

CITY OF MERCER ISLAND

Community Planning & Development

9611 SE 36TH STREET | MERCER ISLAND, WA 98040
PHONE: 206.275.7605 | www.mercerisland.gov



INSPECTION REQUESTS:

online:



voicemail: (206) 275-7730

NOTE: ALL RECORDS AND DRAWINGS ARE SUBJECT TO PUBLIC DISCLOSURE AS REQUIRED BY RCW 42.56

CONTACT INFORMATION:

Applicant is to complete the following information.

Applicant Contact information prior to permit issuance: Name, Address, Phone, Email
Applicant Contact information post permit issuance: Name, Address, Phone, Email

REQUIRED SPECIAL INSPECTIONS / STRUCTURAL OBSERVATIONS:

It is the Engineer of Record's responsibility to specify all required Special Inspections or Structural Observation (check items below). The owner is responsible for hiring an approved private Special Inspector for the checked inspections noted below.

STRUCTURAL OBSERVATION BY ENGINEER OF RECORD (EOR): Engineer of Record, Company, Phone, General Conformance to Construction Documents, Other

SOILS / GEOTECHNICAL: Special Inspector, Company, Phone, Erosion control measures, Subsurface drainage placement, Shoring installation and monitoring, Verify fill material and compaction, etc.

REINFORCED CONCRETE: Special Inspector, Company, Phone, Concrete strength, Retaining wall construction, Reinforcing steel and concrete placement, etc.

STRUCTURAL STEEL: Special Inspector, Company, Phone, Fabrication and shop welds, Moment Frame construction, Structural steel erection, field welds and bolting, etc.

STRUCTURAL MASONRY: Special Inspector, Company, Phone, Mortar strength, Glass unit masonry installation, Masonry unit strength, Wall panel and veneer installation, etc.

WOOD: Special Inspector / Engineer of Record, Company, Phone, Lateral resisting system construction, High strength diaphragm construction, etc.

OTHER SPECIAL INSPECTIONS: Special Inspector, Company, Phone, Epoxy grout installations, Stucco installation, Expansion anchor installations, Infiltration System, etc.

DEFERRED SUBMITTALS:

The Applicant is required to select all deferred submittals / shop drawings for submittal to the City for review and approval prior to item fabrication / construction.

Connector plate wood trusses, Post tension layout, Metal joist / metal trusses, Exterior cladding, etc.

ENERGY CODE COMPLIANCE INFORMATION:

Indicate where the following information is located in the drawing set. Alternatively, incorporate or include the Residential Energy Code Prescriptive Compliance (RECPC) Form into the drawing set.

Building envelope, Air Leakage Testing, Whole house ventilation, Duct Leakage Testing, Energy Credit Information, Postconstruction Test, etc.

TO BE COMPLETED BY CPD

PROJECT ALERTS: Construction of the project shall be from approved plans only. No deviation from the approved project plans is allowed without prior approval from the City of Mercer Island.

TREE PROTECTION REQUIREMENTS: Tree protection as shown on approved drawings shall be installed at tree dripline prior to start of any site work and must remain in place throughout the project.

FIRE PROTECTION REQUIREMENTS: Separate Permits are required for ALL fire protection systems. Fire Sprinkler, Monitored Household Fire Alarm, etc.

WATER SUPPLY REQUIREMENTS: Fire sprinkler design calculations must be provided prior to determining water supply system requirements. Water Supply system upgrade required, etc.

DRAINAGE REQUIREMENTS: On site detention system required, Direct discharge into the lake, No Storm Water permit required, etc.

SIDE SEWER REQUIREMENTS: Side sewer requires a backflow preventer when connecting to the lake line or when the elevation of the lowest plumbing fixture is lower than the elevation of the upstream manhole rim.

APPROVED CODE ALTERNATIVES: Code alternatives must be inspected. Refer to the Inspection Checklist. CA1, CA2

SURVEY REQUIREMENTS: Surveyor shall verify points chosen for height calculations and point verification shall be submitted at the time of City foundation inspection.

MAXIMUM 40 PERCENT ALTERATION INSPECTION: A Building Inspection prior to demolition is required for all legally nonconforming single family dwelling to ensure no more than 40 percent of the dwelling's exterior walls are structurally altered.

GEOTECHNICAL INFORMATION: Land clearing, grading, filling and foundation work within geologic hazard areas is NOT PERMITTED between October 1 and April 1 without an approved Seasonal Development Limitation Waiver.

SEASONAL DEVELOPMENT LIMITATION RESTRICTION: Applies (Geologic Hazard area). Grading not permitted between October 1 through April 1.

Geotechnical Engineer, Permit number, Approved by, Date

TO BE COMPLETED BY CPD

TO BE COMPLETED BY CPD

REQUIRED CONSTRUCTION INSPECTIONS: Inspector shall initial and date appropriate inspection only if approved. Tree protection, Sewer disconnect and cap, Storm drainage, etc.

TO BE COMPLETED BY CPD

Final Inspection: Tree Restoration, Fire protection, Fuel Tank Installation, Fire Extinguishing System, etc.

90 DAY TEMPORARY CERTIFICATE OF OCCUPANCY (TCO): Applicant option. Additional fees will be required and must be approved prior to occupancy.

Approved, Start Date, End Date

ADDITIONAL REQUIRED CITY INSPECTIONS: Call the appropriate contact to arrange the inspection. Required Inspection(s), Contact, Phone, Scheduling

IMPACT FEES: Impact fees apply and are due prior to Final Inspection or on Date, whichever occurs first. PLAN REVIEW APPROVALS: Not all review disciplines may be required to review the documents.

