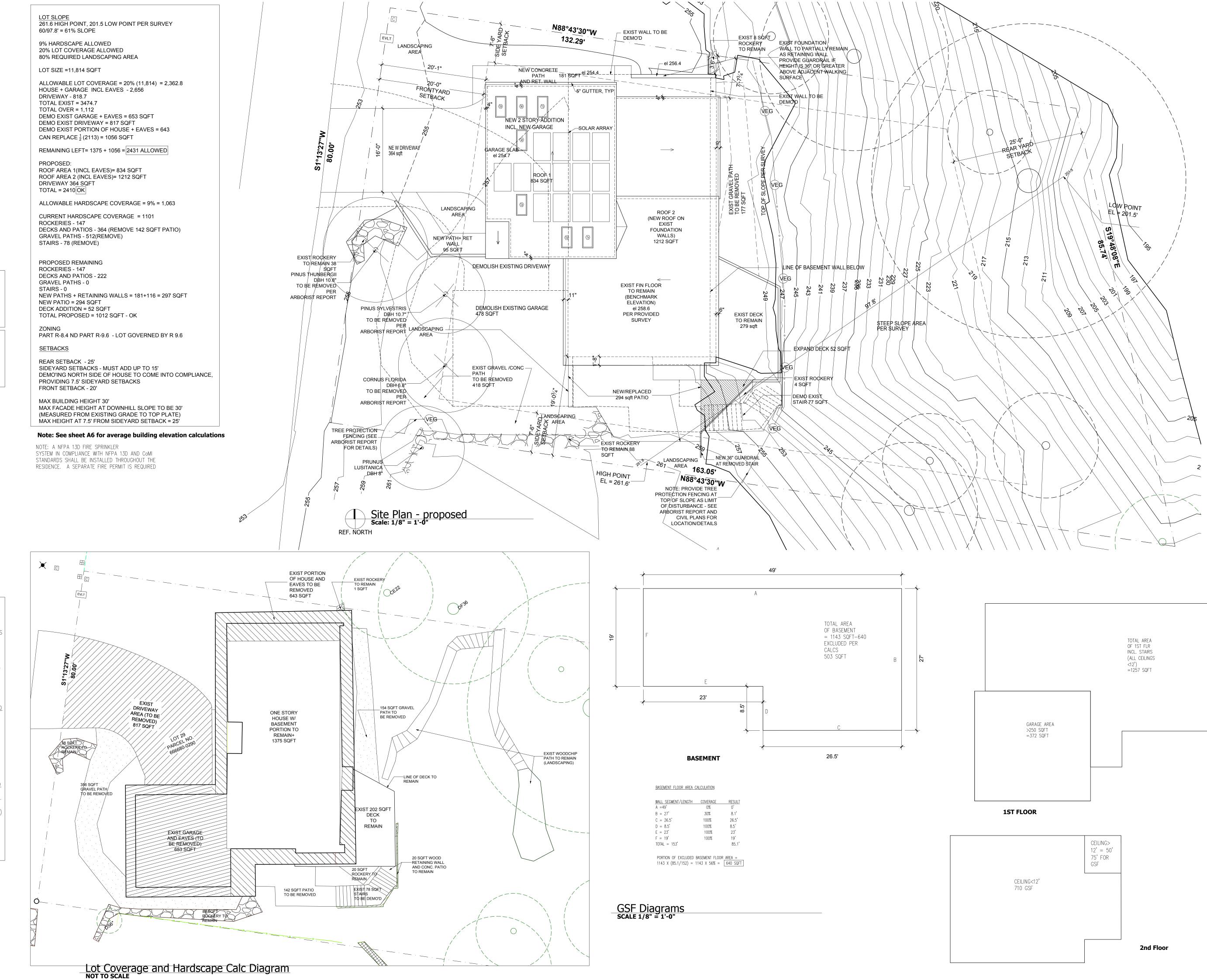
LOWER EAVE VENT = PROVIDE 12' VENTING AT EAVE 12'X12SQ.IN. = 144 SQ.IN.NFA

TOTAL VENTING AREA = 128+144= 272 SQ.IN. NFA - OK (UPPER EAVE VENTING = 128SQ.IN.= 47% TOTAL NFA - OK)

ARCHITECTURAL DRAWING INDEX

A1 PROJECT INFORMATION, SITE PLAN, SITE DIAGRAMS
A1.5 DEMOLITION PLANS
A2 AS BUILT FLOOR PLANS AND ELEVATIONS
A3 PROPOSED BASEMENT FLOOR PLAN
A4 PROPOSED FIRST FLOOR PLAN
A5 PROPOSED SECOND FLOOR PLAN
A6 ELEVATIONS
A7 ELEVATIONS AND WINDOW+DOOR SCHEDULE

A8 BUILDING SECTIONS, DETAILS



Korpela + Wiens Residen Site Plan Existing and Proposed

8441 SE 33rd Place Mercer Island, WA 6.26.24 PERMIT

Jessyca Poole, architect 7718 Fremont Ave N Seattle, WA 98103 206.484.3802

A1

Jessyca Poole, architect 206.484.3802

7718 Fremont Ave N Seattle, WA 98103

8441 SE 33rd Place Mercer Island, WA 6.26.24 PERMIT

Korpela + Wiens Residence Demo Plans and Elevations

THIS EXISTING WALL CAN REMAIN IF NEEDED (IN AREA

EXISTING GRADE

— EXISTING FOUNDATION TO REMAIN

SHOWN ON PLANS)

— EXISTING FLOOR FRAMING TO REMAIN

EXISTING SLAB TO REMAIN

NEW ROOF NEW ROOF NEW WALL EXIST FLOOR FRAMING
TO REMAIN ----EXIST GRADE NEW FOUNDATION WALL EXIST GRADE-——EXIST WALL TO REMAIN

ASKING FOR THIS
PORTION TO COUNT AS EXISTING
HARDSCAPE/NOT TORN DOWN
TO FOUNDATION

──NEW ROOF

REPLACED WALL

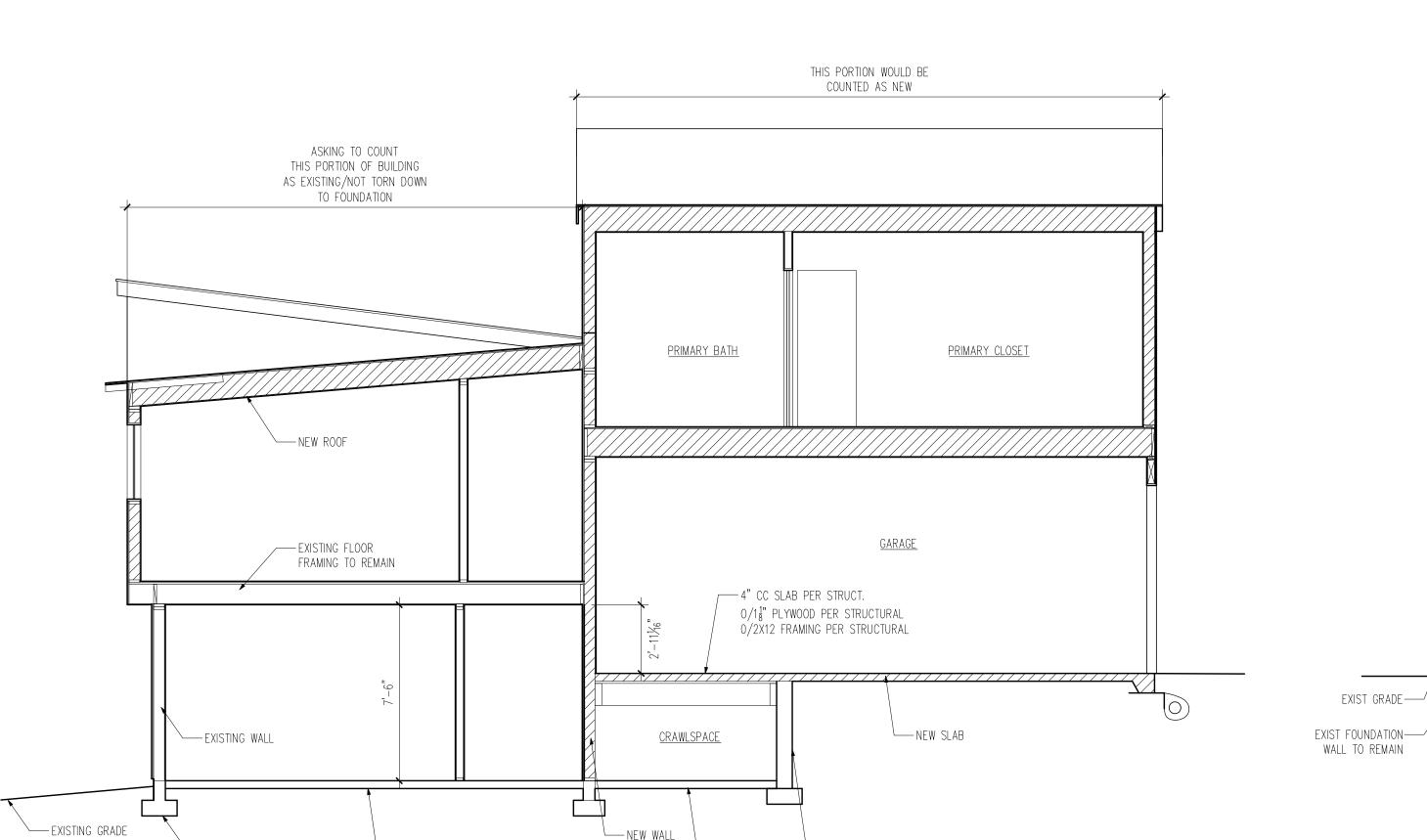
EXISTING FRAMED WALL TO REMAIN

EXISTING FOUNDATION TO REMAIN

Demolition Section A
Scale: 1/4" = 1'-0"

EXIST SLAB TO REMAIN

EXISTING GRADE



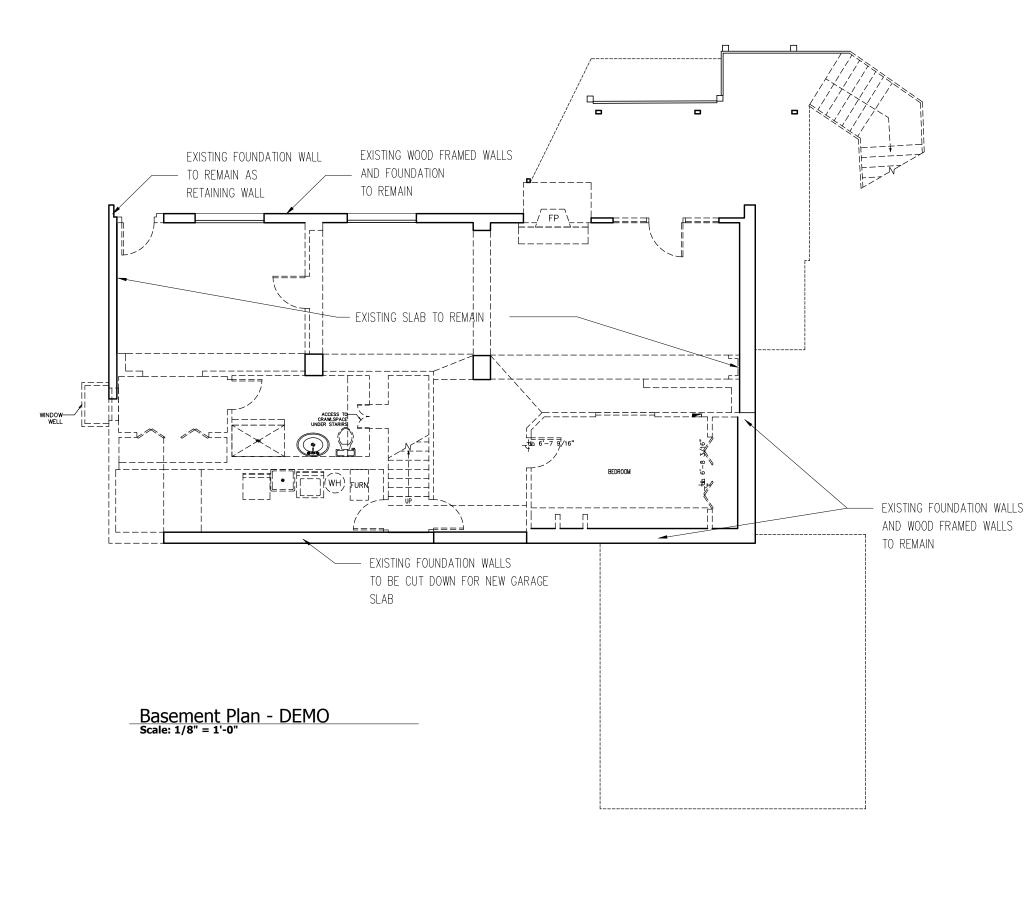
NEW WALL

EXISTING SLAB

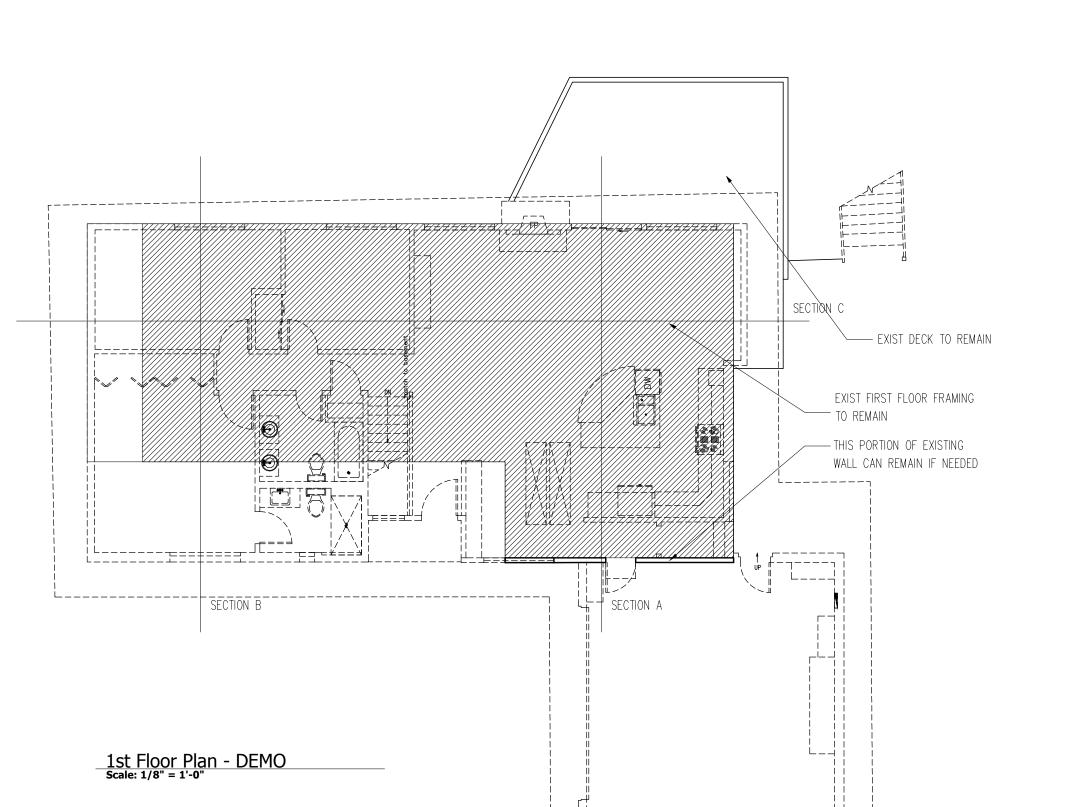
EXISTING FOUNDATION WALL
TO BE CUT DOWN

L------

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Demolition Section C
Scale: 1/4" = 1'-0"

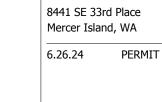


EXISTING FOUNDATION

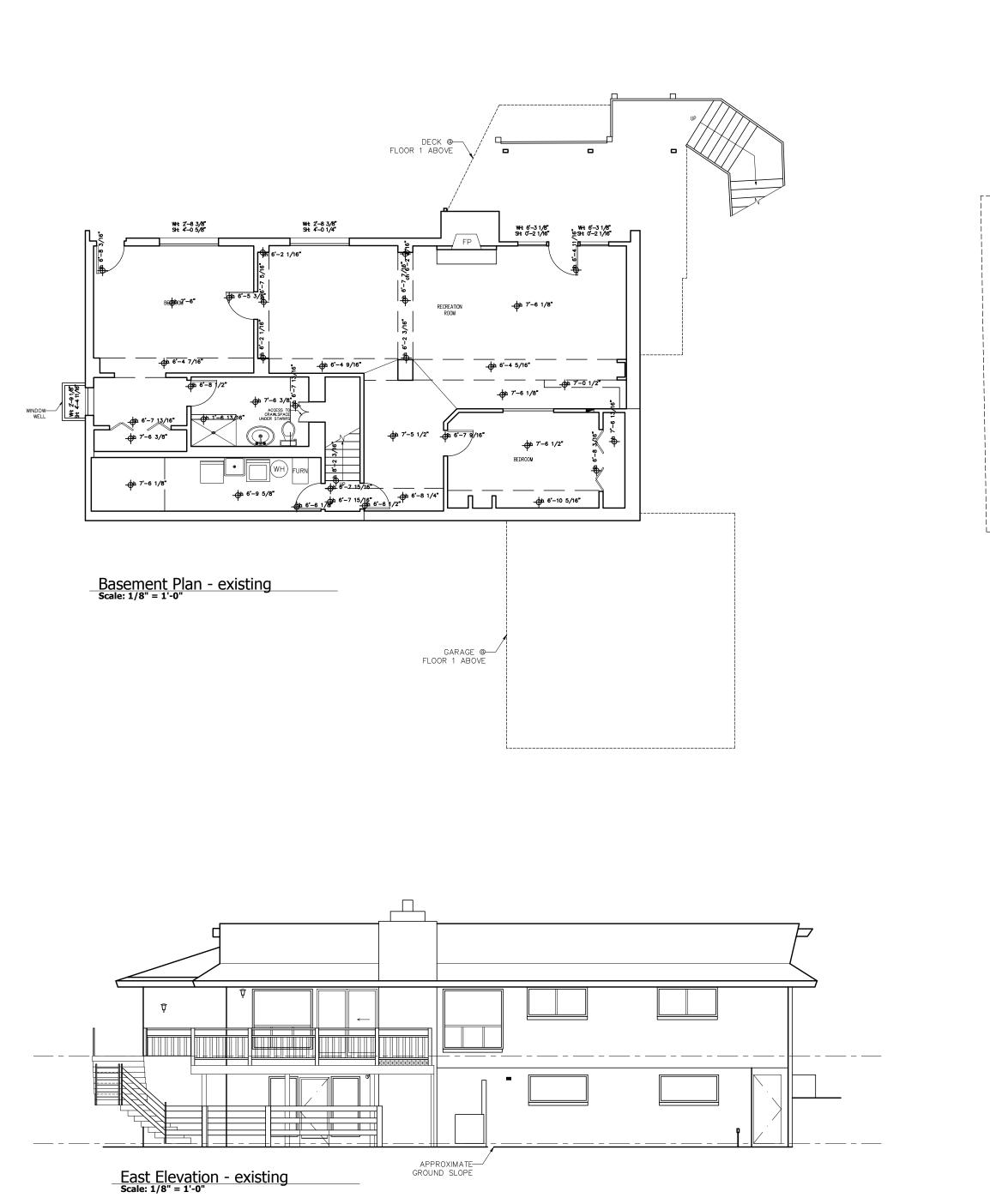
Demolition Section B
Scale: 1/4" = 1'-0"

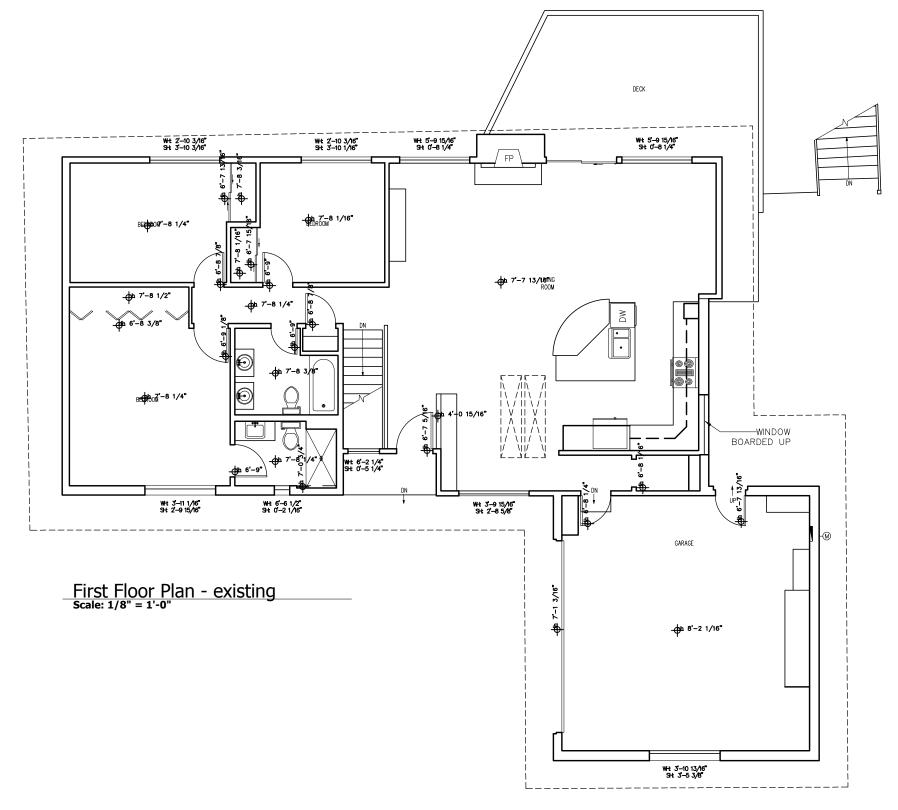
EXISTING SLAB

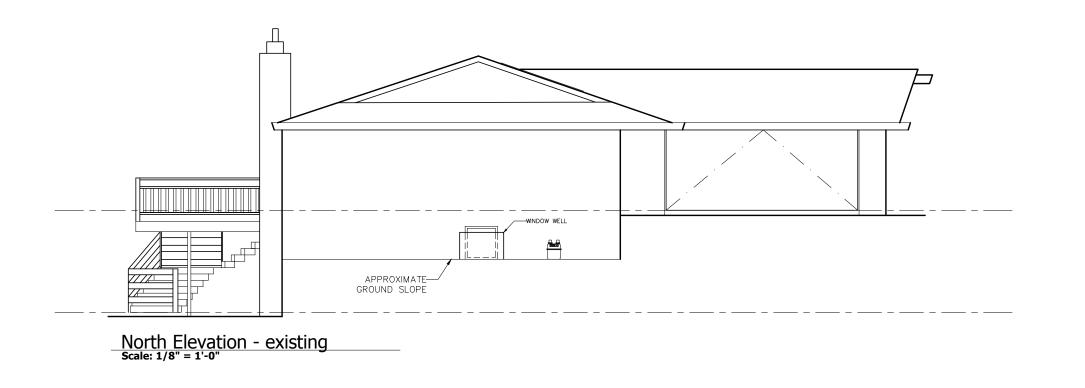


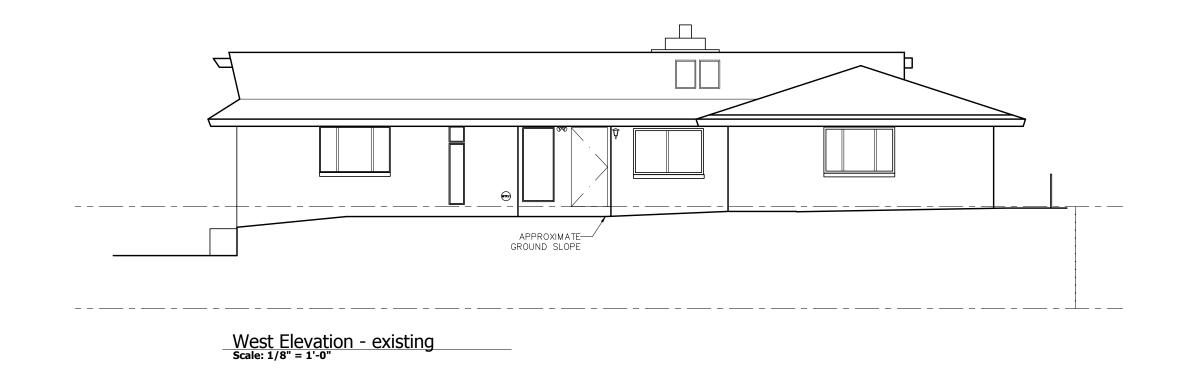


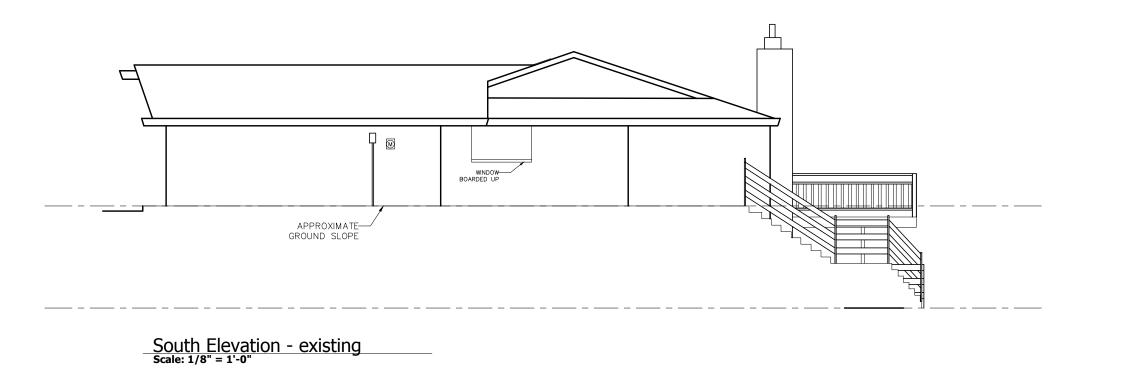
**Jessyca Poole,** architect 7718 Fremont Ave N Seattle, WA 98103 206.484.3802











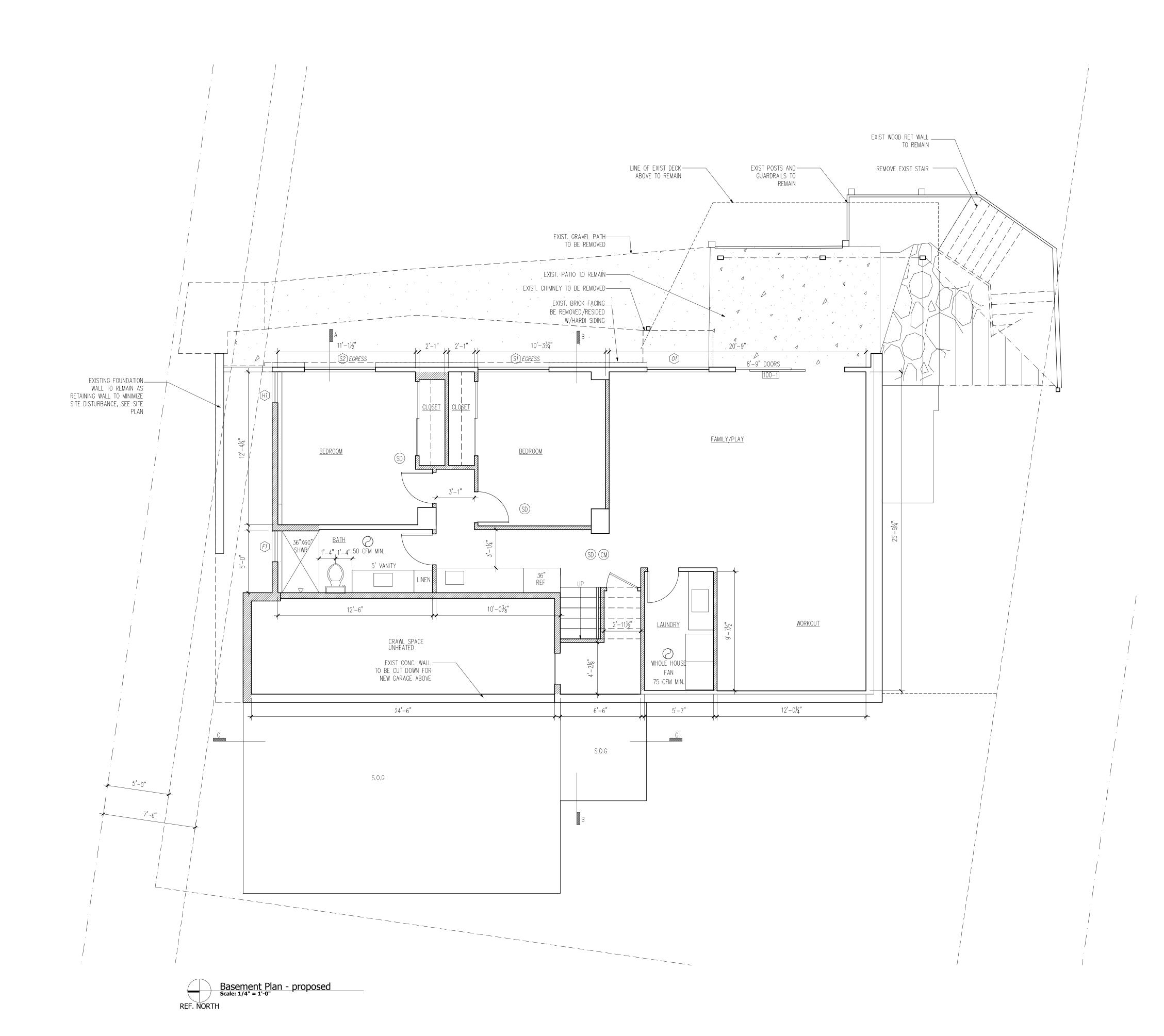


8441 SE 33rd Place Mercer Island, WA

6.26.24 PERMIT

**Jessyca Poole,** architect

7718 Fremont Ave N Seattle, WA 98103 206.484.3802



PLAN KEY:

NEW WALL

EXISTING WALL TO BE DEMOLISHED

——— OVERHEAD

SMOKE DETECTOR

CARBON MONOXIDE DETECTOR

EXHAUST FAN

PLAN NOTES:

1. INSULATE ALL EXISTING 2X4 EXTERIOR WALLS OPENED DURING CONSTRUCTION TO BE INSULATED TO A MINIMUM OF R-15. NEW WALLS TO BE INSULATED TO A MINIMUM OF R-21.