TO BE COMPLETED BY CPD

TO BE COMPLETED BY APPLICANT



CERTIFICATE OF OCCUPANCY Issued after all required inspections have been performed and approved.

PROJECT NAME: PROJECT ADDRESS:

APPROVED DRAWINGS MUST BE KEPT ON THE BUILDING SITE AT ALL TIMES REVIEWED FOR CODE COMPLIANCE

PERMIT NUMBER

Approved, Date

Approved, Date

Approved, Date

Approved, Date

PROJECT INFORMATION

PROJECT OWNER:
NATHAN KORPELA AND SHAUNNA WIENS
8441 SE 33rd PL
Mercer Island, WA

PROPERTY ADDRESS:
SAME AS ABOVE

PROPERTY TAX ACCOUNT NO.:
666680-0290

LEGAL DESCRIPTION:
PARKRIDGE ADD AND UND INT IN TR C
PLAT BLOCK
PLAT LOT 29

PROJECT TEAM:
ARCHITECT:
JESSYCA POOLE
POOLE ARCHITECTURE
7718 FREMONT AVE N
SEATTLE, WA 98103
CELL: 206-484-3802

STRUCTURAL ENGINEER:
BRETT MOZDEN
SWENSON SAY FAGET
2124 THIRD AVE. SUITE 100
SEATTLE, WA 98121
PHONE: 206-443-6212

GENERAL CONTRACTOR:
TBD

GSF: ALLOWABLE 40% OF LOT AREA = 4(11814) = 4726
BASEMENT: 503 (SEE BASEMENT FLOOR AREA CALCS)
1ST FLOOR (ALL CEILINGS <12'): 1257
GARAGE >250SQFT: 372 SQFT
2ND FLOOR: 710 < 12'
PORTION OF 2ND FLR >12' BUT <16': 50X1.5= 75 SQFT
TOTAL PROPOSED: 2917 [OK]

HEATED FLOOR AREA
BASEMENT EXIST: 1185
BASEMENT PROPOSED: 1046
1ST EXIST: 1437
1ST PROPOSED: 1195
2ND PROPOSED: 688
TOTAL EXIST: 2622
TOTAL PROPOSED: 2925

ENERGY CODE COMPLIANCE - 2021 WESC RESIDENTIAL
PERSCRPTIVE PATH
NEED 5.0 CREDITS FOR ADDITION TO EXIST BUILDING GREATER THAN 500 SQFT BUT LESS THAN 1500 SQFT

ENERGY EQUALIZATION CREDITS:
SYSTEM TYPE 3 (1.5 CREDITS)- INITIAL HEATING SYSTEM USING A HEAT PUMP AND SUPPLEMENTAL HEATING PROVIDED BY COMBUSTION FURNACE. EXEMPT MINIMUM STANDARDS LISTED IN TABLE C403.3.2(5) FOUND IN 2021 WESC COMMERCIAL ENERGY CODE

OPTION 3.2 (.5 CREDITS) AIR SOURCE CENTRALLY DUCTED HEAT PUMP WITH MINIMUM (HSPF 9.5) HSPF2 8.5
OPTION 6.1 (3.0 CREDITS) SOLAR ELECTRIC SYSTEM GENERATING MINIMUM OF 3600KW ANNUALLY (SEE UPLOADED SOLAR REPORT FOR DOCUMENTATION AND SITE PLAN SHEET A1 FOR PROPOSED SOLAR ARRAY LOCATION)

5.0 CREDITS TOTAL PROPOSED [OK]
2. NOTE ALL NEW EXTERIOR WINDOWS, GLAZED EXTERIOR DOORS AND SKYLIGHTS TO BE NFRC CERTIFIED.
3. A MINIMUM OF 90 PERCENT OF PERMANENTLY INSTALLED LAMPS SHALL BE HIGH EFFICACY LUMINAIRES
4. PROVIDE A PROGRAMMABLE THERMOSTAT FOR THE PRIMARY SPACE CONDITIONING SYSTEM WITHIN EACH DWELLING UNIT PER SEC R403.1.1.

ROOF VENTING
VENTING REQ'S BASED ON 1/3 OF ROOF AREA PROVIDED THAT:
1. CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM-IN WINTER SIDE OF THE CEILING.
2. AT LEAST 40% BUT NOT MORE THAN 50% OF THE VENTING IS PROVIDED BY VENTS LOCATED IN THE UPPER PORTION OF THE RAFTER SPACE.

ROOF 1 @ 2ND FLOOR ADDITION:
760 SQ.FT. VENTED AREA/300 = 2.5 SQ.FT. = 360 SQ.IN. REQ'D
UPPER AND LOWER EAVE VENTS = 24" L x W / 12" SQ.IN. / FT NFA
24"X2(12SQ.IN.) = 576 SQ.IN. NFA - OK
(UPPER EAVE VENTING = 50% TOTAL VENTING - OK)

ROOF 2 @ FIRST FLOOR:
751 SQ.FT. VENTED AREA/300 = 2.5 SQ.FT. = 360 SQ.IN. REQ'D
LOWER EAVE VENT=18"-8" WITH 12SQ.IN./FT NFA
18.66'X12SQ.IN. = 233SQ.IN. NFA

UPPER EAVE VENT = PROVIDE 18"
18"X12SQ.IN. = 216 SQ.IN. NFA
TOTAL VENTING AREA = 233 + 216 = 449SQ.IN. NFA - OK
(UPPER EAVE VENTING = 216SQ.IN.=48% TOTAL NFA - OK)

ROOF 3 @ FIRST FLOOR:
371 SQ.FT. VENTED AREA/300 = 1.2 SQ.FT. = 173 SQ.IN. REQ'D
UPPER EAVE-USE COR-A-VENT ROOF-2-WALL WITH 6.75 SQ.IN. NFA PER 12"
19"X6.75SQ.IN. = 128 SQ.IN. NFA (MUST BE 40-50% TOTAL NFA)

LOWER EAVE VENT = PROVIDE 12" VENTING AT EAVE
12"X12SQ.IN. = 144 SQ.IN.NFA
TOTAL VENTING AREA = 128+144= 272 SQ.IN. NFA - OK
(UPPER EAVE VENTING = 128SQ.IN.= 47% TOTAL NFA - OK)

ARCHITECTURAL DRAWING INDEX
A1 PROJECT INFORMATION, SITE PLAN, SITE DIAGRAMS
A1.5 DEMOLITION PLANS
A2 AS BUILT FLOOR PLANS AND ELEVATIONS
A3 PROPOSED BASEMENT FLOOR PLAN
A4 PROPOSED FIRST FLOOR PLAN
A5 PROPOSED SECOND FLOOR PLAN
A6 ELEVATIONS
A7 ELEVATIONS AND WINDOW+DOOR SCHEDULE
A8 BUILDING SECTIONS, DETAILS

LOT SLOPE
261.6 HIGH POINT, 201.5 LOW POINT PER SURVEY
60/97.8' = 61% SLOPE

9% HARDSCAPE ALLOWED
20% LOT COVERAGE ALLOWED
80% REQUIRED LANDSCAPING AREA

LOT SIZE =11,814 SQFT

ALLOWABLE LOT COVERAGE = 20% (11,814) = 2,362.8
HOUSE + GARAGE INCL EAVES = 2,656
DRIVEWAY = 818.7
TOTAL EXIST = 3474.7
TOTAL OVER = 1,112
DEMO EXIST GARAGE + EAVES = 653 SQFT
DEMO EXIST DRIVEWAY = 817 SQFT
DEMO EXIST PORTION OF HOUSE + EAVES = 643
CAN REPLACE 1/2 (2113) = 1056 SQFT

REMAINING LEFT= 1375 + 1056 =2431 ALLOWED

PROPOSED:
ROOF AREA 1(INCL EAVES)= 834 SQFT
ROOF AREA 2 (INCL EAVES)= 1212 SQFT
DRIVEWAY 364 SQFT
TOTAL = 2410 [OK]

ALLOWABLE HARDSCAPE COVERAGE = 9% = 1,063

CURRENT HARDSCAPE COVERAGE = 1101
ROCKERIES - 147
DECKS AND PATIOS - 364 (REMOVE 142 SQFT PATIO)
GRAVEL PATHS - 512(REMOVE)
STAIRS - 78 (REMOVE)

PROPOSED REMAINING
ROCKERIES - 147
DECKS AND PATIOS - 222
GRAVEL PATHS - 0
STAIRS - 0
NEW PATHS + RETAINING WALLS = 181+116 = 297 SQFT
NEW PATIO = 294 SQFT
DECK ADDITION = 52 SQFT
TOTAL PROPOSED = 1012 SQFT - OK