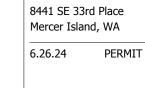
2. CONTRACTOR TO VERIFY THAT THERE IS A SMOKE DETECTOR INSIDE AND OUTSIDE EACH SLEEPING AREA AND ON ALL FLOORS, AND A CARBON MONOXIDE DETECTOR OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM AND ON EACH LEVEL OF THE DWELLING.

3. DIMENSIONS ARE TO ROUGH FRAMING, U.N.O.

4. ALL EXISTING WIINDOWS AND DOORS TO REMAIN

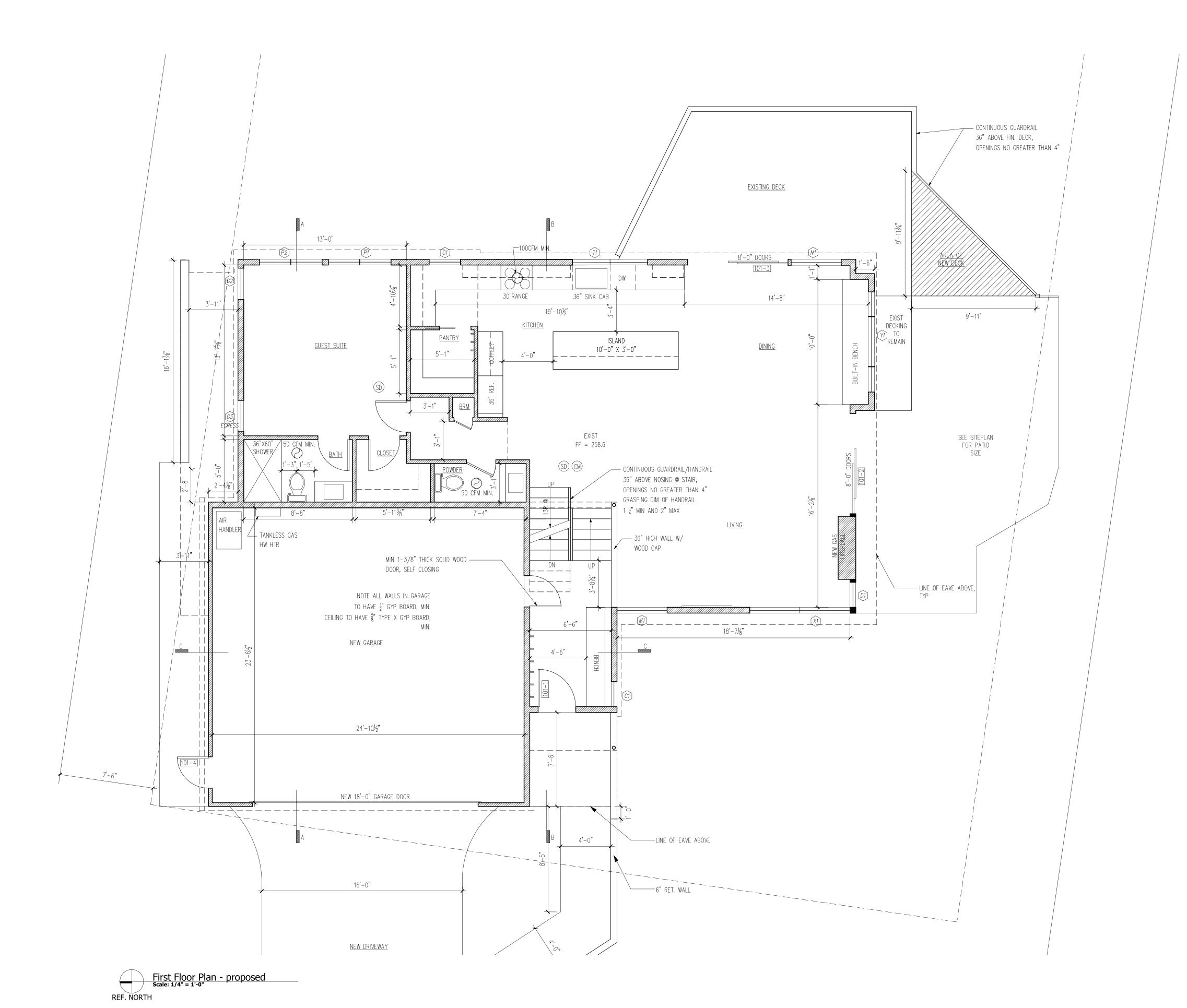
5. NEW WINDOWS AND WINDOWS TO BE REPLACED TO HAVE MIN. U-VALUE OF .30

6. ALL SMOKE ALARMS IN THE PRIMARY DWELLING UNIT MUST BE INTERCONNECTED



**Jessyca Poole,** architect 7718 Fremont Ave N Seattle, WA 98103 206.484.3802





PLAN KEY:

NEW WALL EXISTING WALL

TO BE DEMOLISHED — — OVERHEAD

SD SMOKE DETECTOR

CM CARBON MONOXIDE DETECTOR

EXHAUST FAN

PLAN NOTES:

1. INSULATE ALL EXISTING 2X4 EXTERIOR WALLS OPENED DURING CONSTRUCTION TO BE INSULATED TO A MINIMUM OF R-15. NEW WALLS TO BE INSULATED TO A MINIMUM OF R-21.

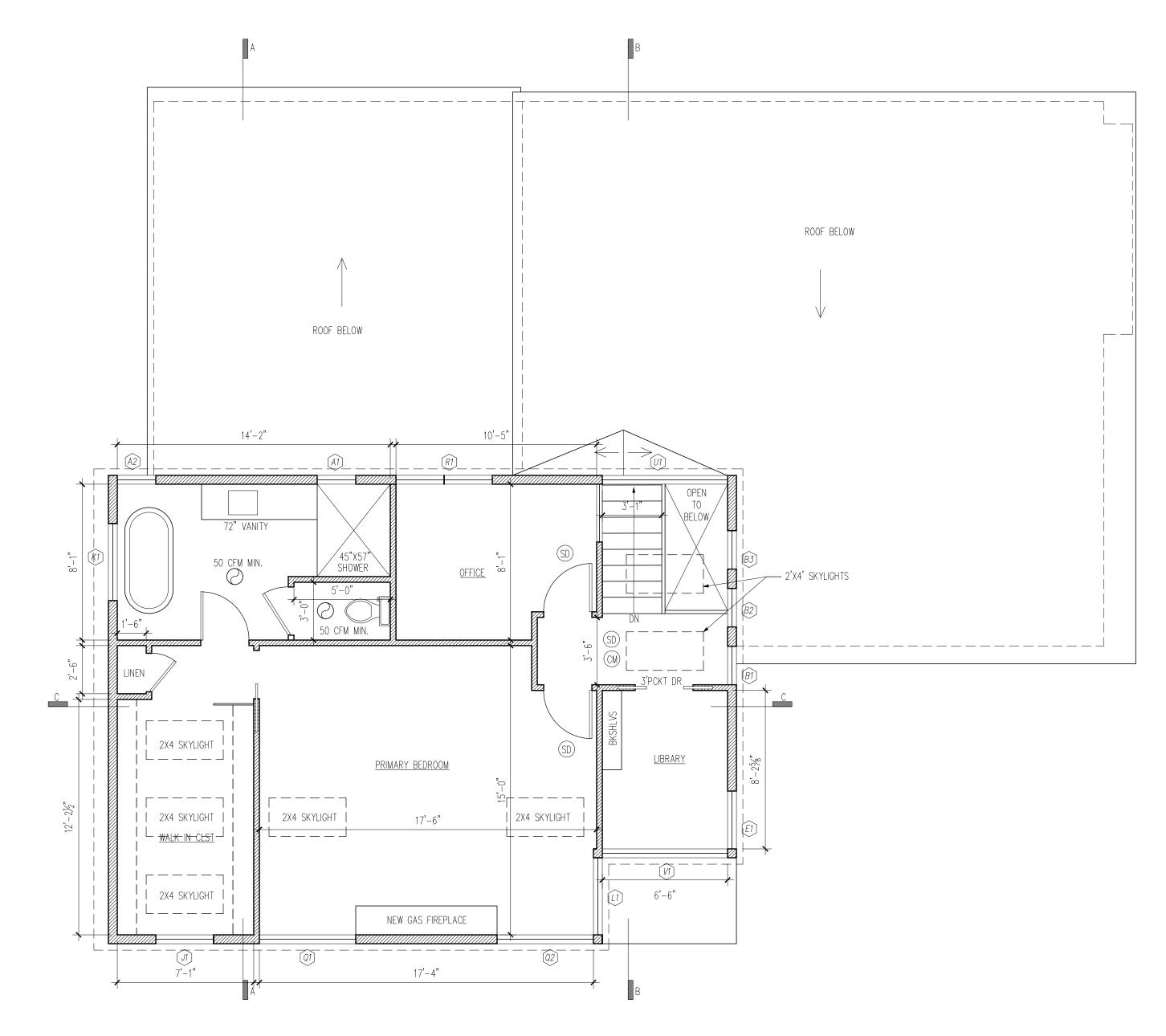
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3. DIMENSIONS ARE TO ROUGH FRAMING, U.N.O.

4. ALL EXISTING WIINDOWS AND DOORS TO REMAIN U.N.O.

5. NEW WINDOWS AND WINDOWS TO BE REPLACED TO HAVE MIN. U-VALUE OF .30

6. ALL SMOKE ALARMS IN THE PRIMARY DWELLING UNIT MUST BE INTERCONNECTED



Second Floor Plan - proposed

Scale: 1/4" = 1'-0"

REF. NORTH

PLAN KEY:

NEW WALL

EXISTING WALL

TO BE DEMOLISHED -----OVERHEAD

SD SMOKE DETECTOR

CARBON MONOXIDE DETECTOR

EXHAUST FAN

PLAN NOTES:

1. INSULATE ALL EXISTING 2X4 EXTERIOR WALLS OPENED DURING CONSTRUCTION TO BE INSULATED TO A MINIMUM OF R-15. NEW WALLS TO BE INSULATED TO A MINIMUM OF R-21.

2. CONTRACTOR TO VERIFY THAT THERE IS A SMOKE DETECTOR INSIDE AND OUTSIDE EACH SLEEPING AREA AND ON ALL FLOORS, AND A CARBON MONOXIDE DETECTOR OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM AND ON EACH LEVEL OF THE DWELLING.

3. DIMENSIONS ARE TO ROUGH FRAMING, U.N.O.

4. ALL EXISTING WIINDOWS AND DOORS TO REMAIN

5. NEW WINDOWS AND WINDOWS TO BE REPLACED TO HAVE MIN. U-VALUE OF .30

6. ALL SMOKE ALARMS IN THE PRIMARY DWELLING UNIT MUST BE INTERCONNECTED

8441 SE 33rd Place Mercer Island, WA 6.26.24 PERMIT

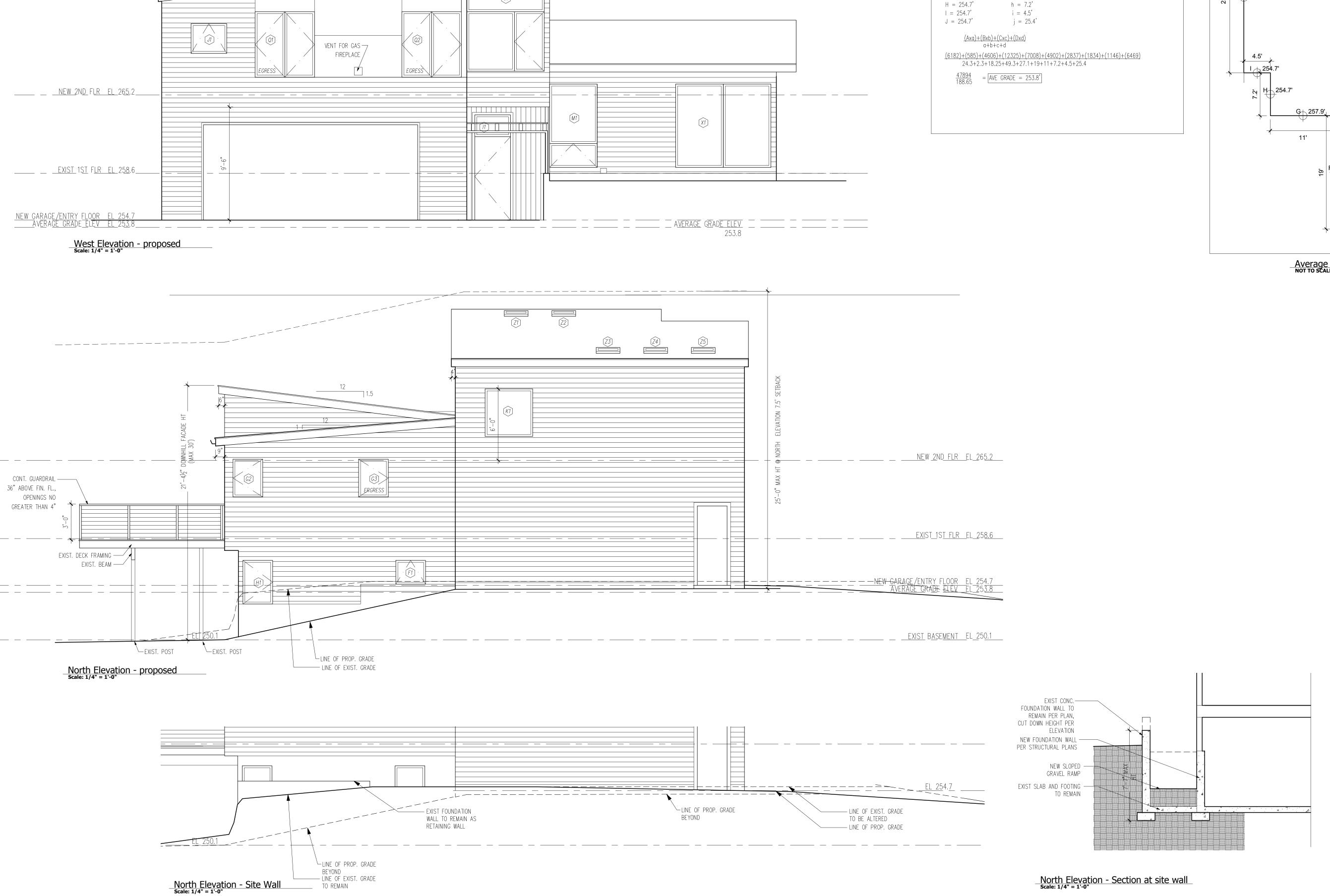
**Jessyca Poole,** architect 7718 Fremont Ave N Seattle, WA 98103 206.484.3802

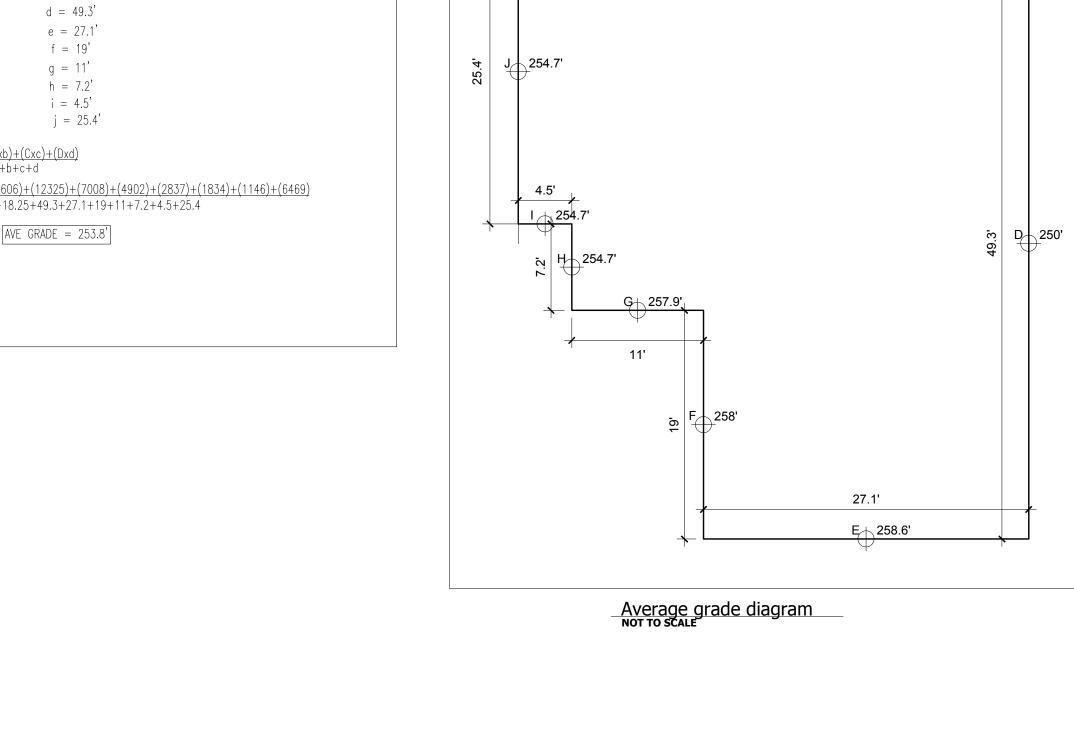
**A5** 



**Jessyca Poole,** architect 7718 Fremont Ave N Seattle, WA 98103

206.484.3802 **A6** 





A+ 254.4'

C 252.4'

AVERAGE GRADE CALCULATION - PER DIRECTORS RULE 4-2012

A = 254.4

B = 254.4'

C = 252.4'

D = 250'E = 258.6

F = 258'

G = 257.9'

MIDPOINT ELEVATIONS SECTION LENGTH

a = 24.3'

b = 2.3'

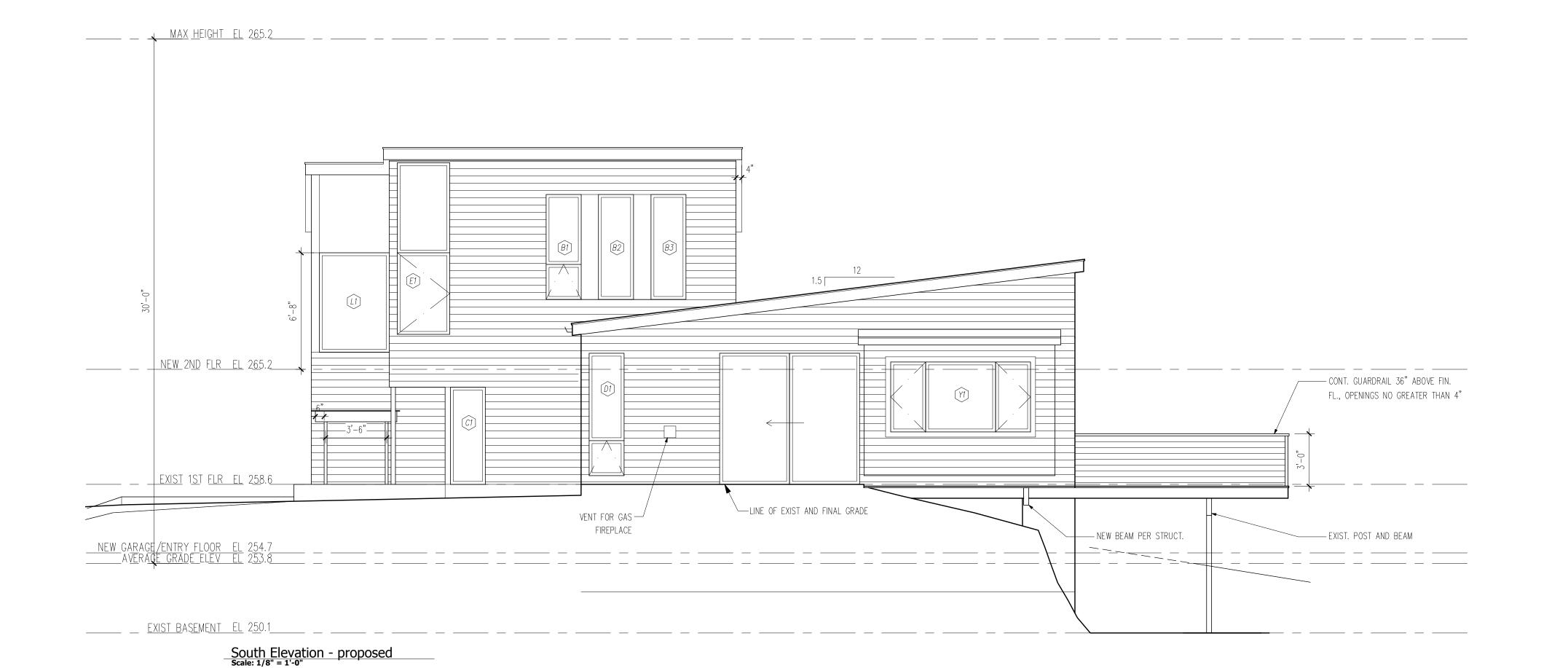
c = 18.25

\_\_\_\_\_ <u>MAX HEIGHT EL 265</u>.2\_\_\_





## East Elevation - proposed Scale: 1/4" = 1'-0"



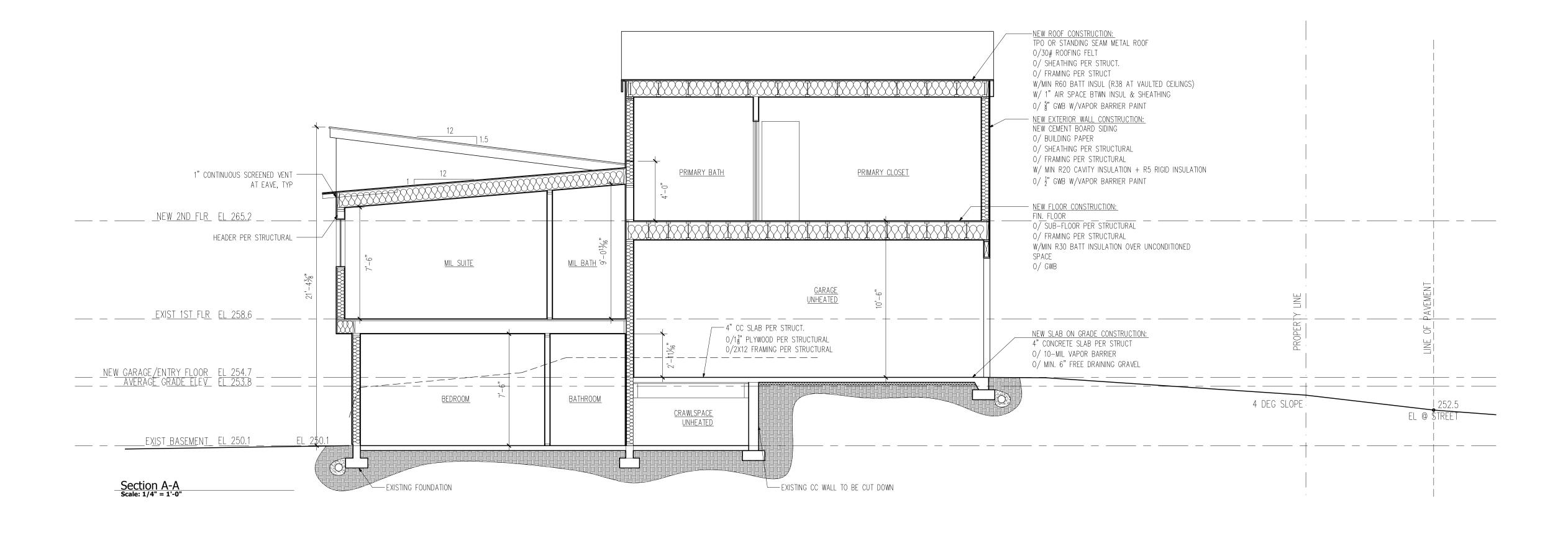
	ERSIZE 2'-0" X 3'-0"	TYPE CASEMENT	7"	U-VALUE	NUIES
A1	2'-0" X 3'-0"		7"	.30	
A2	2'-0" X 5'-0"	CASEMENT	7"	.30	
B1	2'-0" X 5'-0"	FIXED	7"	.30	
B2	2'-0" X 5'-0"	FIXED	7"	.30	
B3	2'-0" X 5'-6"	FIXED	7"	.30	TEMPEDED
<u>C1</u>		FIXED	7 <b>"</b>	.30	TEMPERED
D1	2'-0" X 7'-0" 3'-0" X 9'-10"	5' FIXED OVER 2' AWNING	7"	.30	TEMPERED
E1		5'-2" FIXED OVER 4'-8" CSMNT	7"	.30	
F1	2'-6" X 2'-0"	AWNING	7"	.30	
G1	2'-6" X 3'-2"	CASEMENT		.30	
G2	2'-6" X 3'-2"	CASEMENT	7"	.30	E00500
G3	2'-6" X 3'-2"	CASEMENT	7"	.30	EGRESS
H1	2'-6" X 3'-8"	CASEMENT	7"	.30	
11	3'-0" X 1'-10"	FIXED	7"	.30	
J1	3'-0" X 2'-6"	AWNING	7"	.30	
K1	4'-0" X 4'-0"	FIXED	7"	.30	TEMPERED
L1	4'-0" X 5'-8"	FIXED	7"	.30	TEMPERED
M1	4'-0" X 7'-0"	5' FIXED OVER 2' AWNING	7"	.30	TEMPERED
N1	4'-0" X 9'-6"	3' FIXED OVER 6'-6" FIXED	7"	.30	
01	5'-0" X 5'-0"	SLIDER	7"	.30	
P1	5'-0" X 4'-2"	SLIDER	7"	.30	
P2	5'-0" X 4'-2"	SLIDER	7"	.30	
Q1	5'-0" X 5'-6"	SLIDER	7"	.30	EGRESS
Q2	5'-0" X 5'-6"	SLIDER	7"	.30	EGRESS
R1	5'-0" X 5'-0"	2' FIXED OVER 3' SLIDER	7"	.30	
S1	5'-9" X 4'-2"	SLIDER	7"	.30	EGRESS
S2_	5'-9" X 4'-2"	SLIDER	7"	.30	EGRESS
T1	6'-0" X 7'-6"	3' FIXED OVER 4'-6" SLIDER	7"	.30	
U1	6'-6" X 3'-0"	FIXED	7"	.30	
V1	6'-6" X VARIES	FIXED OVER 3'-2" AWNING	7"	.30	
W1	8'-0" X 3'-0"	FIXED	7"	.30	
Х1	8'-0" X 7'-0"	PAIR OF 3'-6" FIXED	7"	.30	TEMPERED
Y1	8'-0" X 4'-0"	TWO 2' CSMTS W/FIXED BTWN	7"	.30	
Z1	2'-0" X 4'-0"	SKYLIGHT			
Z2	2'-0" X 4'-0"	SKYLIGHT			
Z3	2'-0" X 4'-0"	SKYLIGHT			
Z4	2'-0" X 4'-0"	SKYLIGHT			
Z5	2'-0" X 4'-0"	SKYLIGHT			