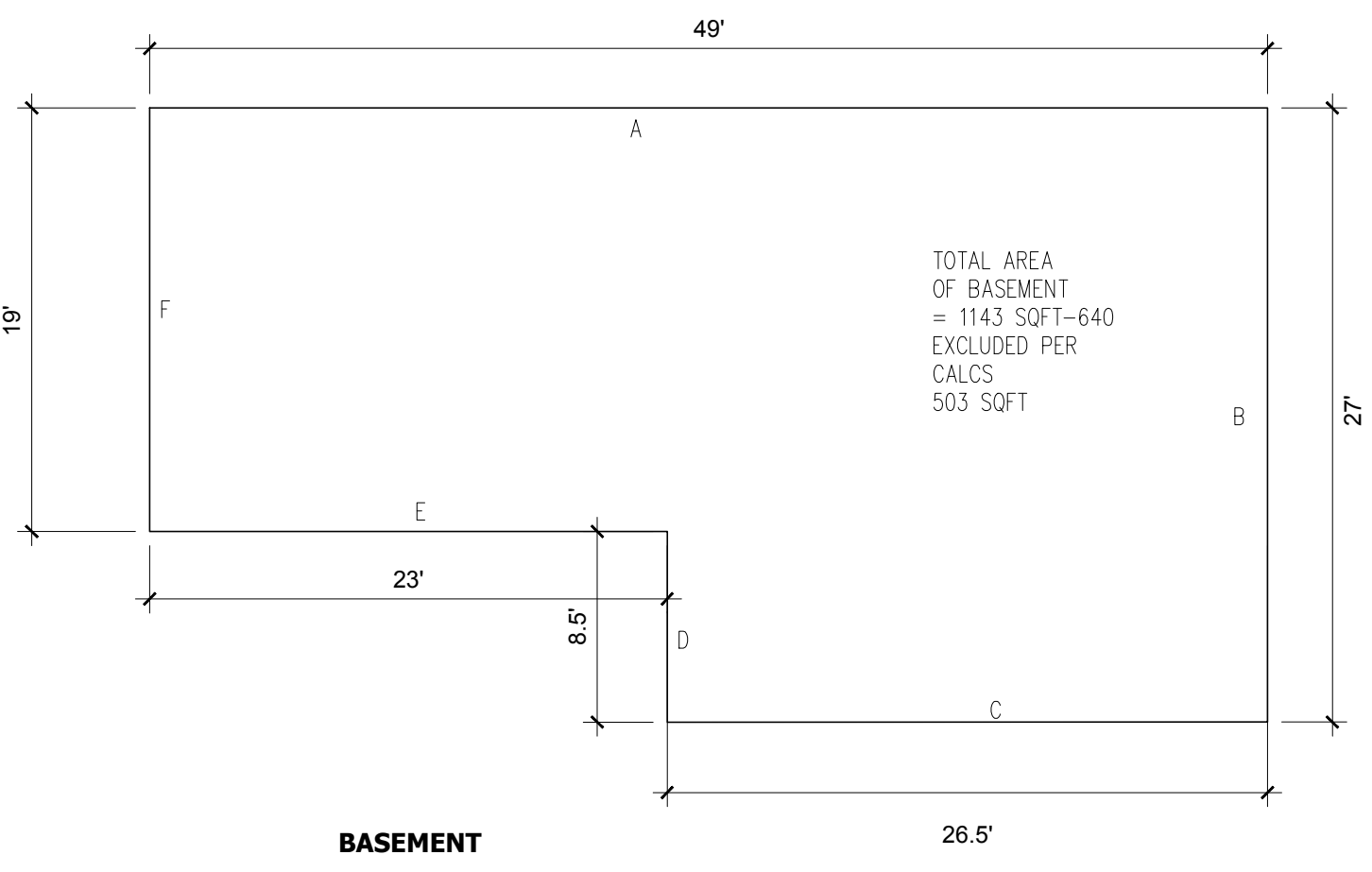
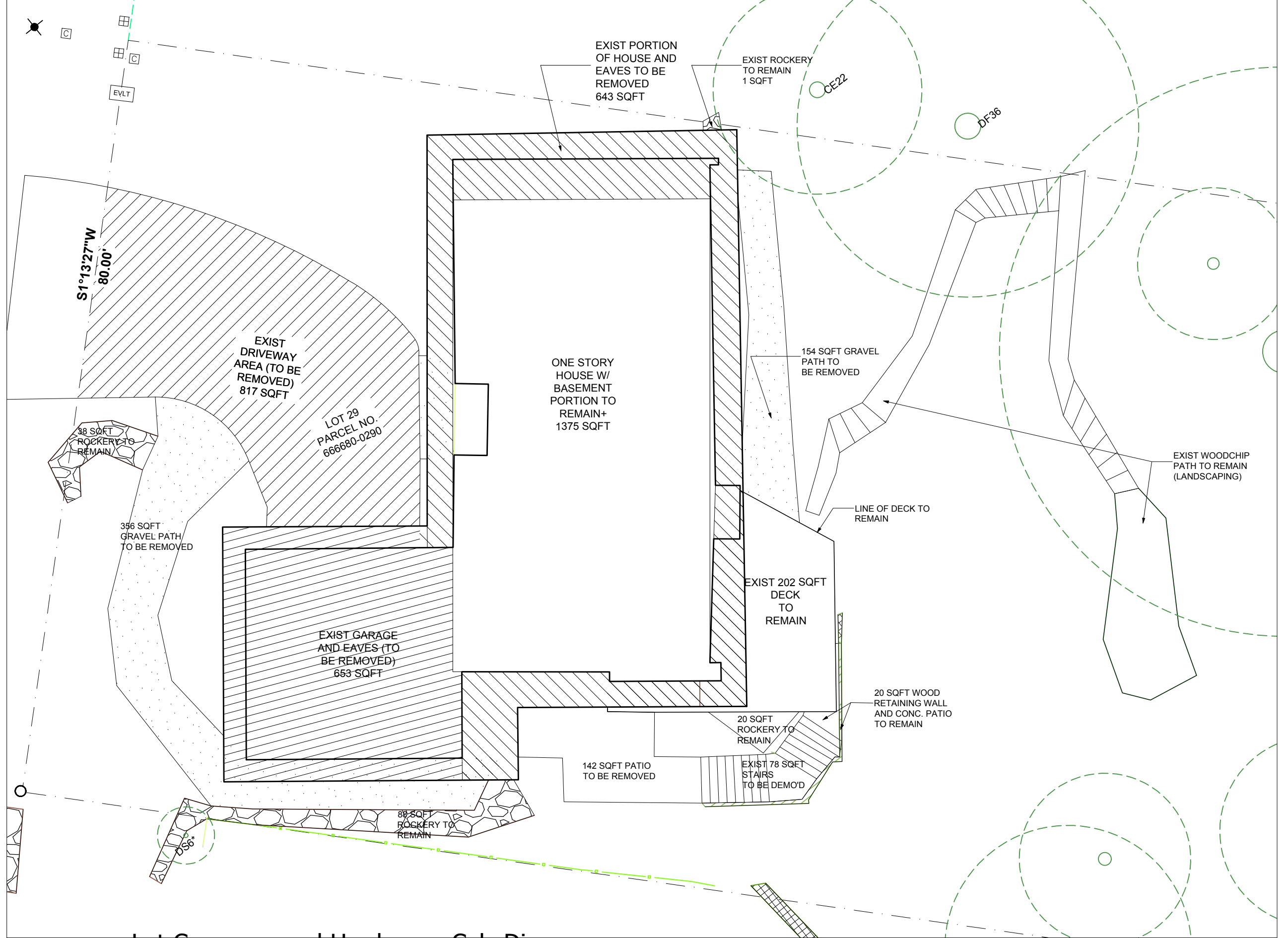