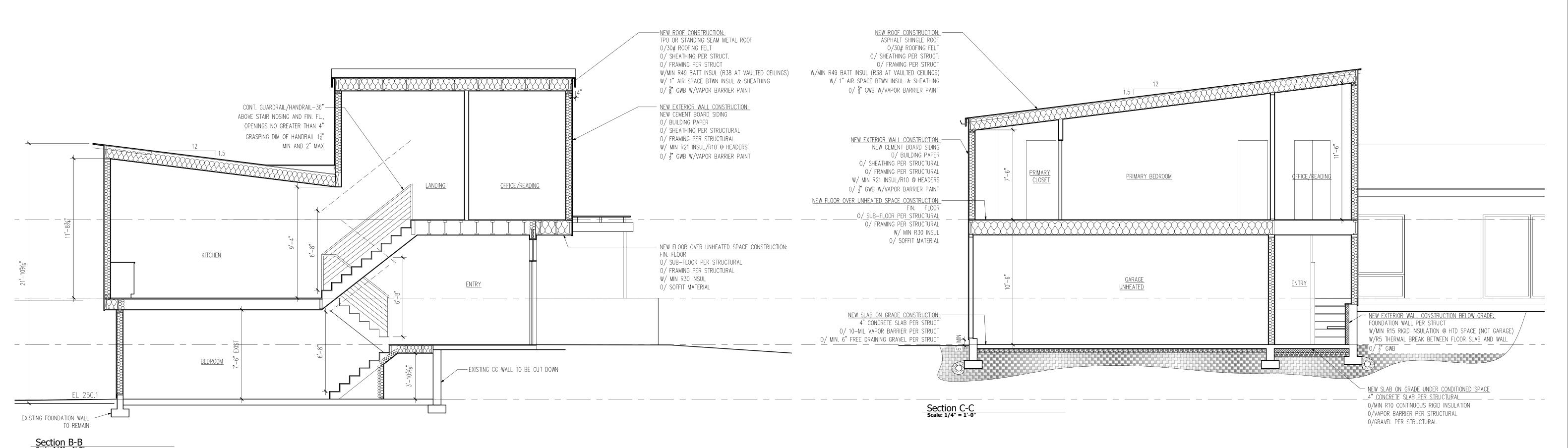
NOTE: VERIFY ALL SIZES IN FIELD MANUFACTURER TO BE DETERMINED WOOD CLAD OR FIBERGLASS UNITS

W/ARGON FILLED LOW E DOUBLE GLAZING TO BE U VALUE .30 OR BETTER

EXTERIOR DOOR SCHEDULE NUMBER LEAF SIZE TYPE THICKNESS U-VALUE NOTES

100-1 4'-6" X 6'-8" SLIDER 1-3/4" .30 REPLACE EXISTING DOORS-PAIR OF SLIDING DOORS, GLASS LITES PER ELEVATIONS, CLAD, HARDWARE AND MANUFACTURER TBD 101-1 3'-0" X 7'-0" SWING 1-3/4" .30 STYLE TBD (ASSUME WOOD, SINGLE PANEL W/1 LITE)
101-2 4'-0" X 7'-6" SLIDER 1-3/4" .30 PAIR OF SLIDING DOORS, GLASS LITES PER ELEVATIONS, CLAD, HARDWARE AND MANUFACTURER TBD 101-3 4'-0" X 7'-6" SLIDER 1-3/4" .30 PAIR OF SLIDING DOORS, GLASS LITES PER ELEVATIONS, CLAD, HARDWARE AND MANUFACTURER TBD 101-4 2'-6" X 6'-8" SWING 1-3/4" .30 STYLE TBD (ASSUME SOLID WOOD, SINGLE PANEL)





8441 SE 33rd Place
Mercer Island, WA

6.26.24 PERMIT

Jessyca Poole, architect 7718 Fremont Ave N Seattle, WA 98103 206.484.3802

#### General Structural Notes

#### THE FOLLOWING APPLY UNLESS SHOWN OTHERWISE ON THE DRAWINGS

#### CRITERIA

- 1. ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE INTERNATIONAL BUILDING CODE (2018 EDITION).
- 2. DESIGN LOADING CRITERIA:

ENVIRONMENTAL LOADS

GARAGES		
FLOOR LIVE LOAD (PASSENGER VEHICLES)	40	PSF
FLOOR CONCENTRATED LOAD (PASSENGER VEHICLES)	000	LBS
HANDRAILS AND GUARDS		
GUARDRAILS/BALCONY RAILS		
GUARDRAILS/BALCONY RAILS CONCENTRATED LOAD	.00	LBS
	۸0	DCE
FLOOR LIVE LOAD	40	r Sr
ROOF	٥E	חכר
ROOF LIVE LOAD	25	P2F
MISCELLANEOUS LOADS	0	
DECKS		
PHOTOVOLTAIC PANEL SYSTEMS	5	PSF
DEFLECTION CRITERIA		
LIVE LOAD DEFLECTION	L/	/360
TOTAL LOAD DEFLECTION	Ĺ	/240

SITE CLASS=D (DEFAULT), Ss=1.399, Sds=1.119, S1=0.487, Sd1=0.883, Cs=0.172, SDC D, Ie=1.0, R=6.5

- SEE PLANS FOR ADDITIONAL LOADING CRITERIA
- 3. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. ARCHITECTURAL DRAWINGS ARE THE PRIME CONTRACT DRAWINGS. ANY DISCREPANCIES FOUND AMONG THE DRAWINGS, THE SPECIFICATION, THESE GENERAL NOTES AND THE SITE CONDITIONS SHALL BE REPORTED TO THE ARCHITECT, WHO SHALL CORRECT SUCH DISCREPANCY IN WRITING. ANY WORK DONE BY THE GENERAL CONTRACTOR AFTER DISCOVERY OF SUCH DISCREPANCY SHALL BE DONE AT THE GENERAL CONTRACTOR'S RISK.
- 4. PRIMARY STRUCTURAL ELEMENTS NOT DIMENSIONED ON THE STRUCTURAL PLANS AND DETAILS SHALL BE LOCATED BY THE ARCHITECTURAL PLANS AND DETAILS. VERTICAL DIMENSION CONTROL IS DEFINED BY THE ARCHITECTURAL WALL SECTIONS, BUILDING SECTION, AND PLANS. DETAILING AND SHOP DRAWING PRODUCTION FOR STRUCTURAL ELEMENTS WILL REQUIRE DIMENSIONAL INFORMATION CONTAINED IN BOTH ARCHITECTURAL AND STRUCTURAL DRAWINGS.
- 5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE CONTRACTORS WORK. THE STRUCTURAL ENGINEER HAS NO OVERALL SUPERVISORY AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS AT THE SITE AND/OR FOR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CONTRACTOR. THE STRUCTURAL ENGINEER HAS NO DUTY TO INSPECT, SUPERVISE, NOTE, CORRECT, OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES TO THE OWNER, CONTRACTORS, OR OTHER ENTITIES OR PERSONS AT THE PROJECT SITE.
- 6. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS. CONFORM TO ASCE 37-14 "DESIGN LOADS ON STRUCTURES DURING CONSTRUCTION".
- 7. CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.
- 8. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER. ALL TYPICAL NOTES AND DETAILS SHOWN ON DRAWINGS SHALL APPLY, UNLESS NOTED OTHERWISE. TYPICAL DETAILS MAY NOT NECESSARILY BE INDICATED ON THE PLANS BUT SHALL STILL APPLY AS SHOWN OR DESCRIBED IN THE DETAILS. WHERE TYPICAL DETAILS ARE NOTED ON THE PLANS, THE SPECIFIED TYPICAL DETAIL SHALL BE USED. WHERE NO TYPICAL DETAIL IS NOTED, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CHOOSE THE APPROPRIATE TYPICAL DETAIL FROM THOSE PROVIDED OR REQUEST ADDITIONAL INFORMATION. THE CONTRACTOR SHALL SUBMIT ALL PROPOSED ALTERNATE TYPICAL DETAILS TO THOSE PROVIDED WITH RELATED CALCULATIONS TO THE ENGINEER FOR APPROVAL PRIOR TO SHOP DRAWING PRODUCTION AND FIELD USE.
- 9. ALL STRUCTURAL SYSTEMS, WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FIELD ERECTED, SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.
- 10. SHOP DRAWINGS FOR THE FOLLOWING ITEMS SHALL BE SUBMITTED TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION OF THESE ITEMS.

GLUED LAMINATED MEMBERS

MANUFACTURED LUMBER (PSL'S, LSL'S, LVL'S)

PLYWOOD WEB JOISTS

STRUCTURAL STEEL

- 11. SHOP DRAWING REVIEW: DIMENSIONS AND QUANTITIES ARE NOT REVIEWED BY THE ENGINEER OF RECORD, THEREFORE MUST BE VERIFIED BY THE CONTRACTOR. CONTRACTOR SHALL REVIEW AND STAMP DRAWINGS PRIOR TO REVIEW BY ENGINEER OF RECORD. CONTRACTOR SHALL REVIEW DRAWINGS FOR CONFORMANCE WITH THE MEANS, METHODS, TECHNIQUES, SEQUENCES AND OPERATIONS OF CONSTRUCTION, AND ALL SAFETY PRECAUTIONS AND PROGRAMS INCIDENTAL THERETO. SUBMITTALS SHALL INCLUDE A REPRODUCIBLE AND ONE COPY; REPRODUCIBLE WILL BE MARKED AND RETURNED WITHIN TWO WEEKS OF RECEIPT WITH A NOTATION INDICATING THAT THE SUBMITTAL HAS BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE SUBMITTED ITEMS SHALL NOT BE INSTALLED UNTIL THEY HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.
- SHOP DRAWING SUBMITTALS PROCESSED BY THE ENGINEER ARE NOT CHANGE ORDERS. THE PURPOSE OF SHOP DRAWING SUBMITTALS BY THE CONTRACTOR IS TO DEMONSTRATE TO THE ENGINEER THAT THE CONTRACTOR UNDERSTANDS THE DESIGN CONCEPT, BY INDICATING WHICH MATERIAL IS INTENDED TO BE FURNISHED AND INSTALLED AND BY DETAILING THE INTENDED FABRICATION AND INSTALLATION METHODS. IF DEVIATIONS, DISCREPANCIES, OR CONFLICTS BETWEEN SHOP DRAWING SUBMITTALS AND THE CONTRACT DOCUMENTS ARE DISCOVERED EITHER PRIOR TO OR AFTER SHOP DRAWING SUBMITTALS ARE PROCESSED BY THE ENGINEER, THE DESIGN DRAWINGS AND SPECIFICATIONS SHALL CONTROL AND SHALL BE FOLLOWED.
- 12. SHOP DRAWINGS OF DESIGN BUILD COMPONENTS INCLUDING CANOPIES, BALCONIES, COLD FORM STEEL FRAMING, TEMPORARY SHORING, CURTAIN WALL SYSTEMS, SKYLIGHT FRAMES, PREFABRICATED STAIR SYSTEMS, EXTERIOR CLADDING, AND PRE-ENGINEERED SYSTEMS SHALL BE STAMPED, AND SIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF WASHINGTON. SHOP DRAWINGS SHALL BE APPROVED BY THE COMPONENT DESIGNER PRIOR TO REVIEW OF THE ARCHITECT OR ENGINEER OF RECORD FOR GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE COMPONENT DESIGNER IS RESPONSIBLE FOR CODE CONFORMANCE AND ALL NECESSARY CONNECTIONS NOT SPECIFICALLY CALLED OUT ON ARCHITECTURAL OR STRUCTURAL DRAWINGS. SHOP DRAWINGS SHALL INDICATE MAGNITUDE AND DIRECTION OF ALL LOADS IMPOSED ON BASIC STRUCTURE. DESIGN CALCULATIONS SHALL BE SUBMITTED WITH THE SHOP DRAWINGS.

#### QUALITY ASSURANCE

13. SPECIAL INSPECTION SHALL BE PROVIDED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND SECTIONS 110 AND 1705 OF THE INTERNATIONAL BUILDING CODE BY A QUALIFIED TESTING AGENCY DESIGNATED BY THE ARCHITECT, AND RETAINED BY THE BUILDING OWNER. THE ARCHITECT, STRUCTURAL ENGINEER, AND BUILDING DEPARTMENT SHALL BE FURNISHED WITH COPIES OF ALL INSPECTION AND TEST RESULTS. SPECIAL INSPECTION OF THE FOLLOWING TYPES OF CONSTRUCTION IS REQUIRED UNLESS NOTED OTHERWISE.

STRUCTURAL STEEL FABRICATION AND ERECTION PER AISC 360
SOIL CONDITIONS, FILL PLACEMENT, AND DENSITY PER TABLE 1705.6
EXPANSION BOLTS AND THREADED EXPANSION INSERTS PER MANUFACTURER
EPOXY GROUTED INSTALLATIONS PER MANUFACTURER

- PERIODIC INSPECTION: INSPECTION SHALL BE PERFORMED AT INTERVALS NECESSARY TO CONFIRM THAT WORK REQUIRING SPECIAL INSPECTION IS IN COMPLIANCE WITH REQUIREMENTS.
- CONTINUOUS INSPECTION: INSPECTOR SHALL BE ONSITE AND OBSERVE THE WORK REQUIRING INSPECTION AT ALL TIMES THAT WORK IS PERFORMED.
- 14. UNLESS OTHERWISE NOTED, THE FOLLOWING ELEMENTS COMPRISE THE SEISMIC-FORCE-RESISTING SYSTEM AND ARE SUBJECT TO SPECIAL INSPECTION FOR SEISMIC RESISTANCE IN ACCORDANCE WITH SECTION 1705. 12 OF THE INTERNATIONAL BUILDING CODE.
- A. STRUCTURAL WOOD SHEAR WALL SYSTEMS REQUIRE PERIODIC INSPECTION FOR FIELD GLUING, NAILING, BOLTING, ANCHORING AND OTHER FASTENING OF COMPONENTS WITHIN THE SEISMIC FORCE, RESISTING SYSTEM INCLUDING SHEAR WALLS, DIAPHRAGMS, DRAG STRUTS, BRACES AND HOLDOWNS.

### GEOTECHNICAL

15. FOUNDATION NOTES: SUBGRADE PREPARATION INCLUDING DRAINAGE, EXCAVATION, COMPACTION, AND FILLING REQUIREMENTS, SHALL CONFORM STRICTLY WITH RECOMMENDATIONS GIVEN IN THE SOILS REPORT OR AS DIRECTED BY THE SOILS ENGINEER. FOOTINGS SHALL BEAR ON SOLID UNDISTURBED EARTH OR COMPACTED STRUCTURAL FILL AT LEAST 18" BELOW LOWEST ADJACENT FINISHED GRADE. FOOTING DEPTHS/ELEVATIONS SHOWN ON PLANS (OR IN DETAILS) ARE MINIMUM AND FOR GUIDANCE ONLY; THE ACTUAL ELEVATIONS OF FOOTINGS MUST BE ESTABLISHED BY THE CONTRACTOR IN THE FIELD WORKING WITH THE TESTING LAB AND SOILS ENGINEER. BACKFILL BEHIND ALL RETAINING WALLS WITH FREE DRAINING GRANULAR FILL AND PROVIDE FOR SUBSURFACE DRAINAGE AS NOTED IN THE SOILS REPORT.

ALLOWABLE SOIL PRESSURE (NATIVE SOILS / STRUCTURAL FILL)	2500	)/2000	PSF
LATERAL EARTH PRESSURE (RESTRAINED/UNRESTRAINED)	55 F	CF/35	PCF
ALLOWABLE PASSIVE EARTH PRESSURE (FS OF 1.5 INCLUDED)	•	. 300	PCF
COEFFICIENT OF FRICTION (FS OF 1.5 INCLUDED)			0. 3
SEISMIC SURCHARGE PRESSURE (UNIFORM LOAD)		. 8H	PSF

SOILS REPORT REFERENCE: GEOTECHNICAL ENGINEERING REPORT PREPARED BY ZIPPERGEO DATED NOVEMBER 28 2023 PROJECT NO. 2727.01

#### **RENOVATION**

- 16. DEMOLITION: CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING ANY DEMOLITION. SHORING SHALL BE INSTALLED TO SUPPORT EXISTING CONSTRUCTION AS REQUIRED AND IN A MANNER SUITABLE TO THE WORK SEQUENCES. DEMOLITION DEBRIS SHALL NOT BE ALLOWED TO DAMAGE OR OVERLOAD THE EXISTING STRUCTURE. LIMIT CONSTRUCTION LOADING (INCLUDING DEMOLITION DEBRIS) ON EXISTING FLOOR SYSTEMS TO 40 PSF.
- 17. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND STRUCTURAL ENGINEER IF EXISTING CONDITIONS DETERMINED DURING WORK VARY FROM THE EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS.

- 18. EXISTING REINFORCING SHALL BE SAVED WHERE AND AS NOTED ON THE PLANS. SAW CUTTING, IF AND WHERE USED, SHALL NOT CUT EXISTING REINFORCING THAT IS TO BE SAVED.
- A. ALL NEW OPENINGS THROUGH EXISTING WALLS, SLABS AND BEAMS SHALL BE ACCOMPLISHED BY SAW CUTTING WHEREVER POSSIBLE. CORNERS SHALL NOT BE OVERCUT
- B. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND LOCATION OF MEMBERS PRIOR TO CUTTING ANY OPENINGS.
- C. SMALL ROUND OPENINGS SHALL BE ACCOMPLISHED BY CORE DRILLING.
   D. WHERE NEW REINFORCING TERMINATES AT EXISTING CONCRETE, DRILL AND EPOXY DOWELS MATCHING THE NEW REINFORCING INTO THE EXISTING CONCRETE WITH 6" EMBED, UNLESS OTHERWISE NOTED ON PLANS.
- 19. CONTRACTOR SHALL CHECK FOR DRY ROT AT ALL AREAS OF NEW WORK. ALL ROT SHALL BE REMOVED AND DAMAGED MEMBERS SHALL BE REPLACED OR REPAIRED AS DIRECTED BY THE STRUCTURAL ENGINEER OR ARCHITECT.

#### CONCRETE

- 20. CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH ACI 301, INCLUDING TESTING PROCEDURES. CONCRETE SHALL ATTAIN A 28-DAY STRENGTH OF f'c = 3,000 PSI AND MIX SHALL CONTAIN NOT LESS THAN 5-1/2 SACKS OF CEMENT PER CUBIC YARD AND SHALL BE PROPORTIONED TO PRODUCE A SLUMP OF 5" OR LESS. REQUIRED CONCRETE STRENGTH IS BASED ON THE DURABILITY REQUIREMENTS OF SECTION 1904 OF THE IBC. DESIGN STRENGTH IS f'c = 2,500
- 21. ALL CONCRETE WITH SURFACES EXPOSED TO WEATHER OR STANDING WATER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260, C494, AND C618. TOTAL AIR CONTENT FOR FROST-RESISTANT CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318-14, TABLE 19.3.2.1 MODERATE EXPOSURE, F1.
- 22. REINFORCING STEEL SHALL CONFORM TO ASTM A615 (INCLUDING SUPPLEMENT S1), GRADE 60, FY = 60,000 PSI. EXCEPTIONS: ANY BARS SPECIFICALLY SO NOTED ON THE DRAWINGS SHALL BE GRADE 40, FY = 40,000 PSI. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185. SPIRAL REINFORCEMENT SHALL BE DEFORMED WIRE CONFORMING TO ASTM A615, GRADE 60, FY = 60,000 PSI.
- 23. DETAILING OF REINFORCING STEEL (INCLUDING HOOKS AND BENDS) SHALL BE IN ACCORDANCE WITH ACI 315R-18 AND 318-14. LAP ALL CONTINUOUS REINFORCEMENT #5 AND SMALLER 40 BAR DIAMETERS OR 2'-0" MINIMUM. PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS. LAP CORNER BARS #5 AND SMALLER 40 BAR DIAMETERS OR 2'-0" MINIMUM. LAPS OF LARGER BARS SHALL BE MADE IN ACCORDANCE WITH ACI 318-14, CLASS B. LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8" AT SIDES AND ENDS.
- NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER.
- 24. CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:
- 25. CONCRETE WALL REINFORCING--PROVIDE THE FOLLOWING UNLESS DETAILED OTHERWISE:

6" WALLS	#4 @ 16 HORIZ.	#4 @ 18 VERTICAL	1 CURTAIN
8" WALLS	#4 @ 12 HORIZ.	#4 @ 18 VERTICAL	1 CURTAIN
10" WALLS	#4 @ 18 HORIZ.	#4 @ 18 VERTICAL	2 CURTAINS
12" WALLS	#4 @ 16 HORIZ.	#4 @ 18 VERTICAL	2 CURTAINS

- 26. CAST-IN-PLACE CONCRETE: SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND DIMENSIONS OF DOOR AND WINDOW OPENINGS IN ALL CONCRETE WALLS. SEE MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF MISCELLANEOUS MECHANICAL OPENINGS THROUGH CONCRETE WALLS. SEE ARCHITECTURAL DRAWINGS FOR ALL GROOVES, NOTCHES, CHAMFERS, FEATURE STRIPS, COLOR, TEXTURE, AND OTHER FINISH DETAILS AT ALL EXPOSED CONCRETE SURFACES, BOTH CAST-IN-PLACE AND PRECAST.
- 27. NON-SHRINK GROUT SHALL BE FURNISHED BY AN APPROVED MANUFACTURER AND SHALL BE MIXED AND PLACED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS. GROUT STRENGTH SHALL BE AT LEAST EQUAL TO THE MATERIAL ON WHICH IT IS PLACED (3000 PSI MINIMUM).

#### ANCHORAGE

28. EXPANSION BOLTS INTO CONCRETE SHALL BE "STRONG-BOLT 2" WEDGE ANCHORS AS MANUFACTURED BY THE SIMPSON STRONG TIE COMPANY AND INSTALLED IN STRICT CONFORMANCE TO ICC-ES REPORT NUMBER ESR-3037, INCLUDING MINIMUM EMBEDMENT REQUIREMENTS. BOLTS INTO CONCRETE MASONRY OR BRICK MASONRY UNITS SHALL BE INTO FULLY GROUTED CELLS. PERIODIC SPECIAL INSPECTION IS REQUIRED TO VERIFY ANCHOR TYPE, ANCHOR DIMENSIONS, ANCHOR LOCATION, TIGHTENING TORQUE, HOLE DIMENSIONS, ANCHOR EMBEDMENT, AND ADHERENCE TO THE INSTALLATION INSTRUCTIONS.

- 29. EPOXY-GROUTED ITEMS (THREADED RODS OR REINFORCING BAR) INTO CONCRETE SPECIFIED ON THE DRAWINGS SHALL BE INSTALLED USING "SET-3G" HIGH STRENGTH EPOXY AS MANUFACTURED BY THE SIMPSON STRONG, TIE COMPANY. INSTALL IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-4057. MINIMUM BASE MATERIAL TEMPERATURE IS 40 DEGREES, F. RODS SHALL BE ASTM A-36 UNLESS OTHERWISE NOTED. PERIODIC SPECIAL INSPECTION OF INSTALLATION IS REQUIRED TO VERIFY ANCHOR OR EMBEDDED BAR TYPE AND DIMENSIONS, LOCATION, ADHESIVE IDENTIFICATION AND EXPIRATION, HOLE DIMENSIONS, HOLE CLEANING PROCEDURE, ANCHOR EMBEDMENT, AND ADHERENCE TO THE INSTALLATION INSTRUCTIONS. CONTINUOUS SPECIAL INSPECTION IS REQUIRED FOR HORIZONTAL AND OVERHEAD INSTALLATIONS.
- 30. CONCRETE SCREW ANCHORS INTO CONCRETE AND CONCRETE MASONRY UNITS SHALL BE "TITEN HD" HEAVY DUTY SCREW ANCHOR AS MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY, INSTALLED IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-2713 (CONCRETE), NO. ESR-1056 (CMU), INCLUDING MINIMUM EMBEDMENT REQUIREMENTS. SCREW ANCHORS INTO CONCRETE MASONRY UNITS SHALL BE INTO FULLY GROUTED CELLS. SPECIAL INSPECTION IS REQUIRED.

#### STEEL

- 31. STRUCTURAL STEEL DESIGN, FABRICATION, AND ERECTION SHALL BE BASED ON:
- A. AISC 360-16 AND SECTION 2205. 2 OF THE INTERNATIONAL BUILDING CODE.

  B. JUNE 15, 2016 AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES AMENDED AS FOLLOWS: AS NOTED IN THE CONTRACT DOCUMENTS, BY THE DELETION OF PARAGRAPH 4. 4. 1, AND REVISE REFERENCE FROM "STRUCTURAL DESIGN DRAWINGS" TO "CONTRACT DOCUMENTS" IN PARAGRAPH 3. 1.
- C. SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS.
- 32. STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

TYPE OF MEMBER AS	STM SPECIFICATION	FY
A. WIDE FLANGE SHAPES B. OTHER SHAPES, PLATES, AND RODS	A992 A36	50 KSI 36 KSI
C. OTHER SHAPES AND PLATES		
(NOTED GRADE 50 ON PLANS)	A572 (GRADE 50)	50 KSI
D. PIPE COLUMNS	A53 (E OR S, GR.B)	35 KSI
E. STRUCTURAL TUBING	A500 (GR. C)	
-SQUARE OR RECTANGULAR	,	50 KSI
-ROUND		46 KSI
-ANY SHAPE	ASTM A1085	50 KSI
F. CONNECTION BOLTS	A325-N	
(3/4" ROUND, UNLESS SHOWN OTHERWISE)		

- 33. ARCHITECTURALLY EXPOSED STRUCTURAL STEEL SHALL CONFORM TO SECTION 10 OF THE AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES.
- 34. ALL STEEL EXPOSED TO THE WEATHER OR IN CONTACT WITH GROUND SHALL BE CORROSION PROTECTED BY GALVANIZATION OR PROVIDED WITH EXTERIOR PAINT SYSTEM, UNLESS OTHERWISE NOTED.
- 35. SHOP PRIME ALL STEEL EXCEPT:
- A. STEEL ENCASED IN CONCRETE.
- B. SURFACES TO BE WELDED.C. CONTACT SURFACES AT HIGH-STRENGTH BOLTS.
- D. MEMBERS TO BE GALVANIZED.
- E. MEMBERS WHICH WILL BE CONCEALED BY INTERIOR FINISHES.
- F. SURFACES TO RECEIVE SPRAYED FIREPROOFING.
- G. SURFACES TO RECEIVE OTHER SPECIAL SHOP PRIMERS.
- 36. ALL A-325N CONNECTION BOLTS NEED ONLY BE TIGHTENED TO A SNUG TIGHT CONDITION, DEFINED AS THE TIGHTNESS THAT EXISTS WHEN ALL PLIES IN A JOINT ARE IN FIRM CONTACT. THIS MAY BE ATTAINED BY A FEW IMPACTS OF AN IMPACT WRENCH OR THE FULL EFFORT OF AN IRONWORKER USING AN ORDINARY SPUD WRENCH.
- 37. ALL ANCHORS EMBEDDED IN CONCRETE SHALL BE A307 HEADED BOLTS OR A36 THREADED ROD WITH AN ASTM 563 HEAVY HEX NUT TACK WELDED ON THE EMBEDDED END.
- 38. ALL WELDING SHALL BE IN CONFORMANCE WITH AISC AND AWS STANDARDS AND SHALL BE PERFORMED BY WABO CERTIFIED WELDERS USING E70XX ELECTRODES. ONLY PREQUALIFIED WELDS (AS DEFINED BY AWS) SHALL BE USED. ALL COMPLETE JOINT PENETRATION GROOVE WELDS SHALL BE MADE WITH A FILLER MATERIAL THAT HAS A MINIMUM CVN TOUGHNESS OF 20 FT-LBS AT -20 DEGREES F AND 40 FT LBS AT 70 DEGREES F, AS DETERMINED BY AWS CLASSIFICATION OR MANUFACTURER CERTIFICATION.



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DRAWN:	CFG	
DESIGN:	BDM	
CHECKED:	BDM	
APPROVED:	BDM	


PROJECT TITLE:

Korpela + Wiens

8441 SE 33rd Place Mercer Island, WA

Residence

ARCHITECT:

Jessyca Poole 7718 Fremont Ave N Seattle, WA 98103 PH 206.484.3802

SUE:

Permit

CHEET TITLE:

General Structural Notes

DATE:
Dec. 14, 2023

PROJECT NO: 02327-2023-04

C1 '

#### General Structural Notes Continued

#### THE FOLLOWING APPLY UNLESS SHOWN OTHERWISE ON THE DRAWINGS

#### WOOD

39. FRAMING LUMBER SHALL BE S-DRY, KD, OR MC-19, AND GRADED AND MARKED IN CONFORMANCE WITH WCLIB STANDARD No. 17, GRADING RULES FOR WEST COAST LUMBER, 2018, OR WWPA STANDARD, WESTERN LUMBER GRADING RULES 2017. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:

JOISTS AND BEAMS	(2X & 3X MEMBERS)	HEM-FIR NO. 2 MINIMUM BASE VALUE, Fb = 850 PSI
	(4X MEMBERS)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fb = 1000 PSI
BEAMS	(INCL. 6X AND LARGER)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fb = 1350 PSI
POSTS	(4X MEMBERS)	DOUGLAS FIR-LARCH NO. 2 MINIMUM BASE VALUE, Fc = 1350 PSI
	(6X AND LARGER)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fc = 1000 PSI
STUDS, PLA	ATES & MISC. FRAMING:	DOUGLAS FIR-LARCH NO. 2 OR HEM-FIR NO. 2

- 40. GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH ASTM AND ANSI/AITC STANDARDS. EACH MEMBER SHALL BEAR AN AITC OR APA IDENTIFICATION MARK AND SHALL BE ACCOMPANIED BY AN AITC OR APA CERTIFICATE OF CONFORMANCE. ALL SIMPLE SPAN BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V4, Fb = 2,400 PSI, Fv =265 PSI. ALL CANTILEVERED BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V8, Fb = 2400 PSI, Fv = 265 PSI.
- 41. MANUFACTURED LUMBER, PSL, LVL, AND LSL SHOWN ON PLAN ARE BASED PRODUCTS MANUFACTURED BY THE WEYERHAEUSER CORPORATION IN ACCORDANCE WITH ICC-ES REPORT ESR-1387. MEMBERS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:

```
PSL (2.0E WS)
                   Fb = 2900 PSI, E = 2000 KSI, Fv = 290 PSI
LVL (2.0E-2600FB WS) Fb = 2600 PSI, E = 2000 KSI, Fv = 285 PSI
LSL (1.55E)
                    Fb = 2325 PSI, E = 1550 KSI, Fv = 310 PSI
```

ALTERNATE MANUFACTURED LUMBER MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. ALTERNATE MANUFACTURER'S PRODUCTS SHALL BE COMPATIBLE WITH THE JOIST HANGERS AND OTHER HARDWARE SPECIFIED ON PLANS, OR ALTERNATE HANGERS AND HARDWARE SHALL SUBMITTED FOR REVIEW AND APPROVAL. SUBSTITUTED ITEMS SHALL HAVE ICC-ES REPORT APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES.

MANUFACTURED LUMBER PRODUCTS SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%. EXCESSIVE DEFLECTIONS MAY OCCUR IF MOISTURE CONTENT EXCEEDS THIS VALUE.

- 42. PREFABRICATED PLYWOOD WEB JOIST DESIGN SHOWN ON PLANS IS BASED ON JOISTS MANUFACTURED BY THE WEYERHAEUSER CORPORATION, IN ACCORDANCE WITH ICC-ES REPORT ESR-1157. ALTERNATE PLYWOOD WEB JOIST MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. ALTERNATE MANUFACTURER'S PRODUCTS SHALL BE COMPATIBLE WITH THE JOIST HANGERS AND OTHER HARDWARE SPECIFIED ON PLANS. OR ALTERNATE HANGERS AND HARDWARE SHALL SUBMITTED FOR REVIEW AND APPROVAL. SUBSTITUTED ITEMS SHALL HAVE ICC-ES REPORT APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES.
- 43. PLYWOOD SHEATHING SHALL BE GRADE C-D, EXTERIOR GLUE OR STRUCTURAL II, EXTERIOR GLUE IN CONFORMANCE WITH DOC PS 1 OR PS 2. ORIENTED STRAND BOARD OF EQUIVALENT THICKNESS, EXPOSURE RATING AND PANEL INDEX MAY BE USED IN LIEU OF PLYWOOD.

ROOF SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 32/16.

FLOOR SHEATHING SHALL BE 3/4" (NOMINAL) WITH SPAN RATING 48/24.

WALL SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 24/0.

PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING.

REFER TO WOOD FRAMING NOTES BELOW FOR TYPICAL NAILING REQUIREMENTS.

- 44. ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED WITH AN APPROVED PRESERVATIVE OR (2) LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER SHALL BE PROVIDED BETWEEN UNTREATED WOOD AND CONCRETE OR MASONRY.
- 45. PRESERVATIVE TREATED WOOD SHALL BE TREATED PER AWPA STANDARD U1 TO THE USE CATEGORY EQUAL TO OR HIGHER THAN THE INTENDED APPLICATION. TREATED WOOD FOR ABOVE GROUND USE SHALL BE TREATED TO AWPA UC3B. WOOD IN CONTINUOUS CONTACT WITH FRESH WATER OR SOIL SHALL BE TREATED TO AWPA UC4A. WOOD FOR USE IN PERMANENT FOUNDATIONS SHALL BE TREATED TO AWPA UC4B.

46. FASTENERS AND TIMBER CONNECTORS USED WITH TREATED WOOD SHALL HAVE CORROSION RESISTANCE AS INDICATED IN THE FOLLOWING TABLE, UNLESS OTHERWISE

WOOD TREATMENT	CONDITION	PROTECTION
HAS NO AMMONIA CARRIER	INTERIOR DRY	G90 GALVANIZED
CONTAINS AMMONIA CARRIER	INTERIOR DRY	G185 OR A185 HOT DIPPED OR
		CONTINUOUS HOT-GALVANIZED
		PER ASTM A653
CONTAINS AMMONIA CARRIER	INTERIOR WET	TYPE 304 OR 316 STAINLESS
CONTAINS AMMONIA CARRIER	EXTERIOR	TYPE 304 OR 316 STAINLESS
AZCA	ANY	TYPE 304 OR 316 STAINLESS

INTERIOR DRY CONDITIONS SHALL HAVE WOOD MOISTURE CONTENT LESS THAN 19%. WOOD MOISTURE CONTENT IN OTHER CONDITIONS (INTERIOR WET, EXTERIOR WET, AND EXTERIOR DRY) IS EXPECTED TO EXCEED 19%. CONNECTORS AND THEIR FASTENERS SHALL BE THE SAME MATERIAL. COMPLY WITH THE TREATMENT MANUFACTURERS RECOMMENDATIONS FOR PROTECTION OF METAL.

47. TIMBER CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR CATALOG NUMBER C-C-2021. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE ICC-ES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER FOR MAXIMUM LOAD CARRYING CAPACITY. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

ALL 2X JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "LUS" SERIES JOIST HANGERS. ALL TJI JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "ITS" SERIES JOIST HANGERS. ALL DOUBLE-JOIST BEAMS SHALL BE CONNECTED TO FLUSH BEAMS WITH "MIT" SERIES JOIST HANGERS.

WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS. PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER.

ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM)AS MEMBERS CONNECTED

#### 48. WOOD FASTENERS

A. NAIL SIZES SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:

SIZE	LENGTH	DIAMETER
6d	2"	0. 113"
8d	2-1/2"	0. 131"
10d	3"	0. 148"
12d	3-1/4"	0. 148"
16d B0X	3-1/2"	0. 135"

IF CONTRACTOR PROPOSES THE USE OF ALTERNATE NAILS, THEY SHALL SUBMIT NAIL SPECIFICATIONS TO THE STRUCTURAL ENGINEER (PRIOR TO CONSTRUCTION) FOR REVIEW AND APPROVAL.

NAILS - PLYWOOD (APA RATED SHEATHING) FASTENERS TO FRAMING SHALL BE DRIVEN FLUSH TO FACE OF SHEATHING WITH NO COUNTERSINKING PERMITTED. TOE-NAILS SHALL BE DRIVEN AT AN ANGLE OF 30 DEGREES WITH THE MEMBER AND STARTED 1/3 THE LENGTH OF THE NAIL FROM THE MEMBER END.

B. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG BOLTS BEARING ON WOOD. INSTALLATION OF LAG BOLTS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION WITH A LEAD BORE HOLE OF 60 TO 70 PERCENT OF THE SHANK DIAMETER. LEAD HOLES ARE NOT REQUIRED FOR 3/8" AND SMALLER LAG SCREWS.

#### 49. NOTCHES AND HOLES IN WOOD FRAMING:

- A. NOTCHES ON THE ENDS OF SOLID SAWN JOISTS AND RAFTERS SHALL NOT EXCEED. ONE-FOURTH THE JOIST DEPTH. NOTCHES IN THE TOP OR BOTTOM OF SOLID SAWN JOISTS SHALL NOT EXCEED ONE-SIXTH THE DEPTH AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. HOLES BORED IN SOLID SAWN JOISTS AND RAFTERS SHALL NOT BE WITHIN 2 INCHES OF THE TOP OR BOTTOM OF THE JOIST, AND THE DIAMETER OF ANY SUCH HOLE SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE JOIST.
- B. IN EXTERIOR WALLS AND BEARING PARTITIONS, ANY WOOD STUD IS PERMITTED TO BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25 PERCENT OF ITS WIDTH. A HOLE NOT GREATER IN DIAMETER THAN 40 PERCENT OF THE STUD WIDTH IS PERMITTED TO BE BORED IN ANY WOOD STUD. IN NO CASE SHALL THE EDGE OF THE BORED HOLE BE NEARER THAN 5/8 INCH TO THE EDGE OF THE STUD. BORED HOLES SHALL NOT BE LOCATED AT THE SAME SECTION OF STUD AS A CUT OR
- C. NOTCHES AND HOLES IN MANUFACTURED LUMBER AND PREFABRICATED PLYWOOD WEB JOISTS SHALL BE PER THE MANUFACTURERS RECOMMENDATIONS UNLESS OTHERWISE

- 50. WOOD FRAMING NOTES--THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE
- A. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE, THE AITC "TIMBER CONSTRUCTION MANUAL" AND THE AWC "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION". MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO IBC TABLE 2304.10.1. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS.
- B. WALL FRAMING: REFER ARCHITECTURAL DRAWINGS FOR THE SIZE OF ALL WALLS. ALL STUDS SHALL BE SPACED AT 16" O.C. UNO. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL WALLS AND AT EACH SIDE OF ALL OPENINGS, AND AT BEAM OR HEADER BEARING LOCATIONS. TWO 2x8 HEADERS SHALL BE PROVIDED OVER ALL OPENINGS NOT OTHERWISE NOTED. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW. PROVIDE CONTINUOUS SOLID BLOCKING AT MID-HEIGHT OF ALL STUD WALLS OVER 10'-0" IN HEIGHT.

ALL WALLS SHALL HAVE A SINGLE BOTTOM PLATE AND A DOUBLE TOP PLATE. END NAIL TOP PLATE TO EACH STUD WITH TWO 16d NAILS, AND TOENAIL OR END NAIL EACH STUD TO BOTTOM PLATE WITH TWO 16d NAILS. FACE NAIL DOUBLE TOP PLATE WITH 16d @ 12" O.C.. LAP TOP PLATES AT JOINTS A MINIMUM 4'-0" AND NAIL WITH TWELVE 16d NAILS @ 4" O.C. EACH SIDE JOINT.

ALL STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH TWO ROWS OF 16d NAILS @ 12" ON-CENTER, OR ATTACHED TO CONCRETE BELOW WITH 5/8" DIAMETER ANCHOR BOLTS @ 4'-0" ON-CENTER EMBEDDED 7" MINIMUM, UNLESS INDICATED OTHERWISE. INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH TWO ROWS OF 16d @12" ON-CENTER. UNLESS OTHERWISE NOTED, GYPSUM WALLBOARD SHALL BE FASTENED TO THE INTERIOR SURFACE OF ALL STUDS AND PLATES WITH NO. 6 X 1-1/4" TYPE S OR W SCREWS @ 8" ON-CENTER. UNLESS INDICATED OTHERWISE, 1/2" (NOMINAL)APA RATED SHEATHING (SPAN RATING 24/0) SHALL BE NAILED TO ALL EXTERIOR SURFACES WITH 8d NAILS @ 6" ON-CENTER AT PANEL EDGES AND TOP AND BOTTOM PLATES (BLOCK UN-SUPPORTED EDGES)AND TO ALL INTERMEDIATE STUDS AND BLOCKING WITH 8d NAILS @ 12" ON-CENTER ALLOW 1/8" SPACING AT ALL PANEL EDGES AND PANEL ENDS.

C. FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING BETWEEN RAFTERS AND JOISTS AT ALL BEARING POINTS WITH A MINIMUM OF (3) 16d TOE NAILS EACH END. TOE-NAIL JOISTS TO SUPPORTS WITH TWO 16d NAILS. ATTACH TIMBER JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON METAL JOIST HANGERS IN ACCORDANCE WITH NOTES ABOVE. NAIL ALL MULTI JOIST BEAMS TOGETHER WITH TWO ROWS 16d @ 12" ON-CENTER.

UNLESS OTHERWISE NOTED ON THE PLANS, PLYWOOD ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH GRAIN PERPENDICULAR TO SUPPORTS AND NAILED AT 6" ON-CENTER WITH 8d NAILS TO FRAMED PANEL EDGES, STRUTS AND OVER STUD WALLS AS SHOWN ON PLANS AND @ 12" ON-CENTER TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH 16d @ 12" ON-CENTER, MINIMUM TWO NAILS PER BLOCK, UNLESS OTHERWISE NOTED.

D. WOOD SHRINKAGE: MECHANICAL. ELECTRICAL. PLUMBING FIRE PROTECTION. CLADDING, AND OTHER SYSTEMS INSTALLED WITHIN THE BUILDING SHALL BE DESIGNED AND CONSTRUCTED TO ACCOMMODATE 3/8" OF VERTICAL MOVEMENT PER FLOOR LEVEL



Seattle, WA 98121 934 Broadway, Suite 100 Tacoma, WA 98402 **CENTRAL WASHINGTO** 414 N Pearl Street, Suite 8 206 443 6212 ssfengineers.com Ellensburg, WA 98926 Copyright 2023 Swenson Say Fagét - All Rights Reserved

2124 Third Avenue, Suite 100



210 (001)	CFG	
DESIGN:	BDM	
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APPROVED:	BDM	


REVISIONS:



PROJECT TITLE:

Korpela + Wiens Residence

8441 SE 33rd Place Mercer Island, WA

ARCHITECT:

Jessyca Poole 7718 Fremont Ave N Seattle, WA 98103 PH 206.484.3802

SHEET TITLE:

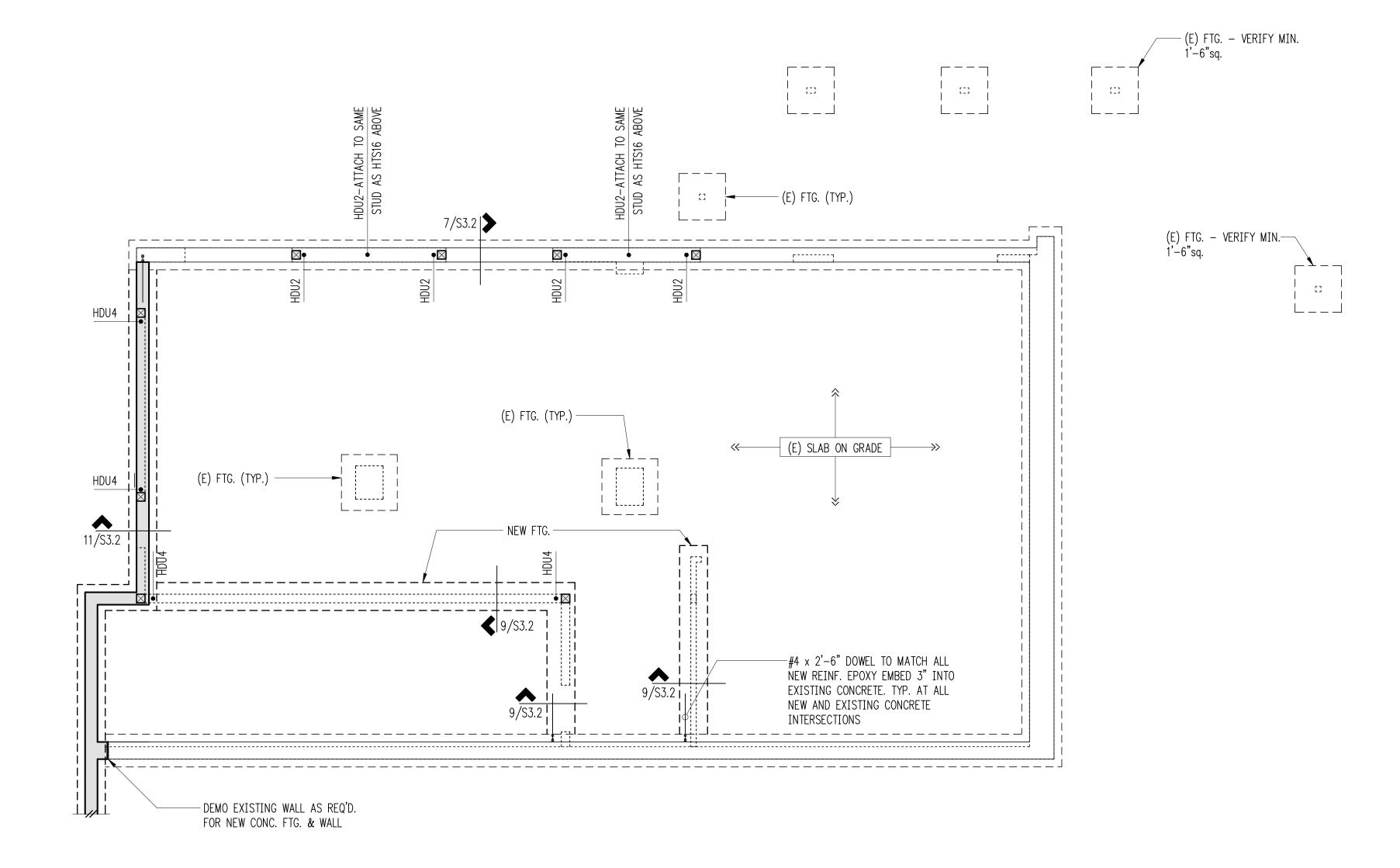
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General Structural Notes

Continued

DATE: Dec. 14, 2023 PROJECT NO:

02327-2023-04 SHEET NO:



#### Plan Notes

- 1. DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
- 2. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.
- 3. EXISTING FRAMING ON PLANS IS ASSUMED. CONTRACTOR TO VERIFY DIRECTIONS AND EXTENTS. NOTIFY ARCHITECT AND ENGINEER IF DIFFERENT.
- 4. EXTERIOR SLABS ON GRADE SHALL BE 4" MINIMUM THICKNESS. REINFORCE WITH #3 AT 16" O.C. CENTERED IN SLAB. BELOW SLAB PROVIDE 6" MINIMUM FREE DRAINING GRAVEL OVER FIRM NATIVE SOILS OR STRUCTURAL FILL.
- 5. THE BOTTOM OF ALL NEW EXTERIOR FOOTINGS SHALL BE 18" MINIMUM BELOW EXTERIOR GRADE.
- 6. ALL NEW POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE FULL
- CONTINUOUS BEARING THROUGH FLOORS TO FOUNDATION.

#### Legend

STRUCTURAL WALL OR POST ABOVE

(E) STRUCTURAL WALL OR POST ABOVE

NON-STRUCTURAL WALL BELOW

\_\_\_\_ EXISTING STEM WALL & FOOTING

STEM WALL & FOOTING STRUCTURAL WALL OR POST BELOW

HOLDOWN PER 11/S3.1 OR 9/S3.1 AT (E) U.N.O.



**Foundation** Plan

Permit

Lower

**ENGINEERING** 

2124 Third Avenue, Suite 100 Seattle, WA 98121 TACOMA

934 Broadway, Suite 100 Tacoma, WA 98402 CENTRAL WASHINGTON

414 N Pearl Street, Suite 8

206.443.6212 414 N Pearl Street, Suite 8 Ellensburg, WA 98926

DRAWN:

DESIGN:

CHECKED:

APPROVED:

JURISDICTIONAL APPROVAL STAMP:

PROJECT TITLE:

Residence

ARCHITECT:

Korpela + Wiens

8441 SE 33rd Place

Mercer Island, WA

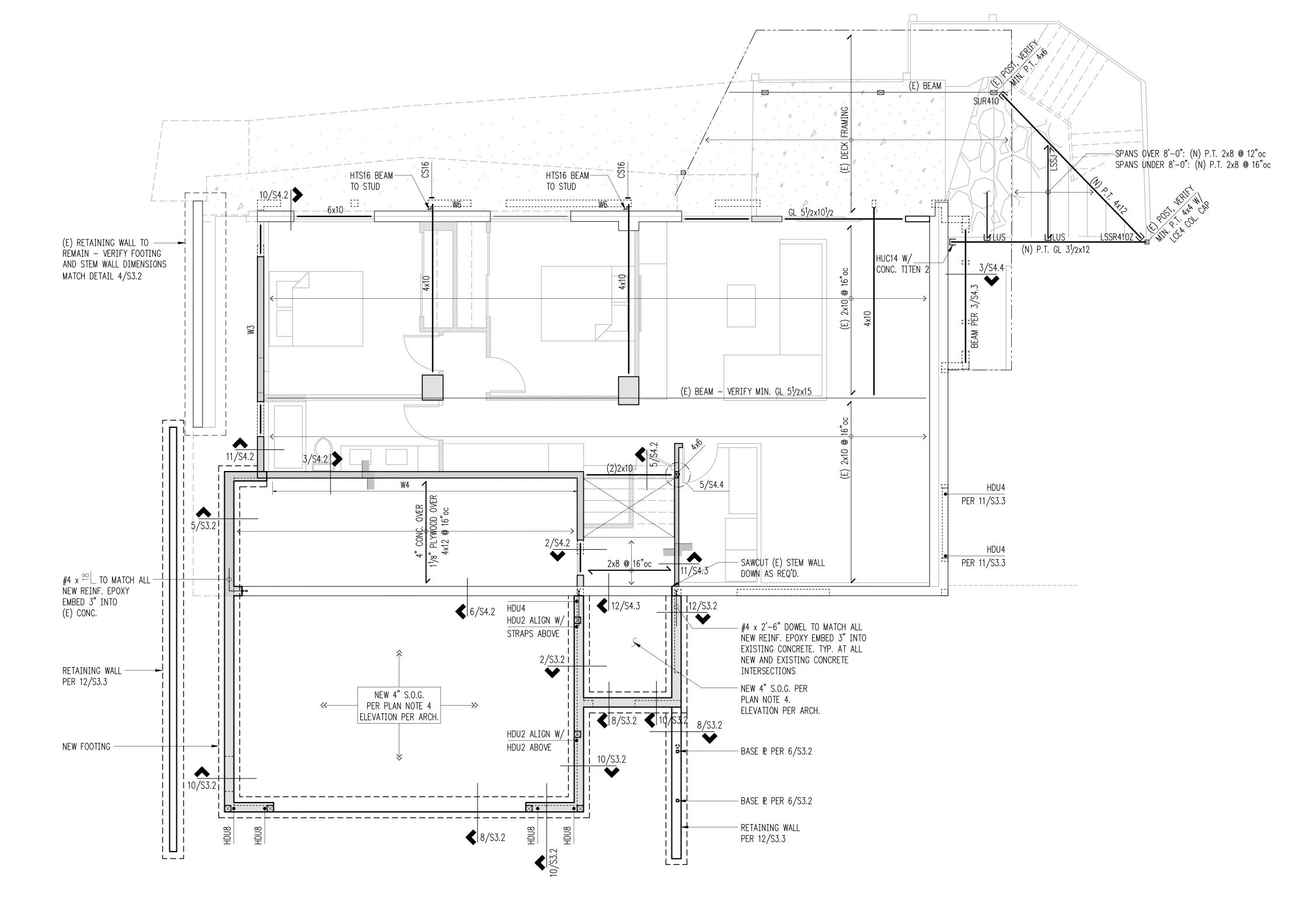
Jessyca Poole 7718 Fremont Ave N Seattle, WA 98103 PH 206.484.3802

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1/4" = 1'-0" Dec. 14, 2023 PROJECT NO: 02327-2023-04

SHEET NO:







- 1. DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
- 2. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.
- 3. EXISTING FRAMING ON PLANS IS ASSUMED. CONTRACTOR TO VERIFY DIRECTIONS AND EXTENTS. NOTIFY ARCHITECT AND ENGINEER IF DIFFERENT.
- 4. NEW INTERIOR SLABS ON GRADE SHALL BE 4" MINIMUM THICKNESS. REINFORCE WITH #3 AT 16" O.C. CENTERED IN SLAB. BELOW SLAB PROVIDE A 10-MIL VAPOR BARRIER OVER 6" MINIMUM FREE DRAINING GRAVEL OVER FIRM NATIVE SOILS OR STRUCTURAL FILL.
- 5. NEW EXTERIOR SLABS ON GRADE SHALL BE 4" MINIMUM THICKNESS. REINFORCE WITH #3 AT 16" O.C. CENTERED IN SLAB. BELOW SLAB PROVIDE 6" MINIMUM FREE DRAINING GRAVEL OVER FIRM NATIVE SOILS OR STRUCTURAL FILL.
- 6. THE BOTTOM OF ALL NEW EXTERIOR FOOTINGS SHALL BE 18" MINIMUM BELOW EXTERIOR GRADE.
- 7. ALL POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE FULL CONTINUOUS BEARING THROUGH FLOORS TO FOUNDATION.
- 8. PROVIDE AC, ACE, PC, EPC, LPC, OR LCE COLUMN CAP AND BASE AT ALL NEW BEAM TO COLUMN CONNECTIONS U.O.N.
- 9. NEW MANUFACTURED LUMBER PRODUCTS (LSL, LVL, PSL, GL) SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%.