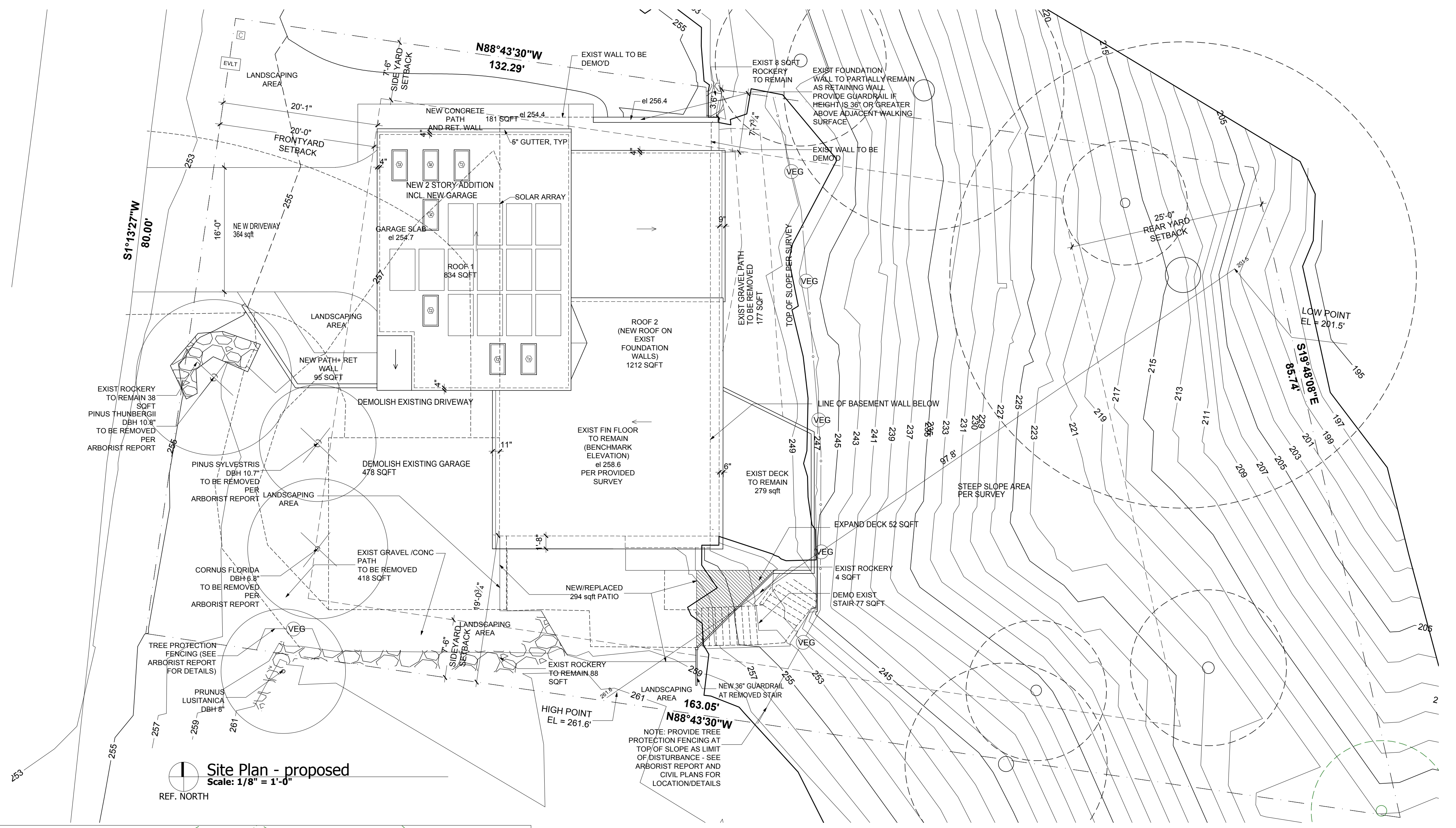
ZONING
PART R-8.4 ND PART R-9.6 - LOT GOVERNED BY R 9.6