STRUCTURAL WALL OR POST BELOW

STRUCTURAL WALL OR POST ABOVE

NON-STRUCTURAL WALL BELOW

EXISTING WALL OR POST BELOW

EXISTING STEM WALL & FOOTING

STEM WALL & FOOTING

WX SHEARWALL PER 4/S4.1

SPAN DIRECTION

EXTENT OF JOISTS

HEADER/BEAM PER PLAN

EXISTING HEADER/BEAM

CHANGE IN ELEVATION

MX HOLDOWN PER 11/S3.1 OR
9/S3.1 AT (E)





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APPROVED:	BDM	


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JURISDICTIONAL APPROVAL STAMP:	

PROJECT TITLE:	
Korpela +	Wiens

8441 SE 33rd Place Mercer Island, WA

Residence

# ARCHITECT:

Jessyca Poole 7718 Fremont Ave N Seattle, WA 98103 PH 206.484.3802

E:

Permit

HEET TITLE:

Upper Foundation & Main Floor Plan

SCALE:

1/4" = 1'-0"

DATE:

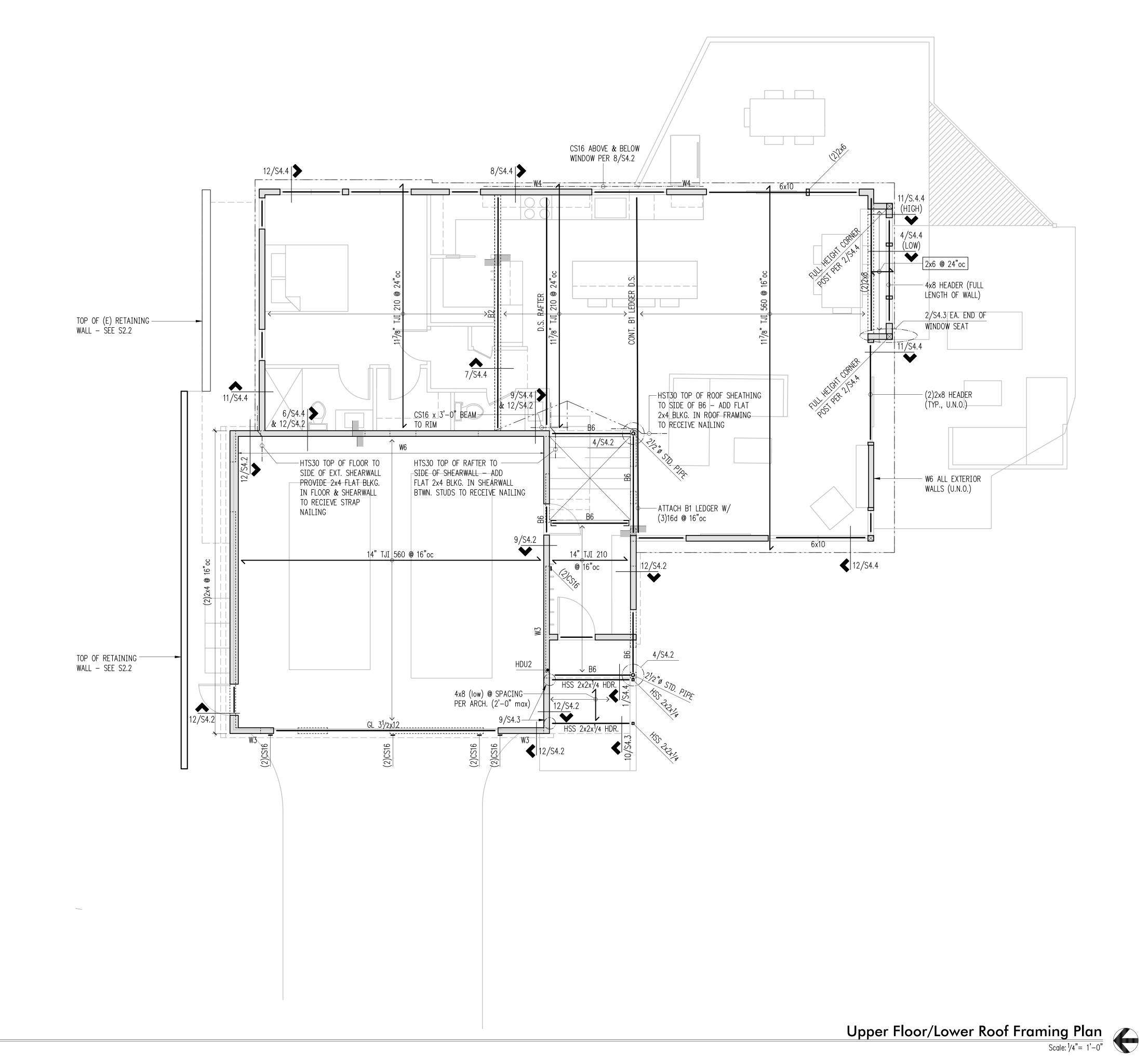
Dec. 14, 2023

PROJECT NO:

02327-2023-04

SHEET NO:

S2.2



Plan Notes

CONNECTIONS U.O.N.

12" OC IN FIELD.

AND AT 12"O.C. FIELD.

Legend

Beam Schedule

LVL 1<sup>3</sup>/4x11<sup>7</sup>/8

LVL 3<sup>1</sup>/2x11<sup>7</sup>/8

(3)LVL 1<sup>3</sup>/4x11<sup>7</sup>/8

(4)LVL 1<sup>3</sup>/4x11<sup>7</sup>/8

LSL 1<sup>3</sup>/4x14

LSL 3<sup>1</sup>/2x14

(3)LVL 1<sup>3</sup>/4x14

B8 (4)LVL 1<sup>3</sup>/4x14

1. DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.

PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%.

SHEATHING (EXPOSURE 1), FACE PERPENDICULAR TO FRAMING PER PLAN, U.O.N.

WALL ATTACHMENTS. ALL EXTERIOR WOOD FRAMED WALLS ARE W6, U.O.N.

STRUCTURAL WALL OR POST BELOW

STRUCTURAL WALL OR POST ABOVE

NON-STRUCTURAL WALL BELOW

SHEARWALL PER 4/S4.1

HEADER/BEAM PER PLAN

CHANGE IN ELEVATION

HANGER

HU14

HHUS410

HGUS5.50/14

HGUS7.25/14

HU/HUC14

HU/HUC416

HGUS5.50/14

HGUS7.25/14

SPAN DIRECTION

EXTENT OF JOISTS

3. ALL POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE FULL CONTINUOUS

4. PROVIDE AC, ACE, PC, EPC, LPC, OR LCE COLUMN CAP AND BASE AT ALL NEW BEAM TO COLUMN

5. NEW MANUFACTURED LUMBER PRODUCTS (LSL, LVL, PSL, GL) SHALL BE INSTALLED WITH A MOISTURE

CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO

6. TYPICAL FLOOR FRAMING CONSISTS OF FLOORING PER ARCHITECT OVER 3/4" T&G APA RATED PLYWOOD

7. NAIL FLOOR SHEATHING W/8D AT 6"OC AT FRAMED PANEL EDGES AND OVER SHEARWALLS, AND AT

9. TYPICAL ROOF FRAMING OF ROOFING PER ARCHIECTURAL DRAWINGS OVER 1/2" CDX APA RATED

10. NAIL ROOF SHEATHING WITH 8D AT 6" O.C. AT ALL FRAMED PANEL EDGES AND OVER SHEARWALLS,

11. "W\_" INDICATES PLYWOOD SHEARWALL BELOW FRAMING SHOWN. REFER TO SHEARWALL SCHEDULE FOR

BRG. STUDS

HOLDOWN PER 11/S3.1

THRU SHEATHING

DRAG STRUT: NAIL W/ 8d @ 4"oc

12. PROVIDE (2) BEARING STUDS AT EACH END OF ALL, HEADERS AND BEAMS OVER 3'-0" IN LENGTH,

2. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

FACE GRAIN PERPENDICULAR TO FRAMING PER PLAN, U.O.N.

8. PROVIDE BLOCKING/BRIDGING AT 8'-0" O.C. IN FLOOR FRAMING

BEARING THROUGH FLOORS TO FOUNDATION.



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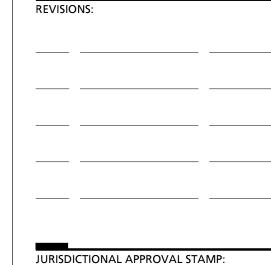
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Ellensburg, WA 98926

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APPROVED:	2014



PROJECT TITLE:

Korpela + Wiens

8441 SE 33rd Place Mercer Island, WA

Residence

ARCHITECT:

Jessyca Poole 7718 Fremont Ave N Seattle, WA 98103 PH 206.484.3802

E:

Permit

IEET TITLE:

Upper Floor & Lower Roof Plan

SCALE:

1/4" = 1'-0"

DATE:

Dec. 14, 2023

PROJECT NO:

02327-2023-04

SHEET NO:

S2.3

#### Plan Notes

- 1. DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
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- 5. NEW MANUFACTURED LUMBER PRODUCTS (LSL, LVL, PSL, GL) SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%.
- 6. TYPICAL ROOF FRAMING OF ROOFING PER ARCHIECTURAL DRAWINGS OVER 1/2" CDX APA RATED SHEATHING (EXPOSURE 1), FACE PERPENDICULAR TO FRAMING PER PLAN, U.O.N.
- 7. NAIL ROOF SHEATHING WITH 8D AT 6" O.C. AT ALL FRAMED PANEL EDGES AND OVER SHEARWALLS, AND AT 12"O.C. FIELD.
- 8. "W\_" INDICATES PLYWOOD SHEARWALL BELOW FRAMING SHOWN. REFER TO SHEARWALL SCHEDULE FOR WALL ATTACHMENTS. ALL EXTERIOR WOOD FRAMED WALLS ARE W6, U.O.N.
- 9. PROVIDE (2) BEARING STUDS AT EACH END OF ALL HEADERS AND BEAMS OVER 3'-0" IN LENGTH, U.O.N.

#### Legend

STRUCTURAL WALL OR POST BELOW

NON-STRUCTURAL WALL BELOW

WX SHEARWALL PER 4/S4.1

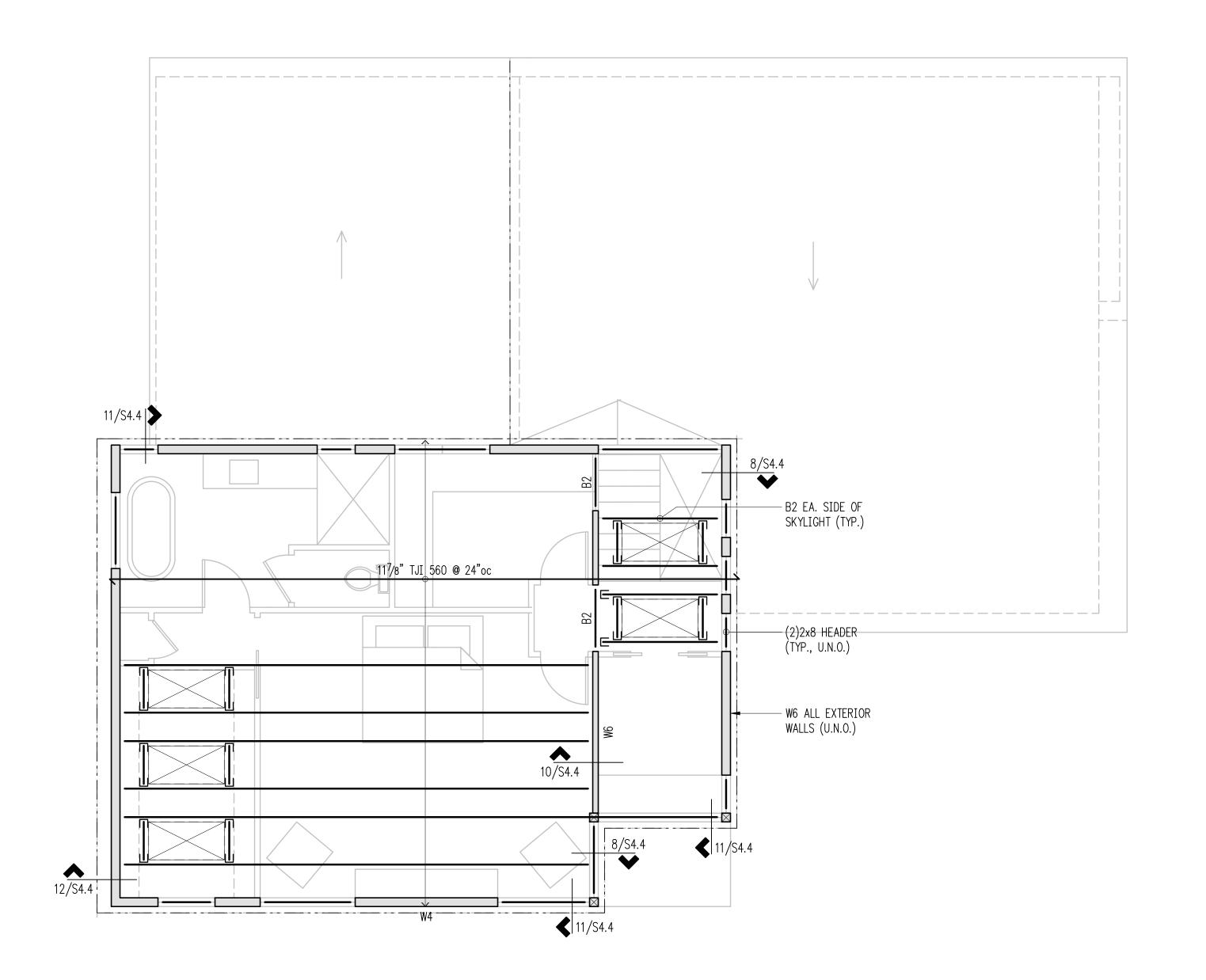
SPAN DIRECTION

EXTENT OF JOISTS

HEADER/BEAM PER PLAN

#### Beam Schedule

MARK	BEAM	HANGER	BRG. STUDS	
B1 LVL 1 <sup>3</sup> /4x11 <sup>7</sup> /8		HU14	2	
B2	LVL 3 <sup>1</sup> /2x11 <sup>7</sup> /8	HHUS410	3	
В3	(3)LVL 1 <sup>3</sup> /4x11 <sup>7</sup> /8	HGUS5.50/14	4	
B4	(4)LVL 1 <sup>3</sup> /4x11 <sup>7</sup> /8	HGUS7.25/14	5	





2124 Third Avenue, Suite 100
Seattle, WA 98121

TACOMA
934 Broadway, Suite 100
Tacoma, WA 98402

CENTRAL WASHINGTON
414 N Pearl Street, Suite 8
Ellensburg, WA 98926

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DRAWN:

CFG

DESIGN:

BDM

CHECKED:

BDM

APPROVED:

BDM

REVISIONS:

JURISDICTIONAL APPROVAL STAMP:

PROJECT TITLE:

Korpela + Wiens Residence

8441 SE 33rd Place Mercer Island, WA

ARCHITECT:

Jessyca Poole

7718 Fremont Ave N
Seattle, WA 98103

PH 206.484.3802

JE:

Permit

Upper Roof Plan

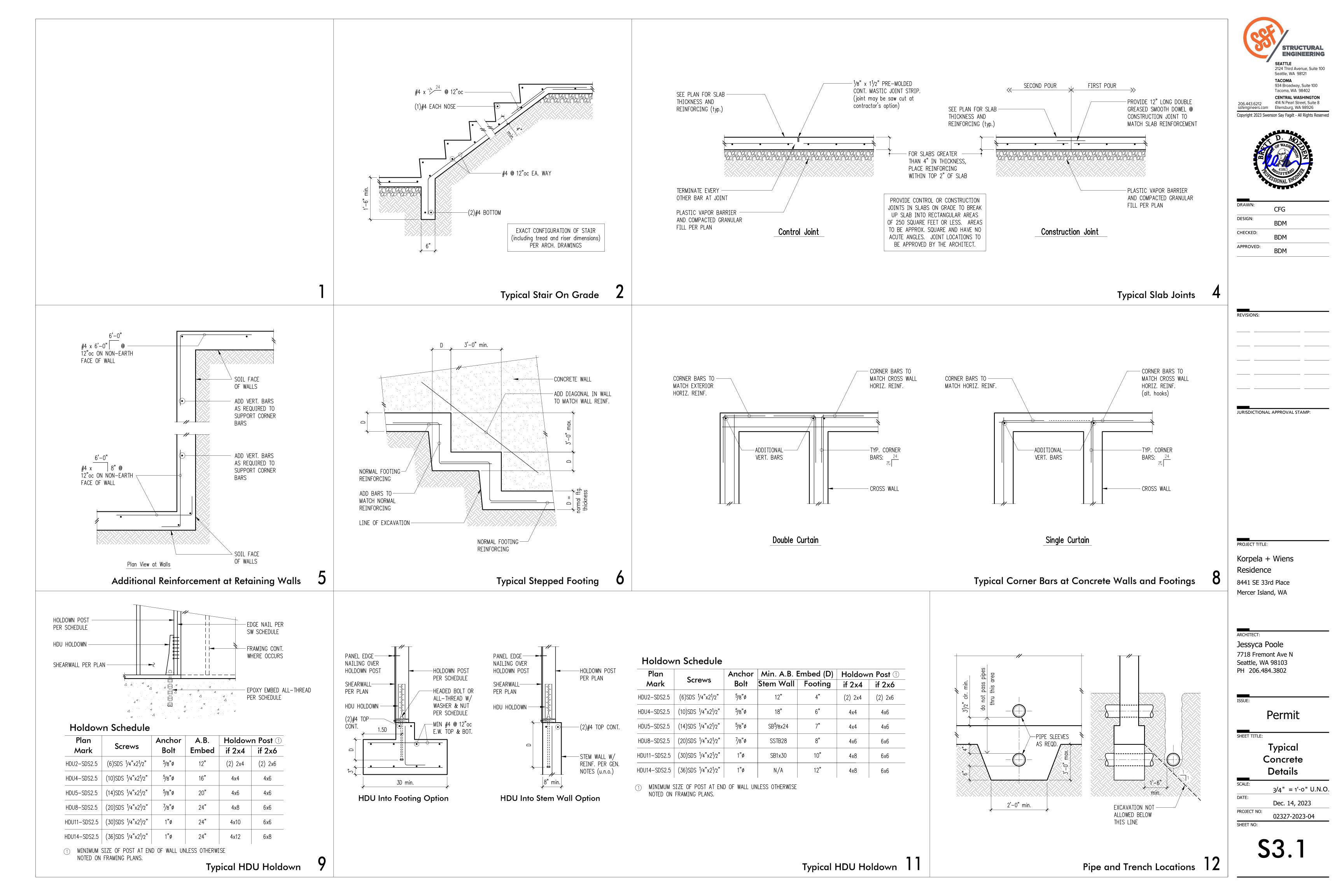
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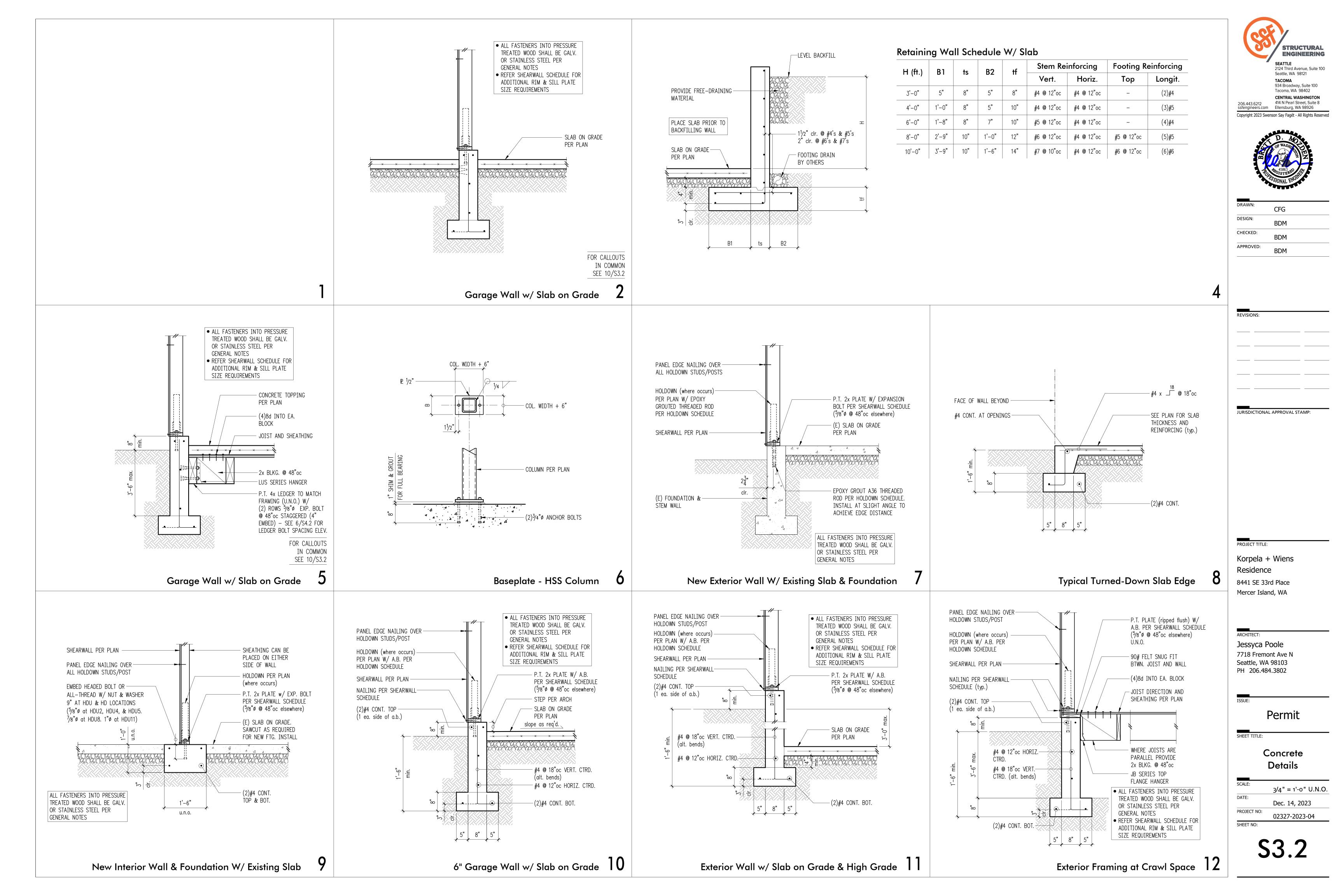
DATE: Dec. 14, 2023

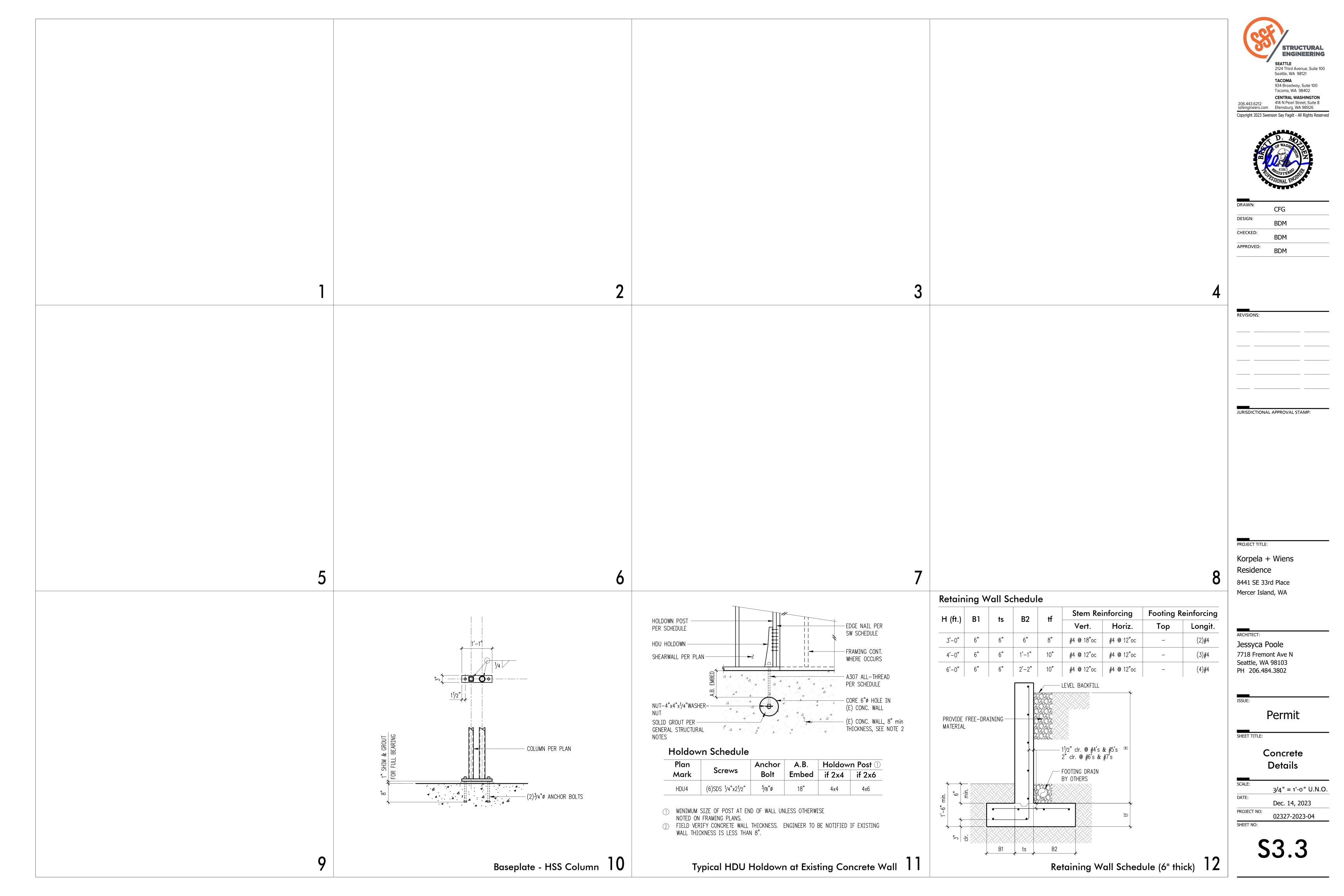
PROJECT NO: 02327-2023-04

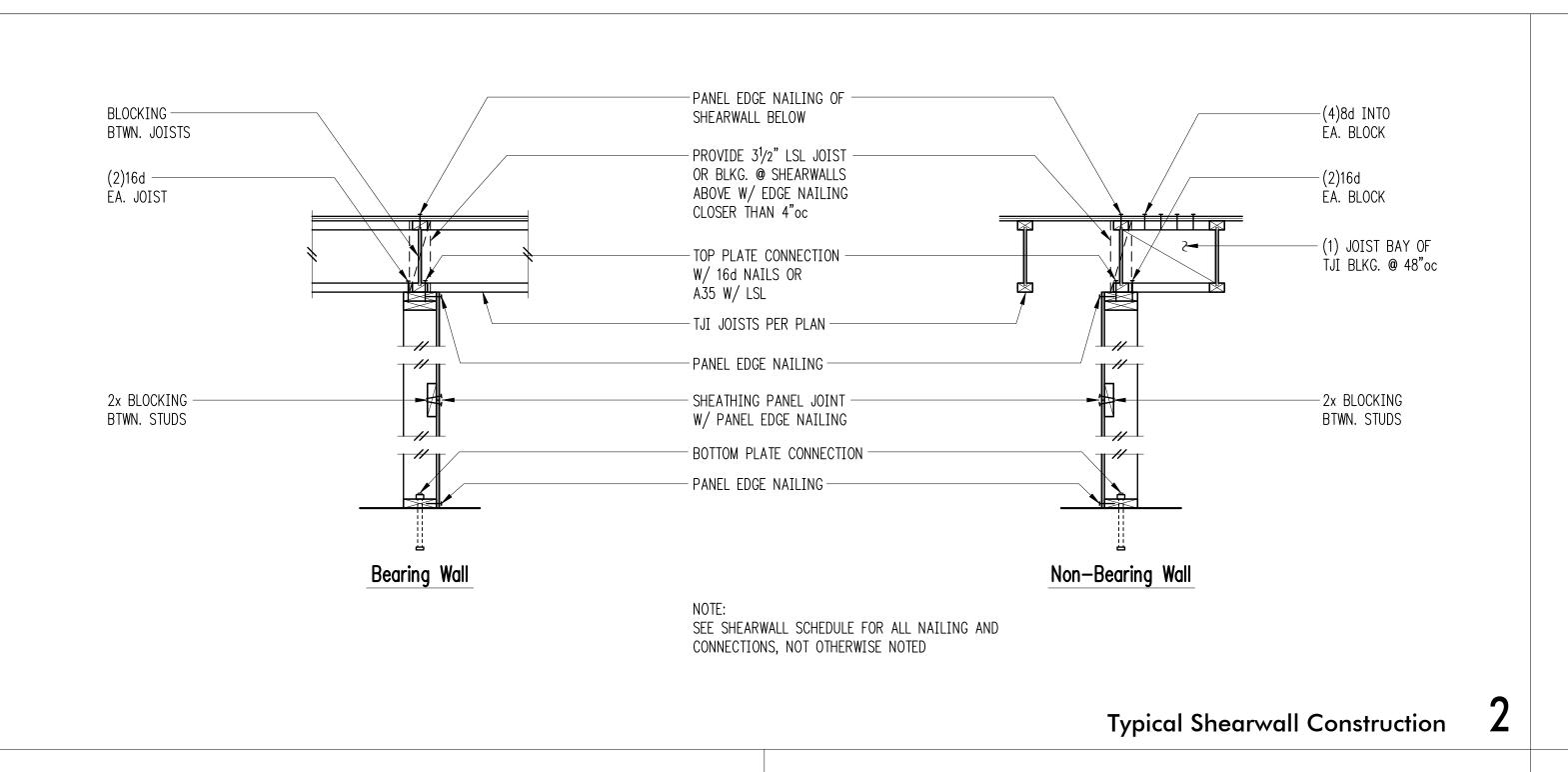
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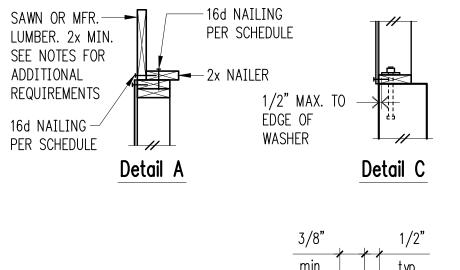
S2 1

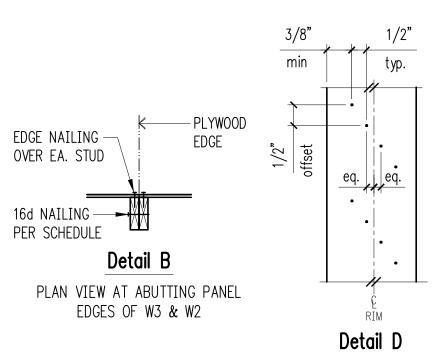












Shearwall Schedule 123567

A A aumla	Cla a autla : .a a.	Panel Edge		Top Plate Connection		<b>Base Plate Connection</b>	
Mark	Sheathing	Nailing	if TJI	if Wood ${8 \over 9}$	at Wood <sup>®</sup>	at Concrete	
W6	15/32" CDX PLYWOOD	8d @ 6"oc	16d @ 6"oc	A35 @ 24"oc	16d @ 6"oc	<sup>5</sup> /8"ø A.B. @ 48"oc	
W4	15/32" CDX PLYWOOD	8d @ 4"oc	16d @ 4"oc	A35 @ 16"oc	(2)rows 16d @ 6"oc	<sup>5</sup> /8"ø A.B. <b>@</b> 32"oc	
W3 <sup>4</sup>	15/32" CDX PLYWOOD	8d @ 3"oc	(2)rows 16d @ 4"oc	A35 @ 12"oc	(2)rows 16d @ 6"oc	<sup>5</sup> /8"ø A.B. <b>@</b> 24"oc	
W2 <sup>4</sup>	15/32" CDX PLYWOOD	8d @ 2"oc	(2)rows 16d @ 4"oc	A35 @ 9"oc	(2)rows 16d <b>@</b> 4"oc <sup>11)</sup>	<sup>5</sup> /8"ø A.B. @ 16"oc	

- ① BLOCK PANEL EDGES WITH 2x MIN. LAID FLAT AND NAIL PANELS TO INTERMEDIATE SUPPORTS WITH 8d @ 12"o.c.
- ② 8d NAILS SHALL BE 0.131"ø x 2 1/2" (common) 16d NAILS SHALL BE 0.135"ø x 3 1/2" (box)
- ③ EMBED ANCHOR BOLTS AT LEAST 7". DRILLED AND EPOXIED THREADED ROD MAY BE SUBSTITUTED FOR ANCHOR BOLTS WITH 6" EMBEDMENT. TITEN HD SCREW ANCHORS MAY BE SUBSTITUTED FOR ANCHOR BOLTS W/4" EMBEDMENT. ALL BOLTS SHALL HAVE 3" x 3" x 1/4" MIN. PLATE WASHERS. PLATE WASHERS SHALL EXTEND TO WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDE WITH SHEATHING. SEE DETAIL C.
- ④ 3x STUDS OR DOUBLE STUDS NAILED TOGETHER W/ BASE PLATE NAILING ARE REQUIRED AT ABUTTING PANEL EDGES OF W3 AND W2. SEE DETAIL B. WHERE 3x STUDS ARE USED FOR W2, STAGGER NAILS AT ADJOINING PANEL EDGES.
- 5 TWO STUDS MINIMUM ARE REQUIRED AT EACH END OF ALL SHEARWALLS AND ALL END STUDS SHALL RECEIVE PANEL EDGE NAILING. SEE PLANS AND HOLDOWN SCHEDULE FOR ALTERNATE REQUIREMENTS.
- ⑥ ALL EXTERIOR WALLS SHALL BE W6, UNLESS NOTED OTHERWISE.
- 7/16" O.S.B. MAY BE SUBSTITUTED FOR 15/32" CDX.
- A 2x NAILER ATTACHED W/ BASE PLATE NAILING PER DETAIL A MAY BE SUBSTITUTED FOR A35's AT CONTRACTORS OPTION.
- ① AT MULTI-ROW NAILING, MINIMUM OFFSET BETWEEN ROWS AND ROW SPACING 1/2", SEE DETAIL D.
- 11) PROVIDE (3) ROWS 16d @ 6"oc AT LVL RIMS.

## Shearwall Schedule - (Sheathed One Side)

TYP. DOUBLE TOP PLATE

-BEAM OR HEADER

- PROVIDE (2) BEARING

PER PLAN

STUDS U.Ò.Ń.

JURISDICTIONAL APPROVAL STAMP:

STRUCTURAL

2124 Third Avenue, Suite 100

934 Broadway, Suite 100

Tacoma, WA 98402

**CENTRAL WASHINGTON** 

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Seattle, WA 98121

TACOMA

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BDM

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206.443.6212 ssfengineers.com 414 N Pearl Street, Suite Ellensburg, WA 98926

DRAWN:

DESIGN:

CHECKED:

APPROVED:

**ENGINEERING** 

PROJECT TITLE: Korpela + Wiens

Residence 8441 SE 33rd Place Mercer Island, WA

ARCHITECT: Jessyca Poole

7718 Fremont Ave N Seattle, WA 98103 PH 206.484.3802

Permit

SHEET TITLE:

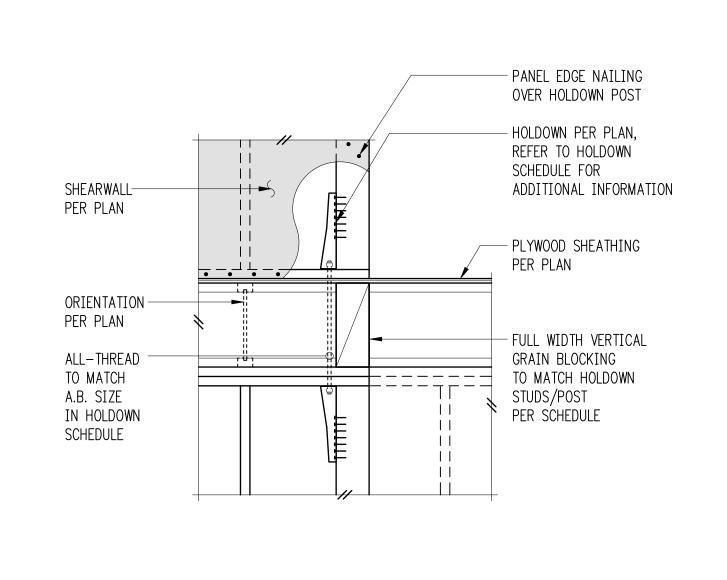
**Typical Wood Details** 

3/4" = 1'-0" U.N.O. Dec. 14, 2023

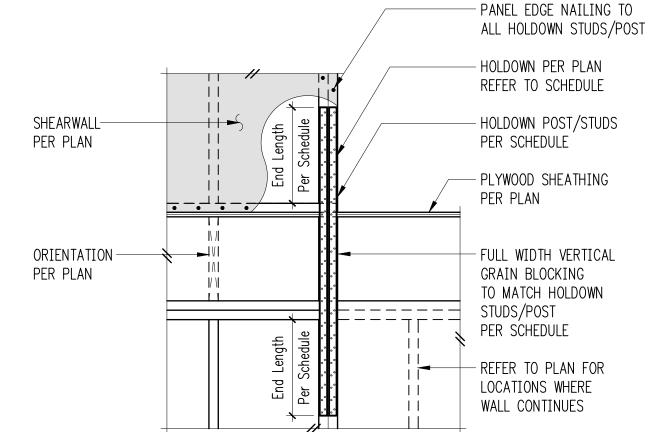
PROJECT NO: 02327-2023-04 SHEET NO:

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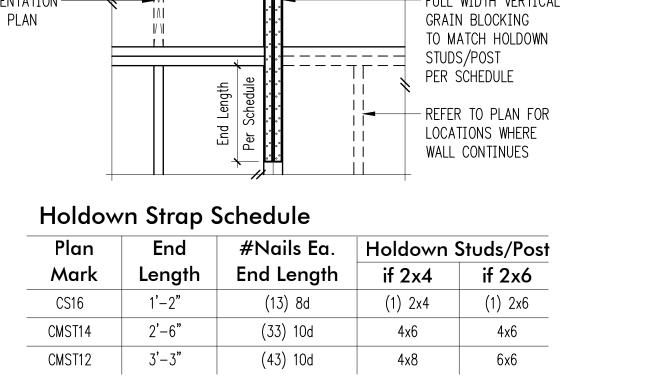
NAIL END STRINGER TO 2x6 NAILER W/ (3)16d @ 16"oc TREAD PER ARCH. – PER ARCH. -3/4" PLYWOOD KICK PLATE - <sup>3</sup>/4" PLYWOOD SHEATHING A35 (at exterior walls only). OMIT @ HEADERS < 6'-0" (6)16d -2x6 NAILER W/-(3)16d TO EA. STUD TYP. STUDS-LSC HANGER — 1<sup>3</sup>/<sub>4</sub>" LSL STRINGER — 2x10 **@** 16"oc @ 24"oc max. (11' max length) Typical Rise Typical Landing ALL TREAD AND RISER DIMENSIONS PER ARCH. Typical Header Support w/2 Bearing Studs Typical Stair and Landing Detail

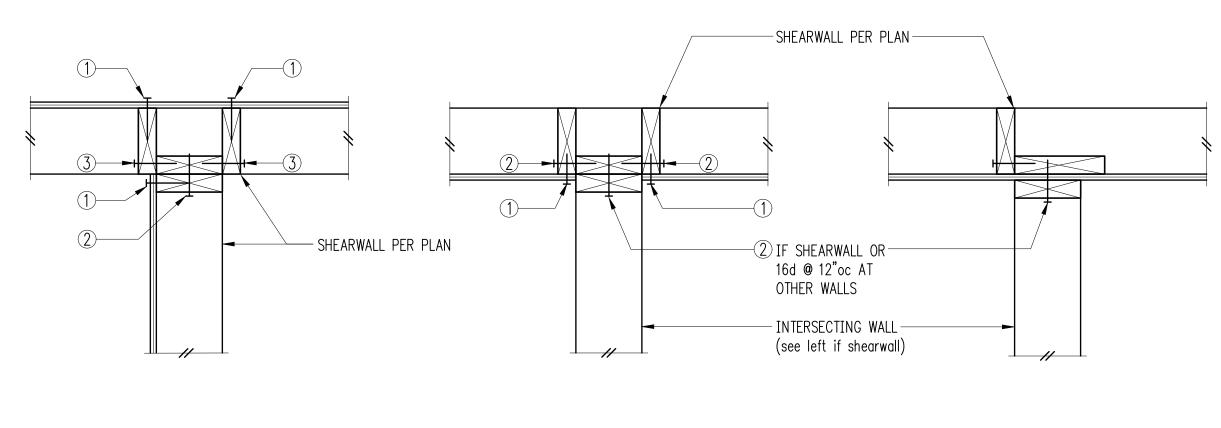






Typical Holdown Schedule 10

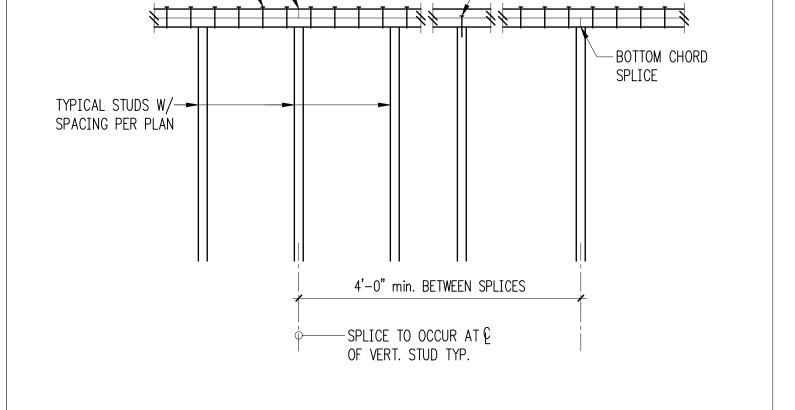




1) PLYWOOD PANEL EDGE NAILING PER SHEARWALL SCHEDULE 2) BASE PLATE NAILING PER SHEARWALL SCHEDULE

③ 16d **@** 8"oc

Typical Shearwall Intersections 12



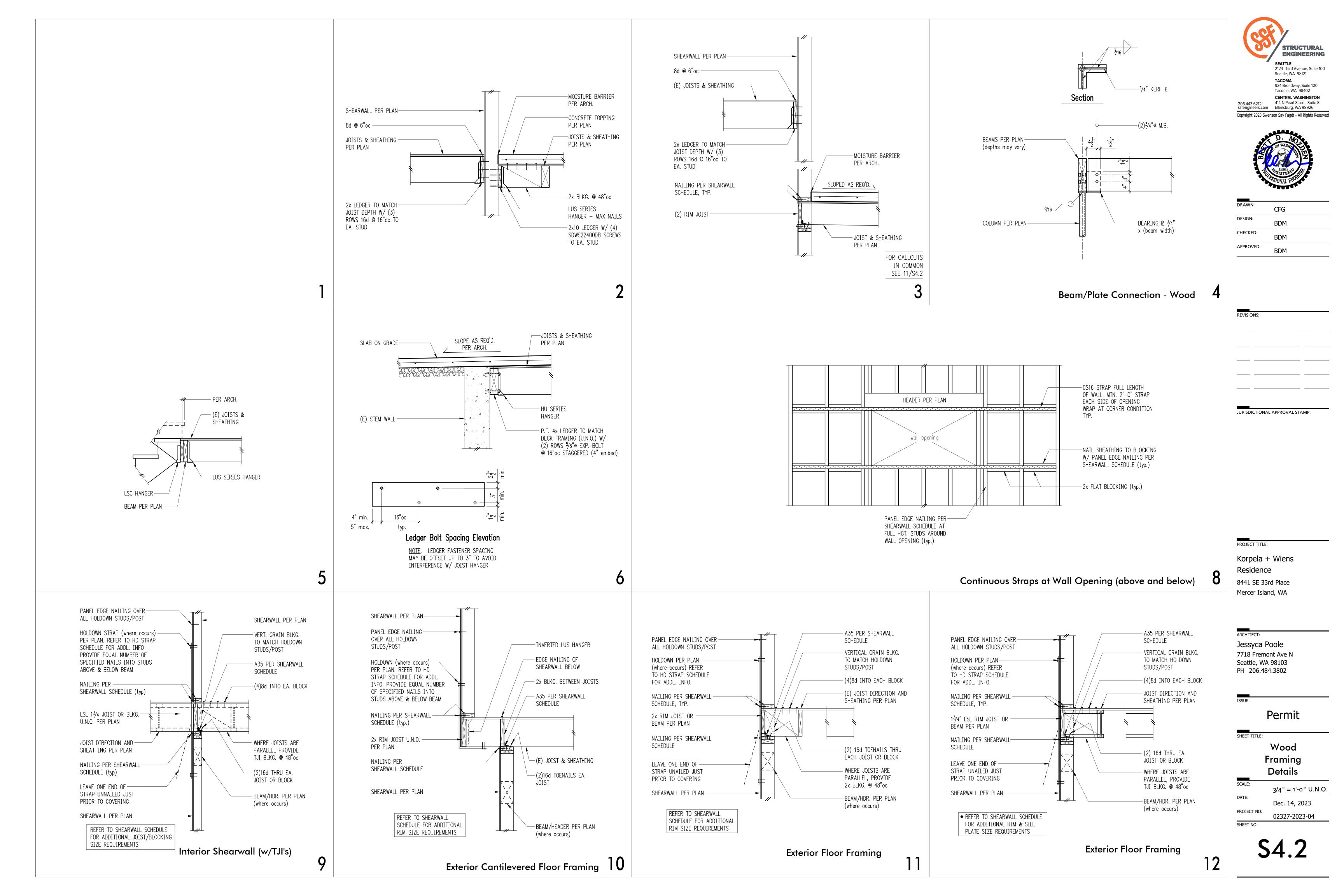
−(2)16d @ EA. STUD, TYP.

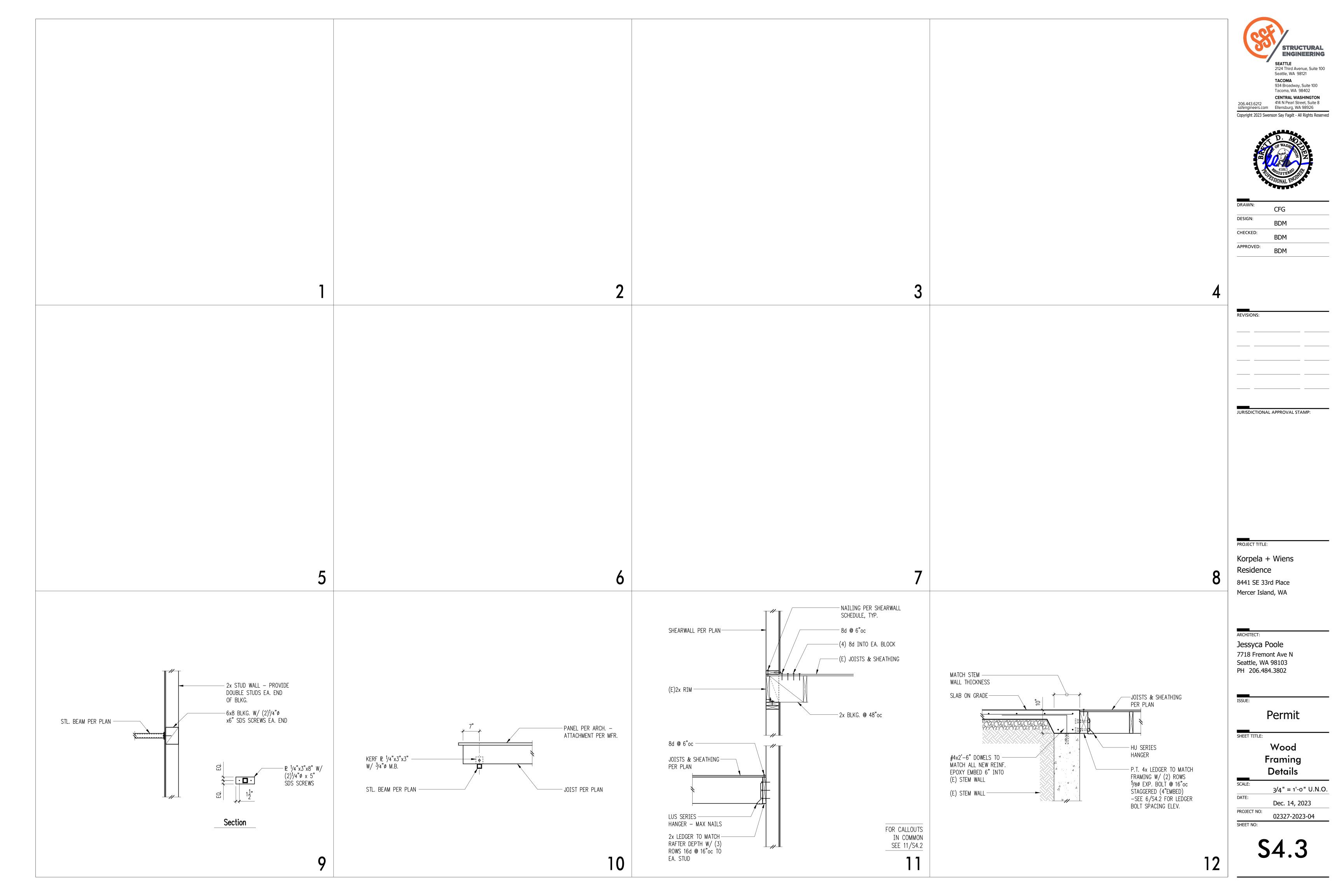
Typical Top Plate Splice

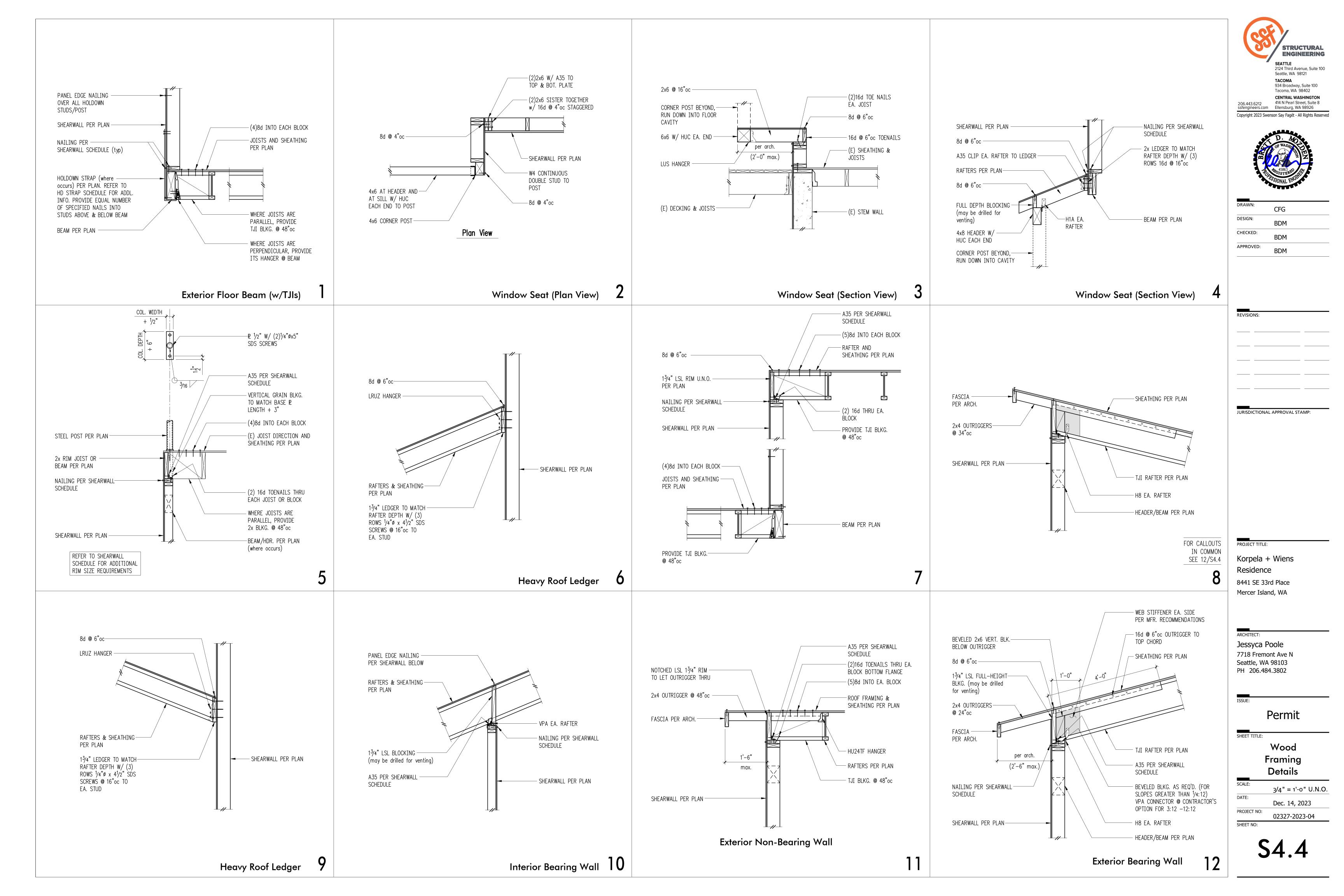
TOP CHORD SPLICE-

(12)16d @ 4"oc IN

(2) ROWS AT EA. SIDE OF SPLICE







# NW 1/4, SW 1/4, SECTION 07, TOWNSHIP 24 NORTH, RANGE 05 EAST, W.M. KORPELA RESIDENCE CALL BEFORE YOU DI

# 8441 SE 33RD PL MERCER ISLAND, WA 98040

#### OWNER

NATHAN KORPELA 8441 SE 33RD PL MERCER ISLAND, WA 98040 206.992.0790 CONTACT

#### CONSULTANTS

SOIL/GEOTECH ENGINEER ARCHITECT POOLE ARCHITECTURE ZIPPER GEO 7718 FREMONT AVE N 19019 36TH AVE W, SUITE E SEATTLE, WA 98103 LYNNWOOD, WA 98036 206.484.3802 425.582.9928 CONTACT: JESSYCA POOLE **CONTACT: DAVID WILLIAMS** 

**SURVEYOR CIVIL ENGINEER** CG ENGINEERING SITE SURVEYING, INC 250 4TH AVE S, SUITE 200 **21923 NE 11TH STREET** EDMONDS, WA 98020 SAMMAMISH, WA 98074 425.778.8500 FAX 778.5536 425.298.4412 CONTACT: THOMAS N WOLDENDORP

#### LEGAL DESCRIPTION

LOT 29, PARKRIDGE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 78 OF PLATS, PAGES 29 AND 30, RECORDS OF KING COUNTY, WASHINGTON;

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

#### **BENCHMARK**

THE PLAT OF PARKRIDGE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 78 OF PLATS, PAGES 29 AND 30, RECORDS OF KING COUNTY, WASHINGTON.