SETBACKS
REAR SETBACK - 25'
SIDEYARD SETBACKS - MUST ADD UP TO 15'
DEMOLING NORTH SIDE OF HOUSE TO COME INTO COMPLIANCE, PROVIDING 7.5' SIDEYARD SETBACKS
FRONT SETBACK - 20'

MAX BUILDING HEIGHT 30'
MAX FACADE HEIGHT AT DOWNHILL SLOPE TO BE 30'
(MEASURED FROM EXISTING GRADE TO TOP PLATE)
MAX HEIGHT AT 7.5' FROM SIDEYARD SETBACK = 25'

Note: See sheet A6 for average building elevation calculations

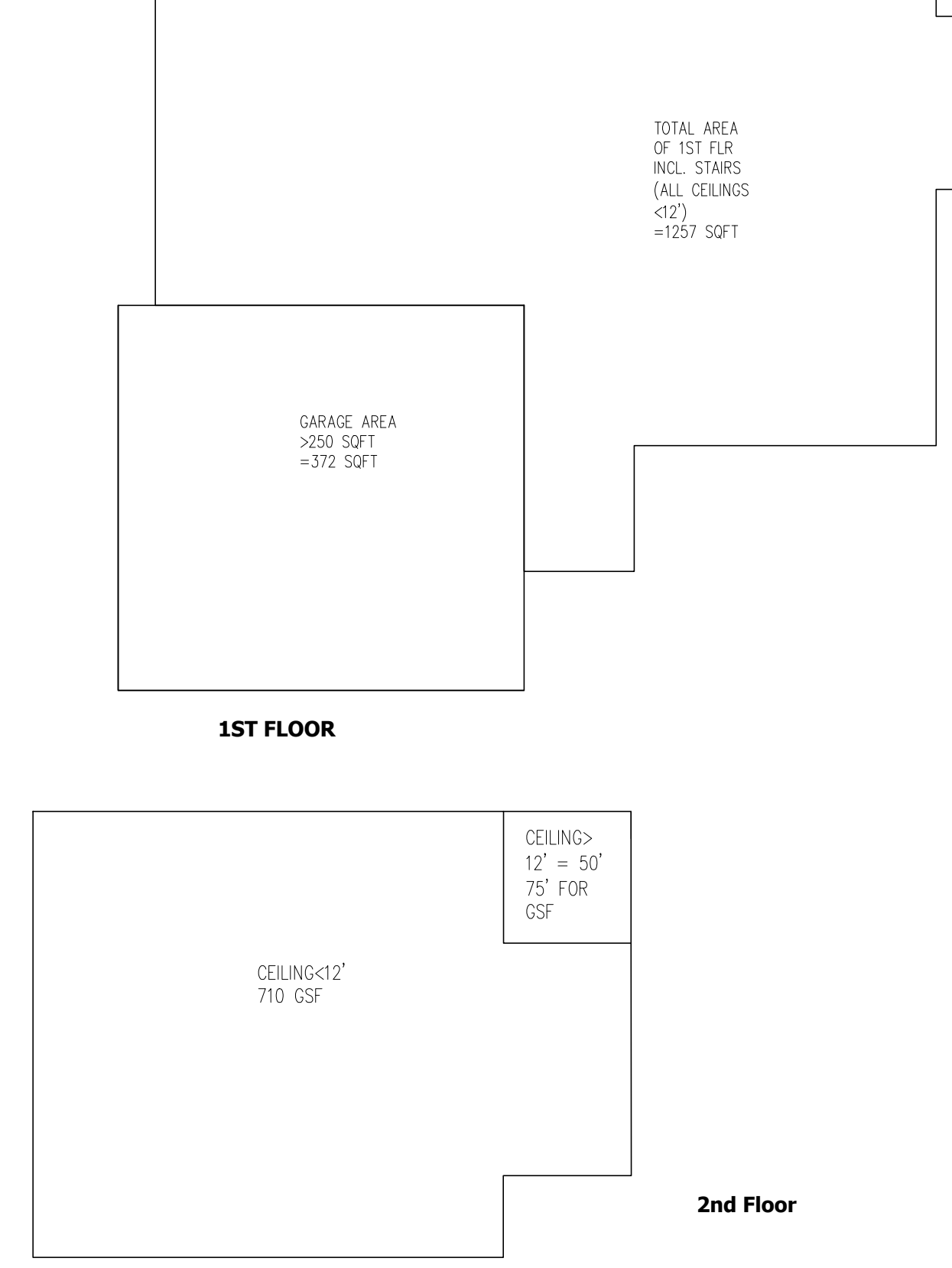
NOTE: A NFPA 130 FIRE SPRINKLER SYSTEM IN COMPLIANCE WITH NFPA 130 AND COMI STANDARDS SHALL BE INSTALLED THROUGHOUT THE RESIDENCE. A SEPARATE FIRE PERMIT IS REQUIRED



BASEMENT FLOOR AREA CALCULATION

WALL SEGMENT/LENGTH	COVERAGE	RESULT
A = 49'	0%	0'
B = 27'	30%	8.1'
C = 26.5'	100%	26.5'
D = 8.5'	100%	8.5'
E = 23'	100%	23'
F = 19'	100%	19'
TOTAL = 153'		85.1'