DATUM NAVD 88



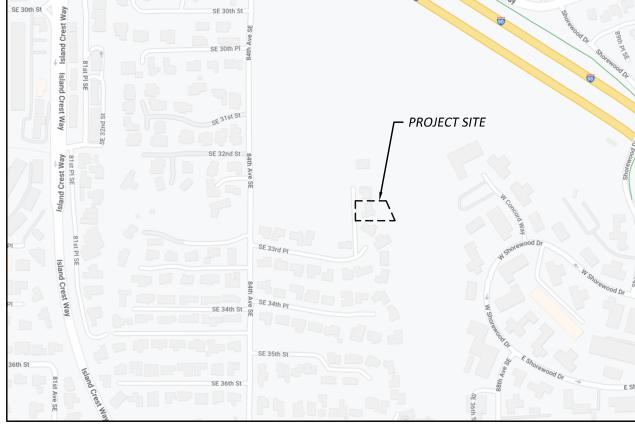
CALL BEFORE YOU DIG! NFORMATION SHOWN MAY NOT BE COMPLETE. CONTACT

1-800-424-5555

THE ONE- CALL UTILITY LOCATE SERVICE A MINIMUM OF 48

HOURS PRIOR TO CONSTRUCTION

	SHEET INDEX
C1.1	COVER SHEET & GENERAL NOTES
C2.1	TEMPORARY EROSION CONTROL PLAN
C2.2	TEMPORARY EROSION CONTROL DETAILS
C3.1	GRADING & DRAINAGE PLAN
C3.2	GRADING & DRAINAGE DETAILS
C4.1	WATER & SEWER PLAN
C4 2	WATER & SEWER DETAILS









EDMONDS, WASHINGTON 98020 PHONE (425) 778-8500

FAX (425) 778-5536

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SHEET:

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# **GENERAL NOTES**

#### **GENERAL NOTES**

- 1. STANDARD SPECIFICATIONS:
- A. ALL WORK TO BE PERFORMED AND MATERIALS TO BE USED SHALL BE IN ACCORDANCE WITH THE WSDOT/APWA 2016 STANDARD SPECIFICATIONS AND STANDARD PLANS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION. AS APPLICABLE AND AS MODIFIED BELOW, AND UNLESS OTHERWISE NOTED, SHALL BE SUBJECT TO INSPECTION AND
- APPROVAL BY THE CITY OF MERCER ISLAND. B. LOCAL AMENDMENTS TO THE STANDARD SPECIFICATIONS, CONSISTING OF STANDARD DRAWINGS AND SPECIAL TECHNICAL CONDITIONS ARE REFERENCED IN THESE NOTES. COPIES OF THESE DOCUMENTS ARE AVAILABLE AT THE OFFICE OF THE CITY ENGINEER, CITY OF MERCER ISLAND, 9611 SE 36TH STREET, MERCER ISLAND, WA 98040.
- C. THESE SPECIFICATIONS SHALL BE APPLICABLE FOR, BUT NOT LIMITED TO, PUBLIC AND PRIVATE STREETS, DRIVEWAYS, PARKING LOTS, COMMERCIAL AND INDUSTRIAL DEVELOPMENTS, APARTMENTS, ETC. WORK IN PRIVATE DEVELOPMENTS SHALL CONFORM TO THE SAME STANDARDS OF WORKMANSHIP AND MATERIALS AS ARE SPECIFIED WITHIN THE CITY RIGHT-OF-WAY, EXCEPT AS INDICATED ON THE PLANS.

- PRIOR TO CONSTRUCTION, AND IN ADDITION TO ANY OTHER PERMITS REQUIRED, A CITY OF MERCER ISLAND "STREET USE PERMIT" MUST BE OBTAINED FOR ANY AND ALL WORK WITHIN THE CITY RIGHT-OF-WAY.
- IT IS A REQUIREMENT OF THE CITY OF MERCER ISLAND ENGINEERING DEPARTMENT, THAT AN APPROVED SET OF CONSTRUCTION PLANS FOR ALL WORK BE KEPT ON THE CONSTRUCTION SITE AT ALL TIMES DURING THE CONSTRUCTION PERIOD.

THE ENGINEERING DEPARTMENT CONSTRUCTION INSPECTOR 236-5300, OR 236-3587. (24-HR TAPED INSPECTION LINE) SHALL BE NOTIFIED24-HOURS PRIOR TO STARTING ANY TYPE OF CONSTRUCTION INCLUDING CLEARING, SANITARY SEWERS, WATER MAINS, STORM DRAINS, CURB AND UTTERS, SIDEWALKS, DRIVEWAYS, STREET GRADING AND PAVING.

#### CONTROL OF MATERIAL

THE SOURCE OF SUPPLY AND A DETAILED LIST OF EACH LIST OF EACH OF THE MATERIALS FURNISHED BY THE CONTRACTOR SHALL BE SUBMITTED TO THE CITY FOR APPROVAL PRIOR TO DELIVER. ONLY MATERIALS CONFORMING TO THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND APPROVED BY THE CITY SHALL BE USED IN THE WORK. TESTING OF MATERIALS MAY INCLUDE TESTS OF ACTUAL SAMPLES, MANUFACTURER'S CERTIFICATIONS, APPROVAL OF CATALOGUE CUTS, OR FIELD ACCEPTANCE REPORTS. TESTING OF MATERIALS FOR INCORPORATION IN PRIVATE WORK SHALL BE PERFORMED AT OTHER THAN CITY EXPENSE.

#### **EROSION AND SEDIMENTATION CONTROL**

- 1. THE IMPLEMENTATION OF THESE EROSION SEDIMENTATION CONTROL (ESC) PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE PERMIT HOLDER/CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED.
- 2. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES IN SUCH A MANNER AS TO INSURE THAT SEDIMENT-LADEN WATER DIES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS, AND MUST BE COMPLETED PRIOR TO ALL OTHER
- 3. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED (E.G. ADDITIONAL SUMPS, RELOCATION OF DITCHES AND SILT FENCES), AS NEEDED FOR UNEXPECTED STORM EVENTS. ADDITIONALLY MORE ESC FACILITIES MAY BE REQUIRED TO ENSURE COMPLETE SILTATION CONTROL. THEREFORE, DURING THE COURSE OF CONSTRUCTION IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES OVER AND ABOVE THE MINIMUM REQUIREMENTS AS MAY BE NEEDED.
- 4. THE ESC FACILITIES SHALL BE INSPECTED DAILY DURING NONRAINFALL PERIODS, EVERY HOUR (DAYLIGHT) DURING A RAINFALL EVENT AND AT THE END OF EVERY RAINFALL BY THE PERMIT HOLDER/CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING. IN ADDITION, TEMP. SILTATION PONDS AND ALL TEMP. SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH TIME THAT CLEARING AND OR CONSTRUCTION IS COMPLETED, PERMANENT DRAINAGE FACILITIES ARE OPERATIONAL, AND THE POTENTIAL FOR EROSION HAS PASSED.
- 5. ANY AREA STRIPPED OF VEGETATION, INCLUDING ROADWAY EMBANKMENTS WHERE NO FURTHER WORK IS ANTICIPATED FOR A PERIOD OF SEVEN (7) DAYS, SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED ESC METHODS (E.G. SEEDING, MULCHING, NETTING, EROSION BLANKETS, ETC...).
- 6. ANY AREAS NEEDING ESC MEASURE, NOT REQUIRING IMMEDIATE ATTENTION, SHALL BE
- 7. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN THE 48 HOURS FOLLOWING A STORM EVENT.
- 8. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER DOWNSTREAM SYSTEM.
- 9. STABILIZED CONSTRUCTION ENTRANCES AND WASH PADS SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL REQUIREMENTS SHALL BE ENFORCED BY THE INSPECTOR TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN OF SILT FROM CONSTRUCTION VEHICLES.
- 10. WHERE SEEDING FOR TEMPORARY EROSION CONTROL IS REQUIRED, FAST GERMINATING GRASSES SHALL BE APPLIED AT AN APPROPRIATE RATE. (E.G. ANNUAL OR PERENNIAL RYE APPLIED AT APPROXIMATELY 80 POUNDS PER ACRE).
- 11. WHERE STRAW MULCH FOR TEMPORARY EROSION CONTROL IS REQUIRED, IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF THREE INCHES.
- 12. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF MERCER ISLAND STANDARDS AND
- 13. EROSION/SEDIMENTATION CONTROL FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS IF DEPARTMENT OF ECOLOGY STORMWATER MANAGEMENT MANUAL, UNLESS OTHERWISE APPROVED BY THE CITY

#### **EROSION AND SEDIMENTATION CONTROL (CONT)**

- 14. A COPY OF THE APPROVED EROSION CONTROL PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN
- 15. TEMPORARY EROSION/SEDIMENTATION CONTROLS SHALL BE INSTALLED AND OPERATING PRIOR TO ANY GRADING OR
- 16. WHEREVER POSSIBLE, MAINTAIN NATURAL VEGETATION FOR SILT CONTROL
- 17. ALL CUT AND FILL SLOPES 5:1 (5 FEET HORIZONTAL TO 1 FOOT VERTICAL) OR STEEPER THAT WILL BE LEFT EXPOSED FOR MORE THAN 7 DAYS SHALL BE PROTECTED BY JUTE MATTING, PLASTIC SHEETING, MULCH, OR OTHER APPROVED STABILIZATION METHOD AND PROVIDED WITH ADEQUATE RUNOFF CONVEYANCE TO INTERCEPT RUNOFF AND CONVEY
- 18. OFF-SITE STREETS MUST BE KEPT CLEAN AT ALL TIMES. IF DIRT IS DEPOSITED ON THE PUBLIC STREET, THE STREET SHALL BE CLEANED. ALL VEHICLES SHALL LEAVE THE SITE BY WAY OF THE CONSTRUCTION VEHICLE ENTRANCE AND SHALL BE CLEANED OF MUD PRIOR TO EXITING ONTO THE STREET. SILT SHALL BE CLEANED FROM ALL CATCH BASINS WHEN THE BOTTOM HALF BECOMES FILLED WITH SILT.
- 19. ANY CATCH BASIN COLLECTING WATER FROM THE SITE, WHETHER THEY ARE ON OR OFF OF THE SITE, SHALL HAVE THEIR GRATES COVERED WITH FILTER FABRIC DURING CONSTRUCTION.
- 20. WASHED GRAVEL BACKFILL ADJACENT TO THE FILTER FABRIC FENCES SHALL BE REPLACED AND THE FABRIC CLEANED IF CLOGGED BY SILT. ALL INTERCEPTOR SWALES SHALL BE CLEANED IF SILT ACCUMULATION EXCEEDS ONE-QUARTER
- 21. IF ANY PORTION OF THE EROSION/SEDIMENTATION CONTROL ELEMENTS ARE DAMAGED OR NOT FUNCTIONING, OR IF THE CLEARING LIMIT BOUNDARY BECOMES NON-DEFINED, IT SHALL BE REPAIRED IMMEDIATELY.

#### STORM DRAINAGE CONSTRUCTION

#### STORM DRAINAGE PIPE:

- PIPE SHALL BE CONCRETE OR ALUMINUM METAL, WITHIN THE PUBLIC RIGHT OF WAY. CONCRETE PIPE UP TO AND INCLUDING 24" DIAMETER SHALL BE UNREINFORCED AND SHALL CONFORM TO ASTM C-14, TABLE II, EXTRA STRENGTH, RUBBER GASKETED. CORRUGATED ALUMINUM ALLOY CULVERT PIPE SHALL BE AASHTO M-196, M-197, M-211, AND M-219, HELICAL, GAUGES AND TYPES SHALL BE AS NOTED ON THE PLANS. REINFORCED PIPE SHALL CONFORM TO ASTM DESIGNATION C-76 UNLESS OTHERWISE SPECIFIED. STORM SEWER DETENTION PIPE GREATER THAN 24" DIAMETER SHALL BE RUBBER GASKETED, HELICAL CORRUGATED ALUMINUM PIPE. BEDDING TO BE CLASS "C". GAUGE OF PIPE WILL BE AS SHOWN ON THE PLANS. INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 7-04 OF THE SPECIFICATIONS AND MAY BE SUBJECT TO EXFILTRATION TEST.
- OTHER MATERIALS FOR STORM DRAINAGE CONSTRUCTION REQUIRE WRITTEN APPROVAL OF THE CITY ENGINEER.
- 3. BACKFILL RESTRICTIONS:
- A. BEDDING SHALL CONFORM TO STANDARD PLAN B-11 B. MINIMUM COVER OVER STORM DRAIN SHALL BE 18".
- C. TRENCH BACKFILL COMPACTED TO 95% OF MAXIMUM DENSITY SHALL BE REQUIRED WHEREVER TRENCH EXCAVATION IS MADE IN PAVED ROADWAY, SIDEWALK OR ANY OTHER AREA WHERE MINOR SETTLEMENT WOULD

#### 4. CATCH BASIN:

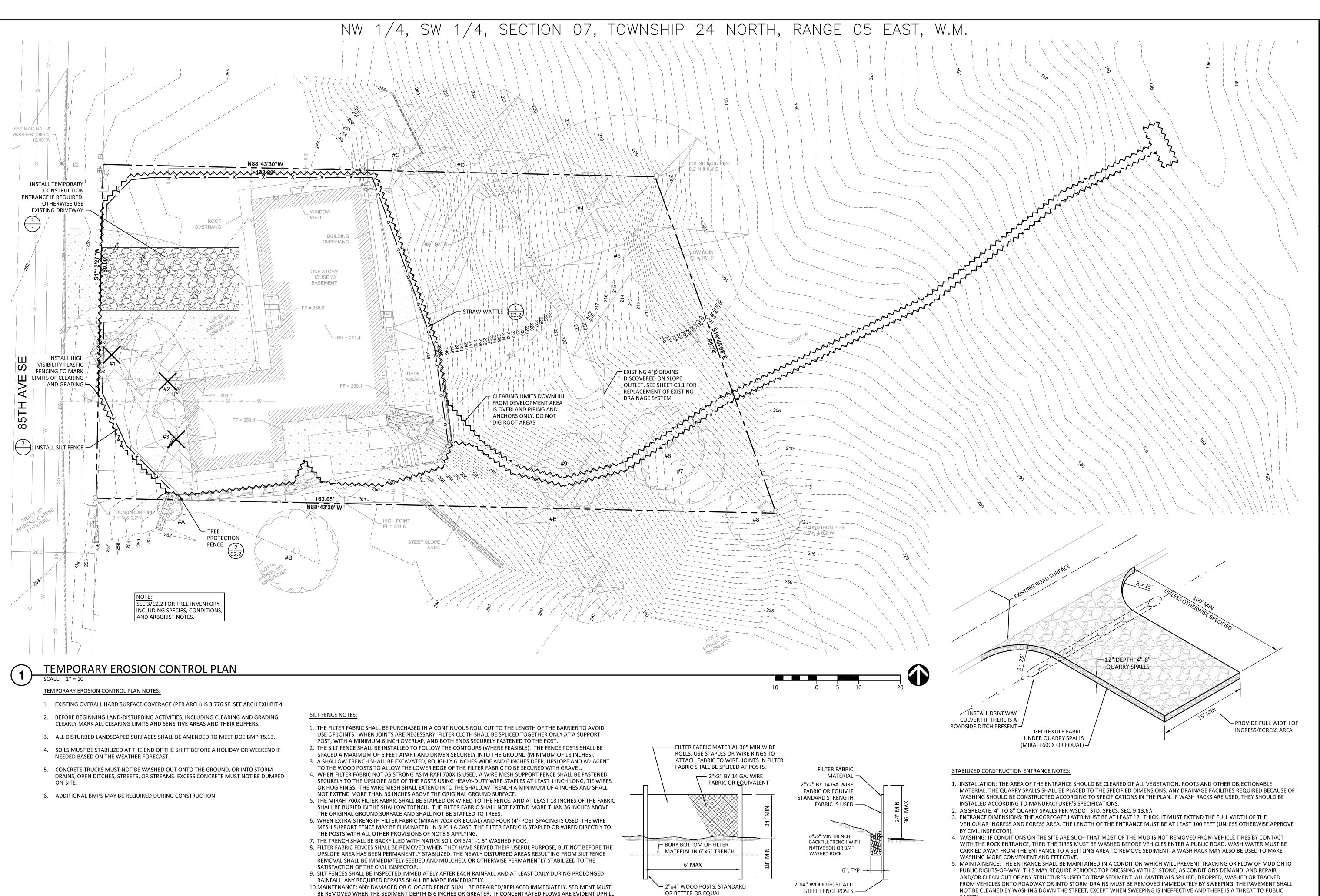
- A. TYPE 1, CATCH BASIN INLET SHALL CONFORM TO SECTION 7-05 OF THE STANDARD SPECIFICATIONS AND AS SHOWN ON STANDARD PLAN B-1. THE MAXIMUM DISTANCE TO INVERT IS 5'0" WITH A MAXIMUM PIPE DIAMETER UP TO 15" FOR CONCRETE PIPE, 18" FOR CMP. THE GRIT DROP CHAMBER IS A MINIMUM OF 18".
- B. TYPE 2, CATCH BASIN INLET SHALL CONFORM TO SECTION 7-05 OF THE STANDARD SPECIFICATION AND AS SHOWN ON STANDARD PLAN B-1B. MAXIMUM PIPE DIAMETER OF 24" FOR CONCRETE PIPE, 30' FOR CMP; A MINIMUM OF 8" BETWEEN HOLES. THE GRIT DROP CHAMBER IS A MINIMUM OF 24".
- CURB INLETS SHALL CONFORM TO SECTION 8-04 OF THE STANDARD SPECIFICATIONS AND AS SHOWN ON STANDARD PLAN B-41.

- A. COVERS FOR CATCH BASINS AND INLETS SHALL CONFORM TO OLYMPIC FOUNDRY CO. #SM50G OR EQUAL FOR SLOPES LESS THAN 3%. WHERE SLOPES EXCEED 3%, USE OLYMPIC FOUNDRY CO. #SM50V. GRATES SHALL BE DUCTILE IRON AND HAVE THE LETTERS "DUCTS" CAST IN THE COVER.
- B. SOLID COVERS FOR MANHOLES, WHERE PERMITTED, SHALL BE 24" DIAMETER, WITH "DRAIN" CAST IN COVER IN 2" LETTERS, CONFORMING TO OLYMPIC FOUNDRY CO. MH43, INLAND FOUNDRY NO. 835, OR APPROVED EQUAL.

#### C. DRAINAGE STRUCTURES NOT WITHIN PUBLIC RIGHT-OF-WAY SHALL HAVE LOCKING LIDS.

FRAMES FOR CATCH BASINS AND INLETS SHALL BE OF CAST IRON OR DUCTILE IRON CONFORMING TO OLYMPIC FOUNDRY CO. SM50 OR EQUAL. VANED GRATES(SM50V) SHALL BE INSTALLED WHERE SHOWN ON THE PLANS, EXCEPT THROUGH-CURB INLET FRAMES WHICH SHALL CONFORM TO OLYMPIC FOUNDRY CO. SM52 OR EQUAL.

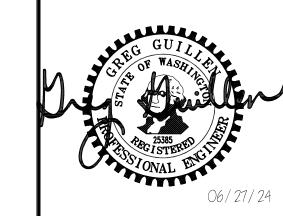
		LEGEND				
DESCRIPTION	EXISTING	PROPOSED		ABBREV	IATIONS	5
PROPERTY LINE			ABN	ABANDONED	MIN	MINIMUM
ADJACENT PROPERTY LINE			BLDG	BUILDING	MJ	MECHANICAL JOINT
CENTERLINE			BOW	BOTTOM OF WALL	MON	MONUMENT
CLEARING LIMITS		<b>~~~~~</b>	Ę.	CENTERLINE	NTS	NOT TO SCALE
SILT FENCE	XX	xx	СВ	CATCH BASIN	ОС	ON CENTER
CONTOUR LINE			СМР	CORRUGATED METAL PIPE	PC	POINT OF CURVATURE
FENCE			СО	CLEANOUT	PI	POINT OF INTERSECTION
SANITARY SEWER LINE	— → SS - → SS —	→ SS → SS —	CONC	CONCRETE	PIV	POST INDICATOR VALVE
MANHOLE	0	•	CONST	CONSTRUCTION	P	PROPERTY LINE
STORM DRAIN MAIN	$\longrightarrow$ $\rightarrow$ $-$ SD $\longrightarrow$ $-$ SD $\longrightarrow$	→ SD → SD —	СР	CONCRETE PIPE	PT	POINT OF TANGENCY
STORM DRAIN PIPE	>		CU YD	CUBIC YARD	PVC	POLYVINYL CHLORIDE PIPE
ROOF DRAIN	— — R — — R — — R —	R R	DDCVA	DOUBLE DETECTOR CHECK VALVE ASSEMBLY	PVI	POINT OF VERTICAL INTERSECTION
FOOTING DRAIN	— — — F — — F — — F —	F F	DI	DUCTILE IRON PIPE	PVMT	PAVEMENT
PRESSURE LINE	— — — P — — P — — P —	P P	DIA	DIAMETER	PVT	POINT OF VERTICAL TANG
CATCH BASIN (TYPE 1)			DIP	DUCTILE IRON PIPE	R	RADIUS
CATCH BASIN (TYPE 2)			EA	EACH	REINF	REINFORCEMENT
CLEANOUT	0	•	EJ	EXPANSION JOINT	RJ	RESTRAINED JOINT
CLEANOUT AND WYE			ELEV	ELEVATION	RET	RETAINING
GRADE BREAK			EOP	EDGE OF PAVEMENT	RT	RIGHT
SURFACE SWALE	· > · · · · ·	· >— · · >— · ·	EX	EXISTING	SD	STORM DRAIN
DRAINAGE ARROW			FDC	FIRE DEPT. CONNECTION	SECT	SECTION
WATER LINE			FFE	FINISHED FLOOR ELEVATION	SDMH	STORM DRAIN MANHOLE
WATER METER	$\blacksquare$	6	FH	FIRE HYDRANT	SIM	SIMILAR
FIRE HYDRANT	***	No.	FL	FLANGE	SQ	SQUARE
FDC	V	₩	FT	FEET/FOOT	SS	SANITARY SEWER
PIV	0	•	GV	GATE VALVE	SSMH	SANITARY SEWER MANHOLE
GATE VALVE	$\boxtimes$	<b>X</b>	HP	HIGH POINT	STA	STATION
TEE	Į,	工	HT	HEIGHT	STD	STANDARD
90° BEND	Ļ	Ļ	ID	INSIDE DIAMETER	STL	STEEL
THRUST BLOCKING	Δ	<b>A</b>	IE	INVERT ELEVATION	ТВ	THRUST BLOCK
CAP		L	L	LENGTH/LINE	тос	TOP OF CURB
CONCRETE PAVEMENT		Δ Δ Δ Δ Δ Δ Δ Δ Δ Δ Δ Δ Δ Δ Δ Δ Δ Δ Δ	LCPE	LINED CORRUGATED POLYETHYLENE PIPE	TOW	TOP OF WALL
ASPHALT PAVEMENT			LF	LINEAL FOOT	TOP	TOP ELEVATION
CRUSHED SURFACING			LP	LOW POINT	TYP	TYPICAL
ROCKERY	000000000	000000000	LT	LEFT	VC	VERTICAL CURVE
SPOT ELEVATION	20.0	20.0	MAX	MAXIMUM	W/	WITH
TELEPHONE LINE		тт	MECH	MECHANICAL	WM	WATER METER
POWER LINE	— — — E — — E — — E —	EE	МН	MANHOLE		
GAS LINE	— — — G — — G — — G —					
SIGN						

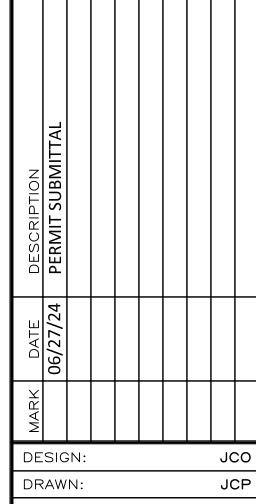


**ALTERNATE: STEEL FENCE POSTS** 

OF THE FENCE, THEY MUST BE INTERCEPTED AND CONVEYED TO A SEDIMENT TRAP OR POND.

EDMONDS, WASHINGTON 98020 PHONE (425) 778-8500 FAX (425) 778-5536





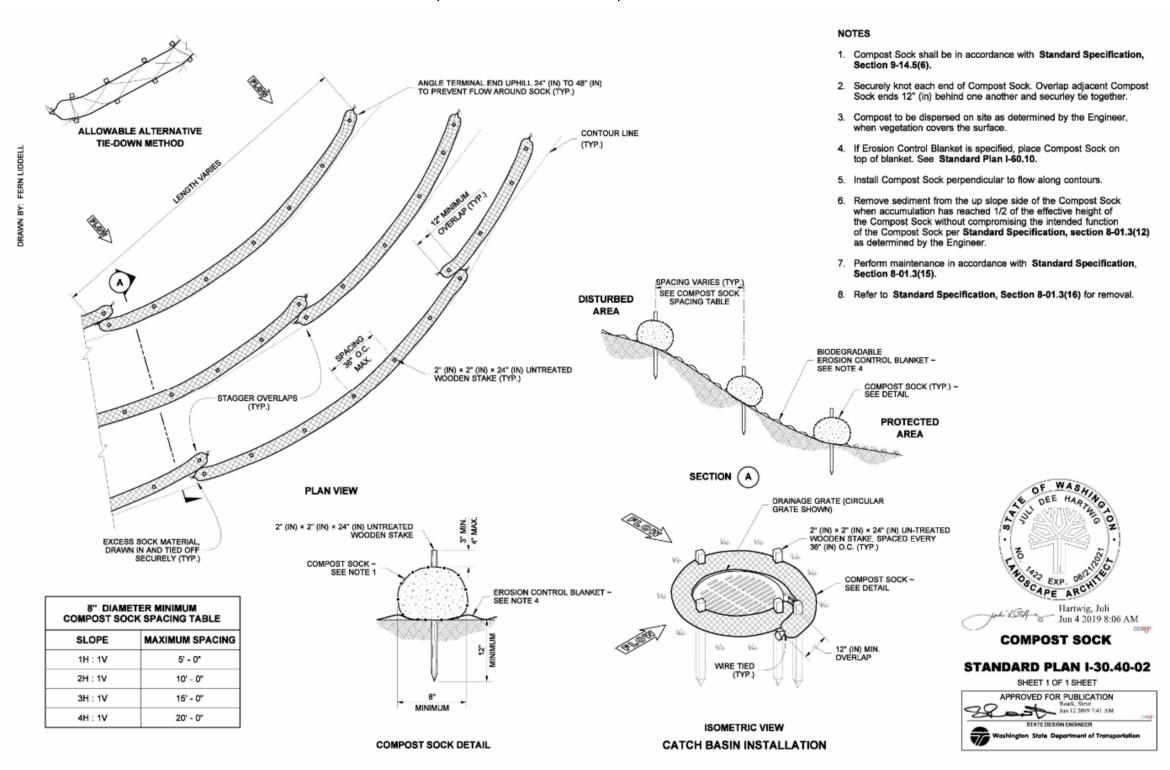
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> 980  $\mathbf{C}$

S RPI 41 КО 84. МЕ

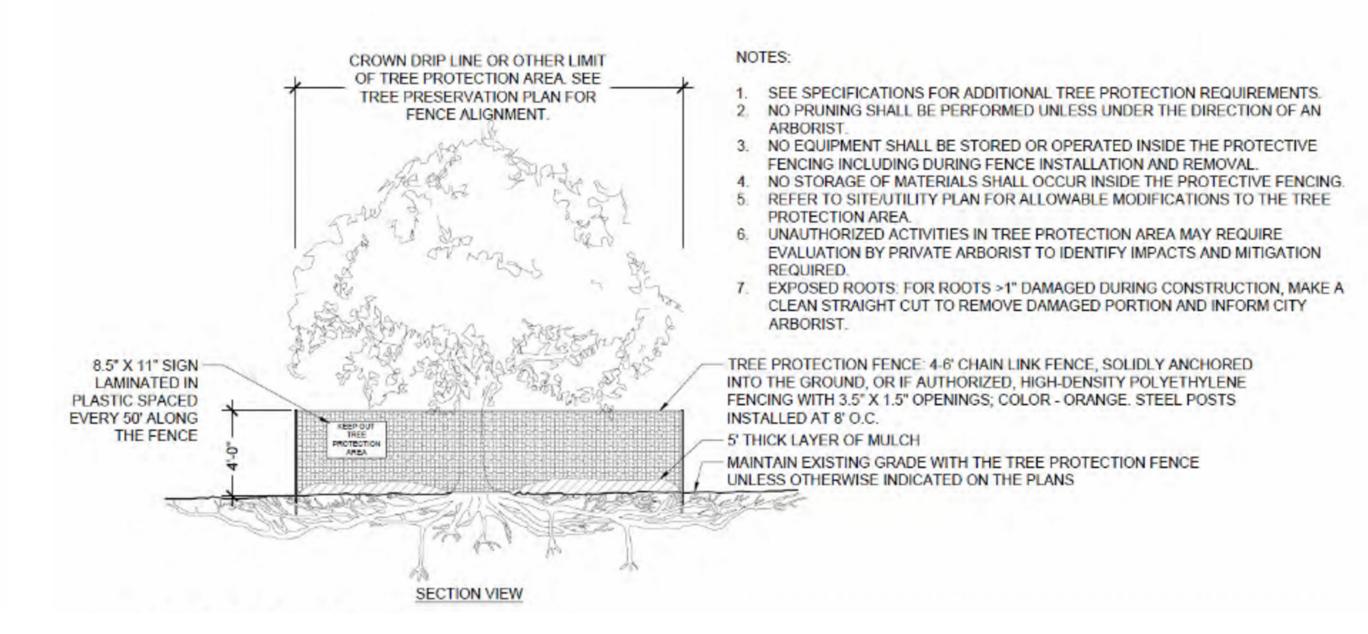
SHEET:

# NW 1/4, SW 1/4, SECTION 07, TOWNSHIP 24 NORTH, RANGE 05 EAST, W.M.



COMPOST STONE WSDOT STANDARD DETAIL

SCALE: NTS



Salish Restoration Associates

Tree Summary Table
For: Korpela Project
Salish Restoration Associates LLC
Date: 8/29/2023

For: Korpela Project Date: 8/29/2023
At: 8441 SE 33rd Pl Mercer Island, WA Inspector: Benjamin Mark

Regulated (Large) Trees: Greater than 10",
Exceptional trees: Per attached list. Trees on
neighboring properties - Drip-line and Limits of
Disturbance measurements from property lines
ISA TRAQ Risk Assessments were not carried out for any tree in this report.