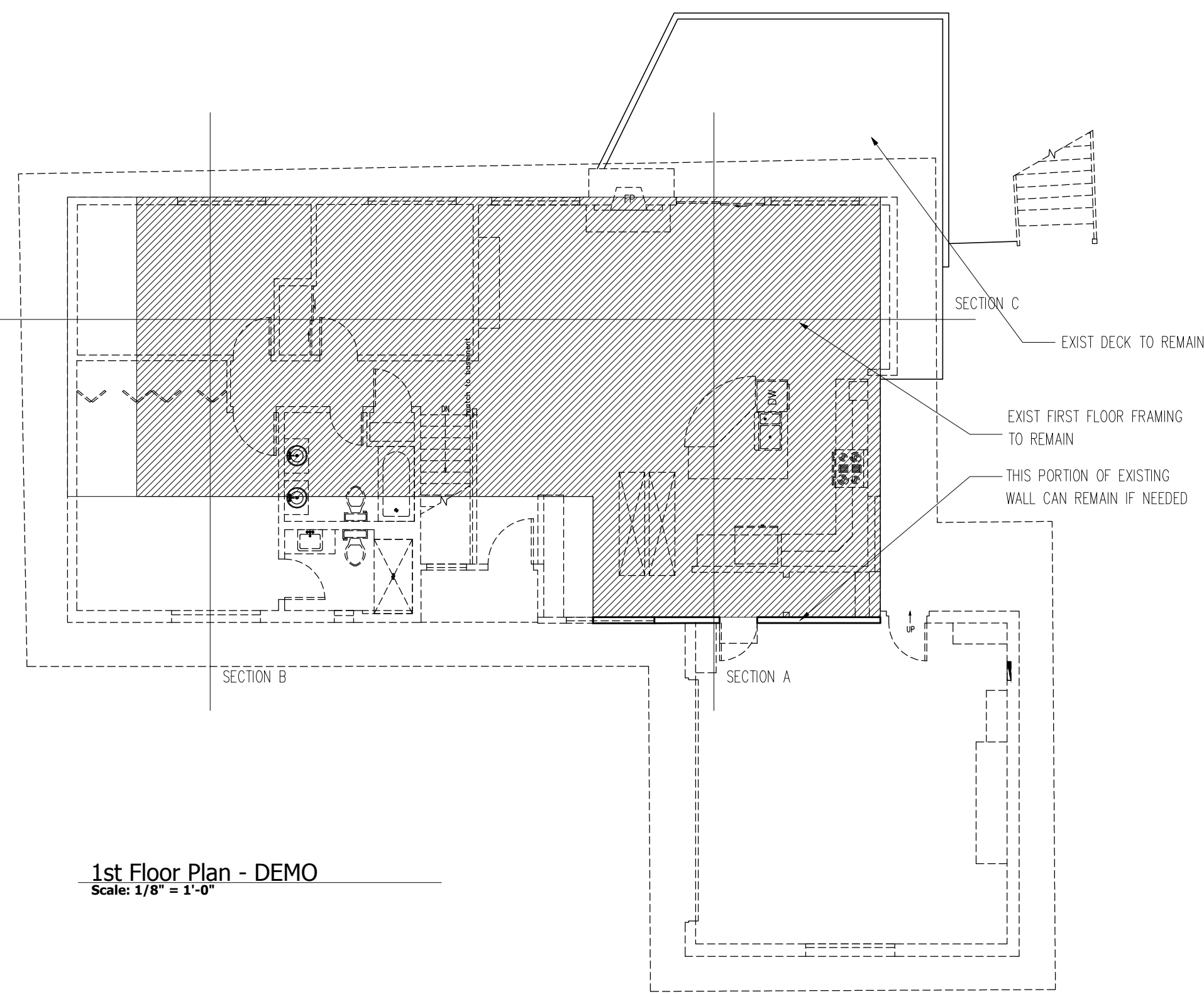
PORTION OF EXCLUDED BASEMENT FLOOR AREA = 1143 X (85.1/192) = 1143 X 54% = 640 SQFT



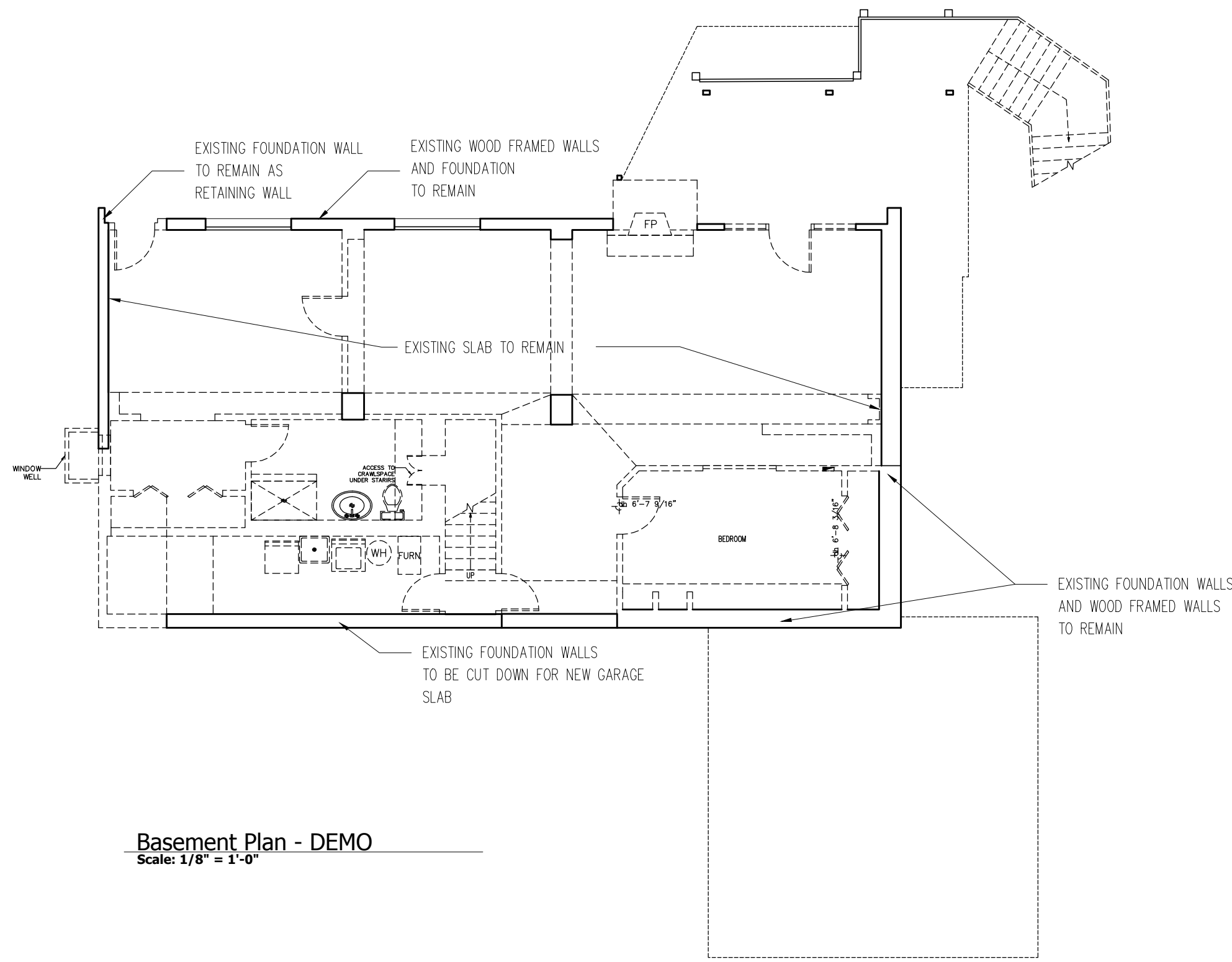
Korpela + Wiens Residence
Site Plan Existing and Proposed