**ON-SITE TREES** Limits of Disturbance Photo # REGULATED? Exceptional? Codominant stems forked at 10 feet 17 feet from the corner of the garage 4.5 feet from the corner of the garage. Evergreen Poor condition from extensive infection of nthracnose. 5 feet west of house Dominated by old growth Douglas fir to the south. Remnant old growth. Top blown out. On steep slope. Good flare and taper Very large crown. Corrugated drain pipe from Acer macrophyllum 32.8 house was found just north of its root flare. Deciduous Acer macrophyllum arge, dead, broken stems on the east side. Acer macrophyllum 24 Decay is present. Crown is off-balance to the east Acer macrophyllum 19

	NEIGHBORING TREES															
Tree/ Tag#	Evergreen/Deciduous	Common Name	Genus species	DBH Inches (Multistem calc.)	Healthy	Fair	Dead/Dying	Dripline			Limits of Disturbance	Photo #	REGULATED?	Exceptional?	Comments	
								N	S	E	W					
4	Evergreen	Portuguese laurel	Prunus lusitanica	8, 8, 8 (13.8)	✓			8				4n	9	Yes	No	4' stone retaining wall just to the north and west.
3	Deciduous	Japanese maple	Acer palmatum	8, 8, 8, 6 (15)	✓			10			19	6n	10	Yes		Rock retaining wall on subject property 6' to the north of this tree. It's lowest branch slightly overhangs the existing house 6' above the south gutter line.
0	Evergreen	Western red cedar	Thuja plicata	21.7	✓				17		17	12s, 20e, 12w		Yes	YES	Root flare buried by failing wood retaining wall. Corner of house is 12 feet to the southwest.
)	Evergreen	Douglas fir	Pseudotsuga menzeisii	45.4	✓				23		17	20nsew	11	Yes	YES	Low live crown ratio, top blown out. Girdling sten at 80 feet. Trunk is under rolled on the east side.
Ē	Evergreen	Douglas fir	Pseudotsuga menzeisii	19	✓			8				10n	12	Yes	YES	Top blown out at 55 feet. Canopy mostly extends to the east and west

TREE INVENTORY (PER SALISH RESTORATION ASSOCIATES)

SCALE: NTS





							,0,2	-1, 2	,
DESCRIPTION	PERMIT SUBMITTAL								
	06/27/24								
MARK									
DE	SIG	N:						JC	
DR	:AW	N:						JC	)F
СН	IEC	K:						JF	٦
JO	В	NO	:			23	335	4.2	20
	DATE MARK DATE	DATE DATE DATE O6/27/24	D D D D D D D D D D D D D D D D D D D	DATE  NARK DATE  S	DATE  DATE  DATE  SOLUTION  DATE  DATE  DATE  SOLUTION  DATE  DATE	DATE  DATE  DATE  SO OF	DATE DATE DATE O6/27/24 O6/27/24	DATE DATE DATE O6/27/24  CHECK:  DRAWN:  CHECK:	DESIGN: DESIGN

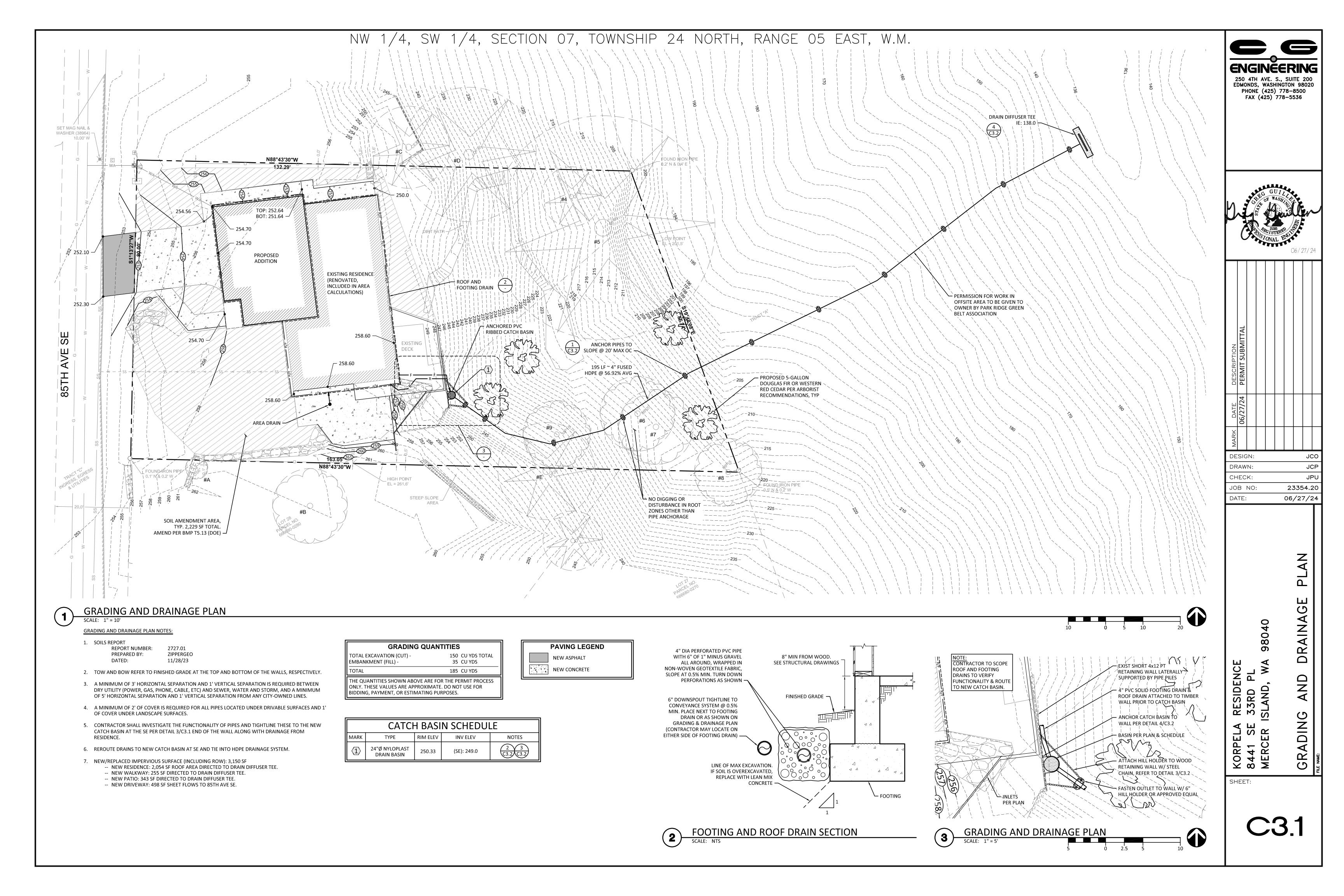
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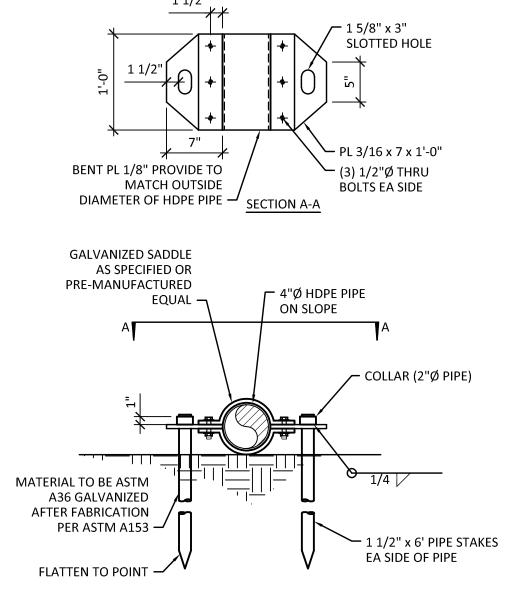
DATE:

KORPELA RESIDENCE 8441 SE 33RD PL MERCER ISLAND, WA 98040 TEMPORARY EROSION CONTROL DETAILS

SHEET:

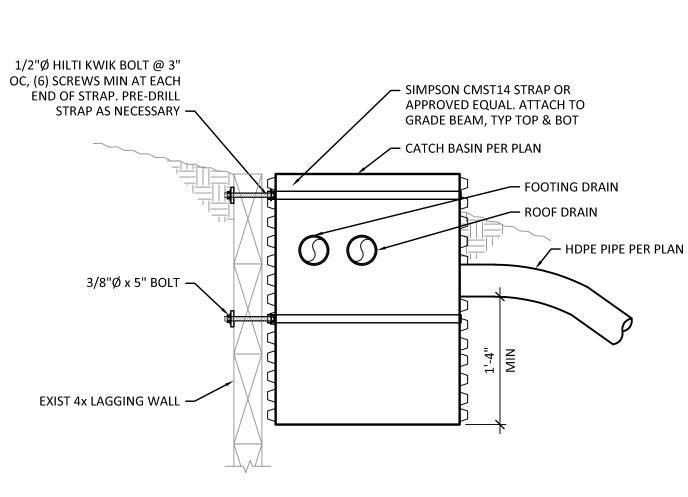
C2.2





PIPE ANCHOR DETAIL

5/8"Ø x 8" SHOULDER EYE BOLT DRILL THRU LAGGING & INSTALL SIMPSON BP 5/8-3 EXIST 4x LAGGING **−** 3/8"Ø x 5" BOLT BEARING W/ NUT -WALL -HAND TIGHTED 1/2"
GALV TURNBUCKLE FOR TENSION - 24"Ø NYLOPLAST DRAIN BASIN GROM 4B-1 PIPE GROMMET IN 4"Ø PER DETAIL 1/5, OR PVC ULTRA-RIB PUMP BASIN (rcworst.com), OR HOLE FOR 4" HDPE — APPROVED EQUAL ─ 1/4"Ø GALV CHAIN ─ 1/4"Ø QUICKLINK CONNECTOR FOR CHAIN CONNECTION THROUGH SLOTTED HOLE SEE HILLSIDE PIPE ANCHOR DETAIL



 2" MINUS CLEAN CRUSHED ROCK PAD DRAIN DIFFUSER TEE DETAIL

 PIPE ANCHORS TO BE SECURED TO THE EXISTING SLOPE PER MANUFACTURER/ CONTRACTOR RECOMMENDATIONS OR @ MAXIMUM SPACING OF 30' OC

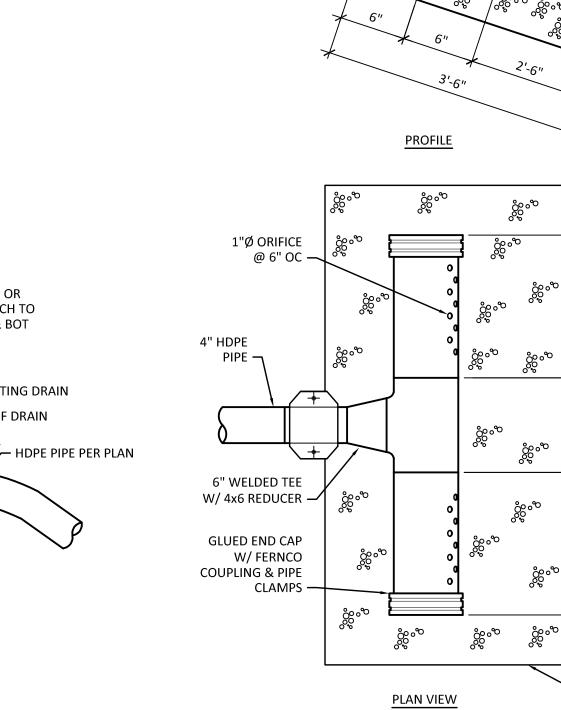
> **CUT OUT UPPER HALF** OF EACH END CAP

FOR WEIR EFFECT -

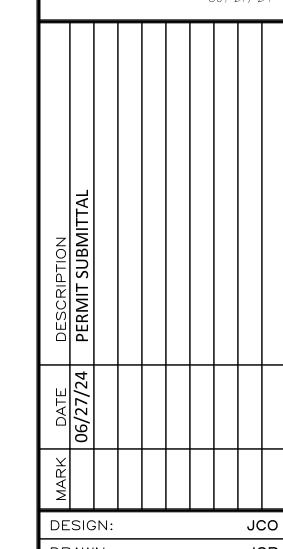
1"Ø DRILLED

HOLES @ 6" OC. LONGITUDINALLY

OFFSET TOP &
BOTTOM ROWS
BY 2"



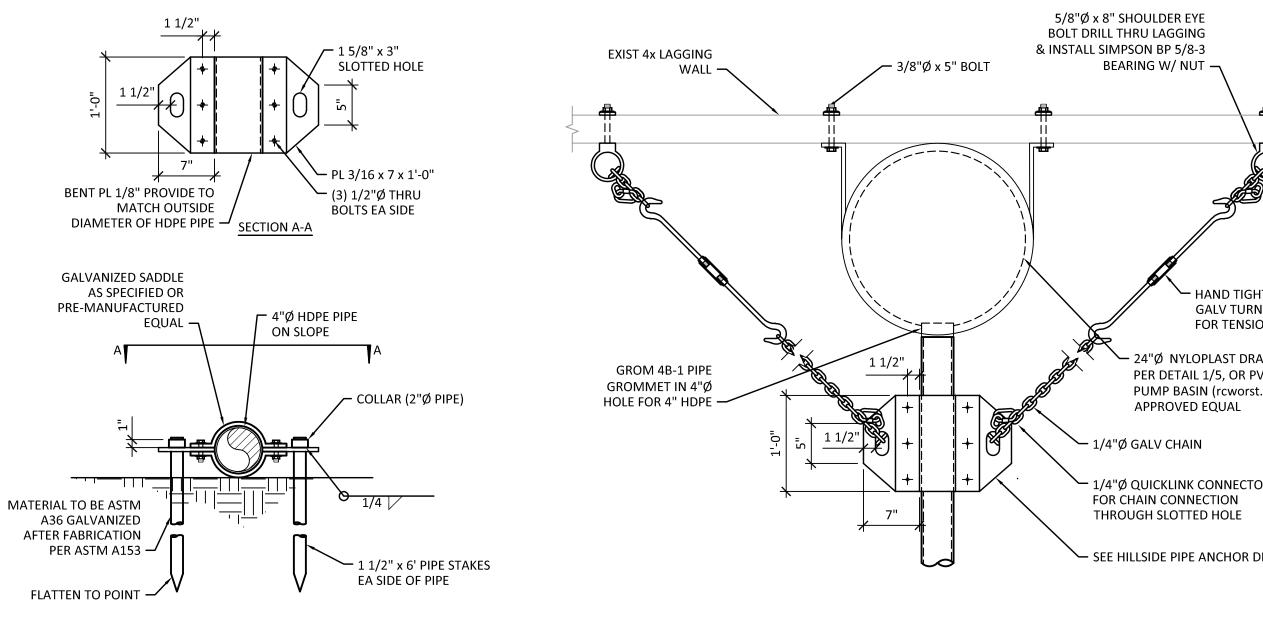
250 4TH AVE. S., SUITE 200 EDMONDS, WASHINGTON 98020 PHONE (425) 778-8500 FAX (425) 778-5536

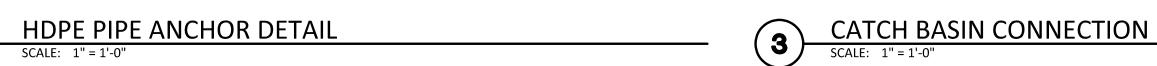


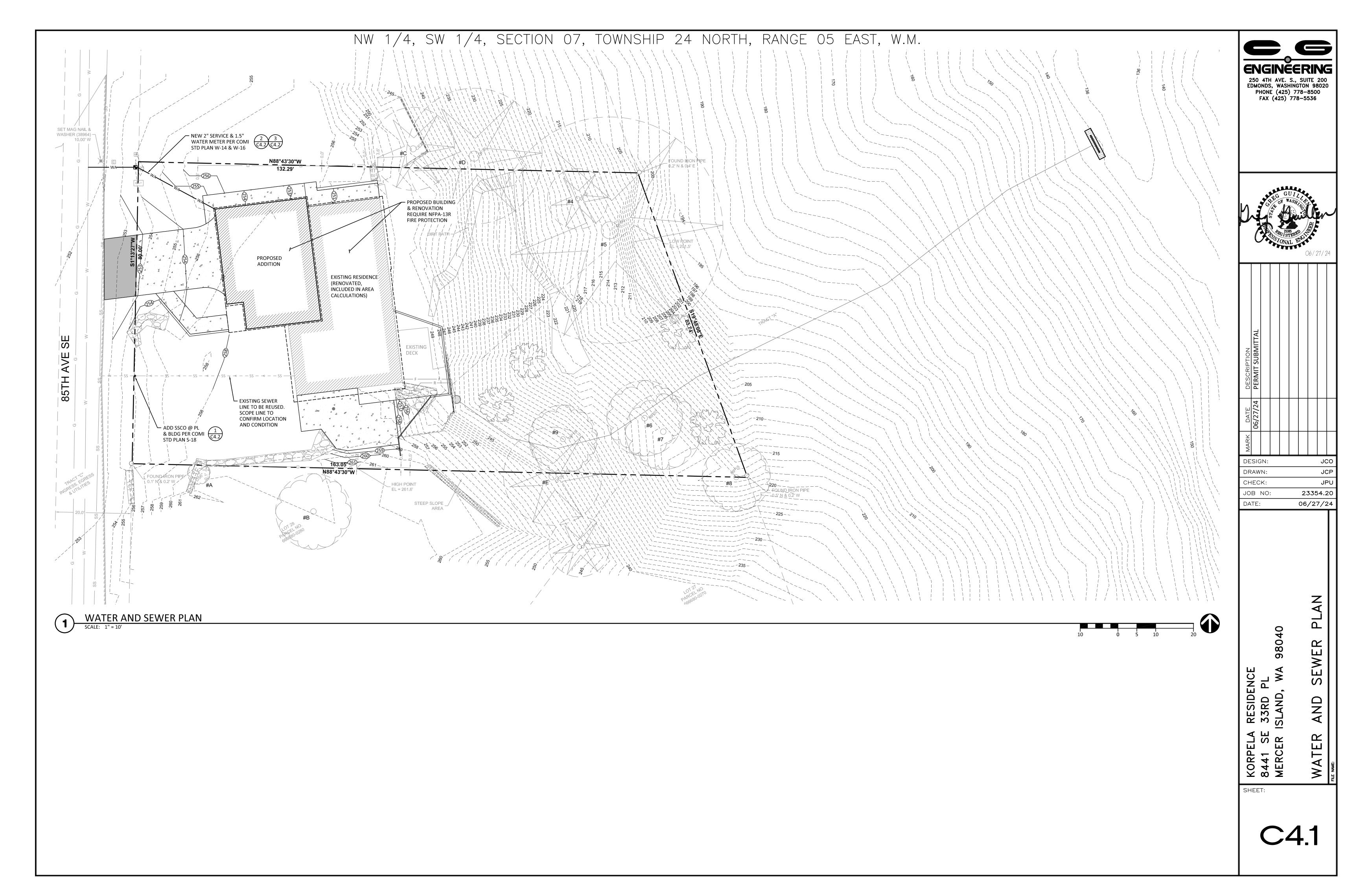
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AND

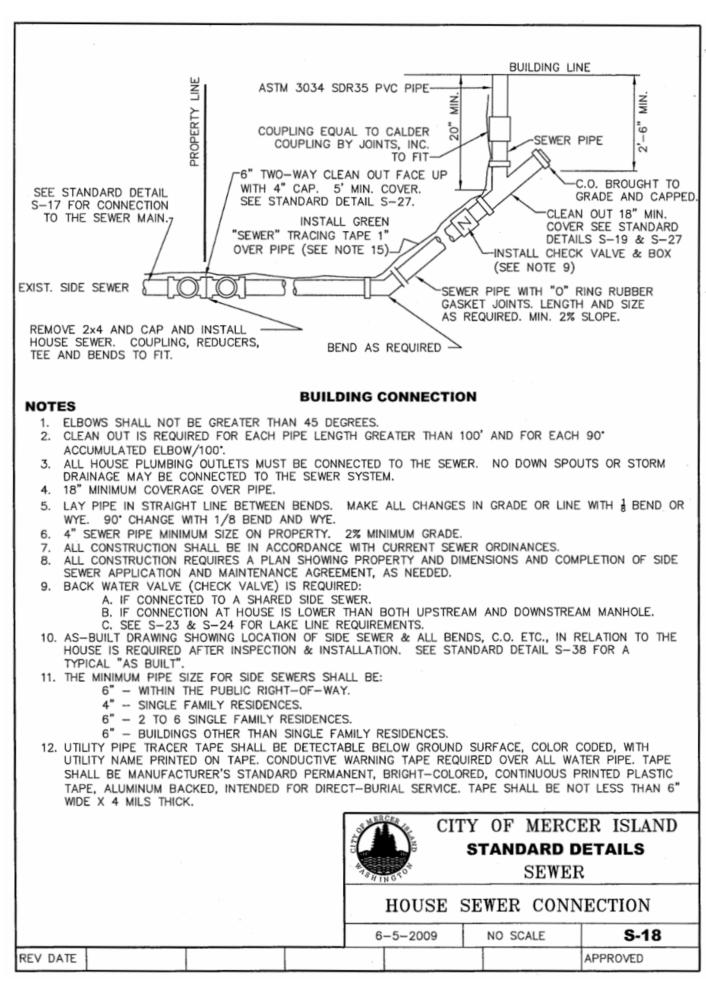
GRADING



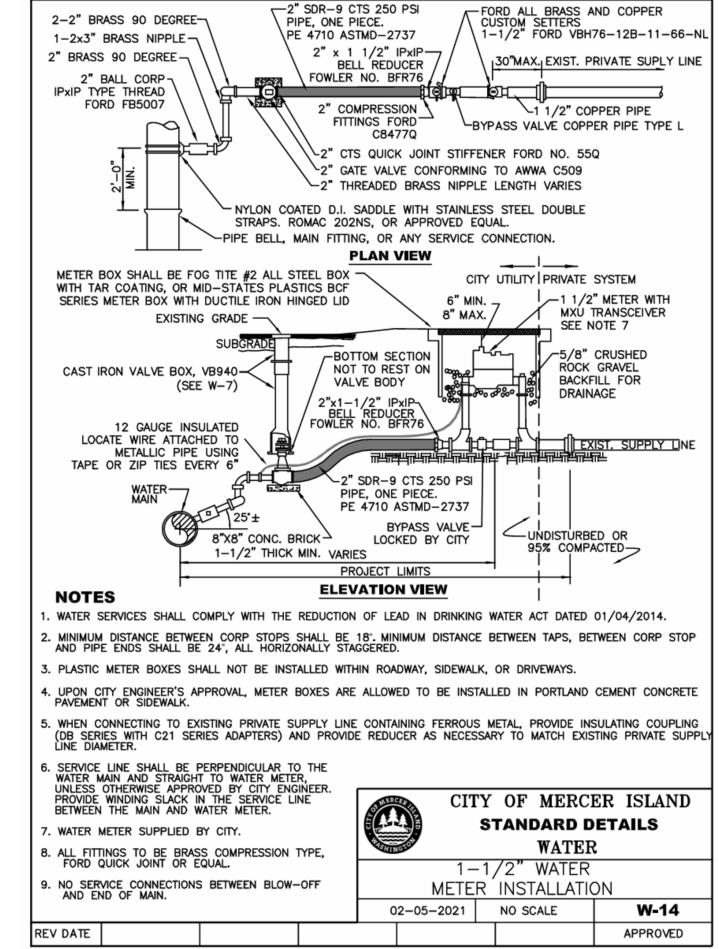


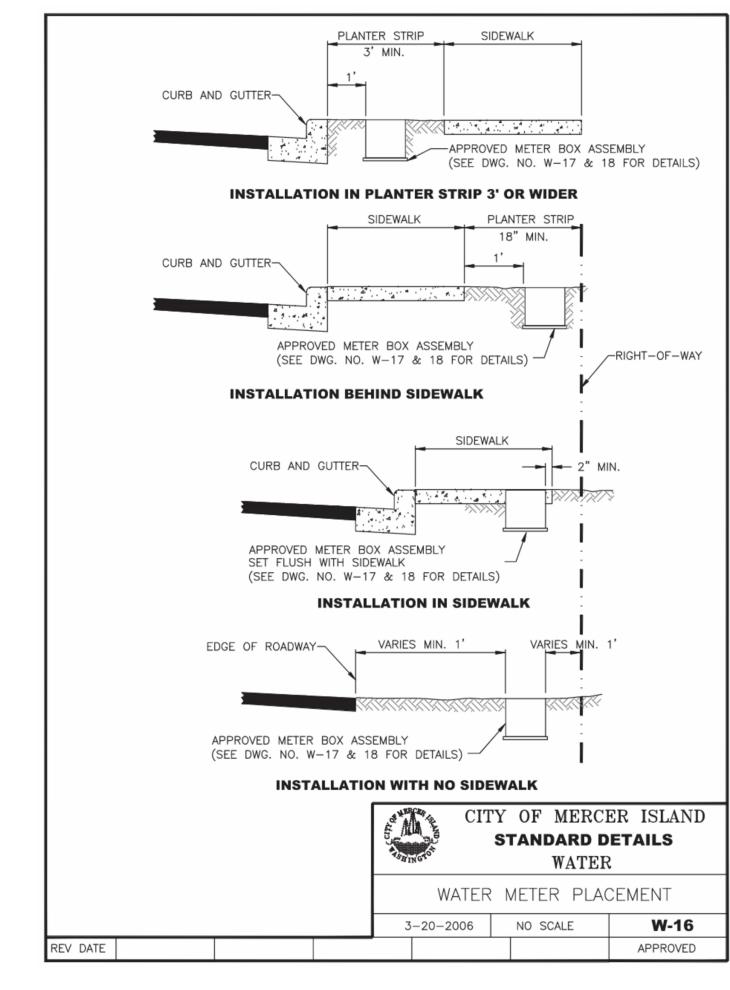


# NW 1/4, SW 1/4, SECTION 07, TOWNSHIP 24 NORTH, RANGE 05 EAST, W.M.

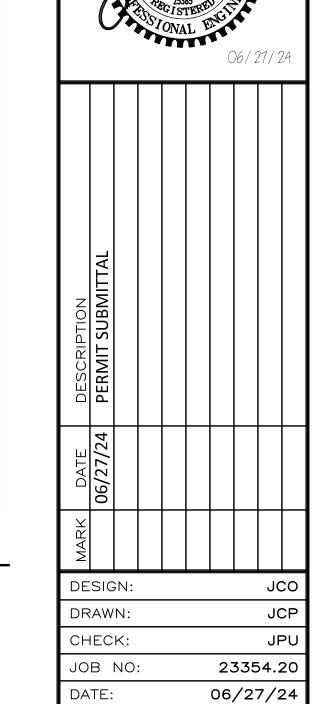


CITY OF MERCER ISLAND STANDARD DETAIL









250 4TH AVE. S., SUITE 200

EDMONDS, WASHINGTON 98020

PHONE (425) 778-8500

FAX (425) 778-5536

RESIDENCE 33RD PL ISLAND, WA