8441 SE 33rd Place
Mercer Island, WA
6.26.24 PERMIT

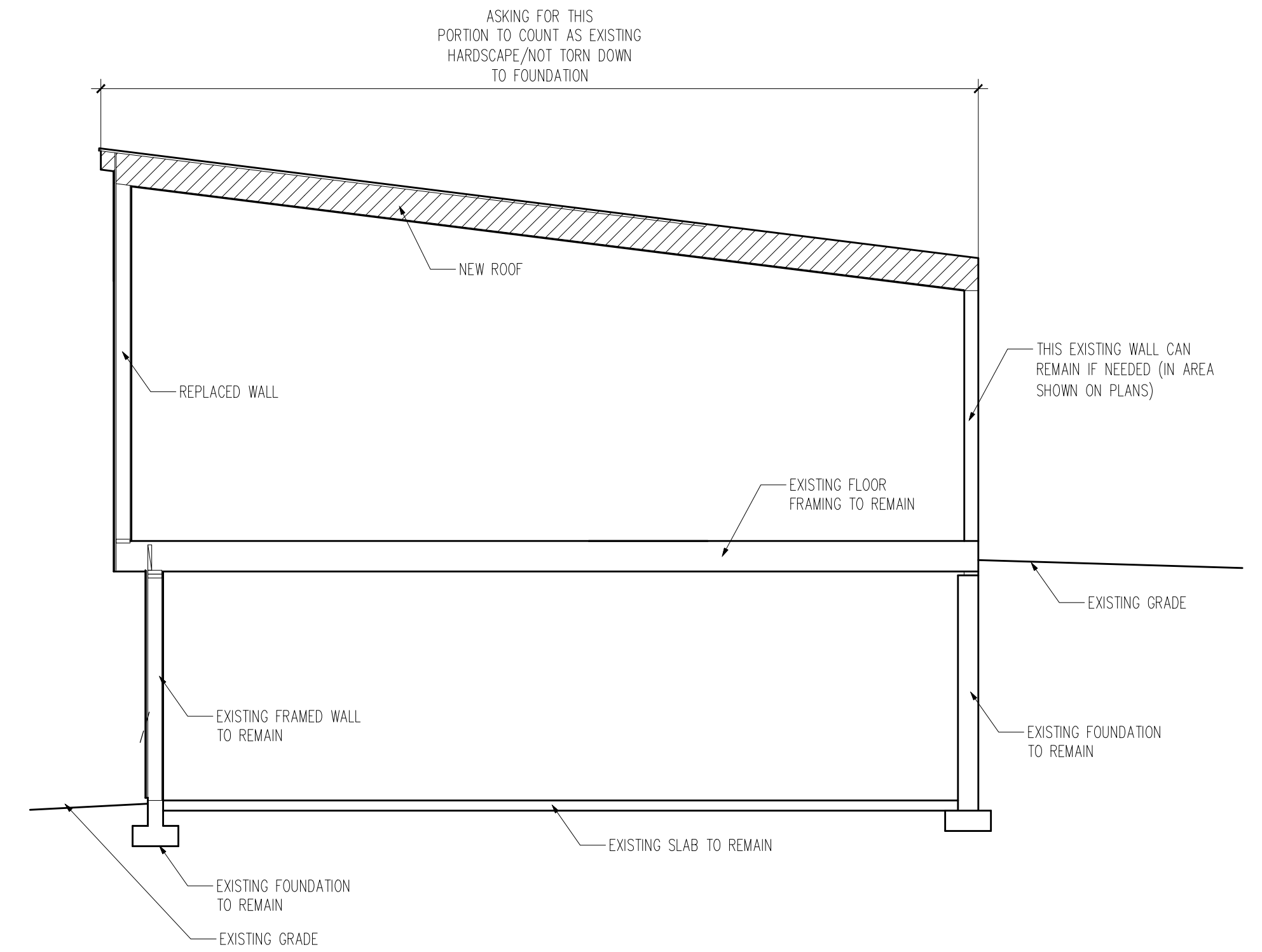
Jessyca Poole,
architect
7718 Fremont Ave N
Seattle, WA 98103
206.484.3802



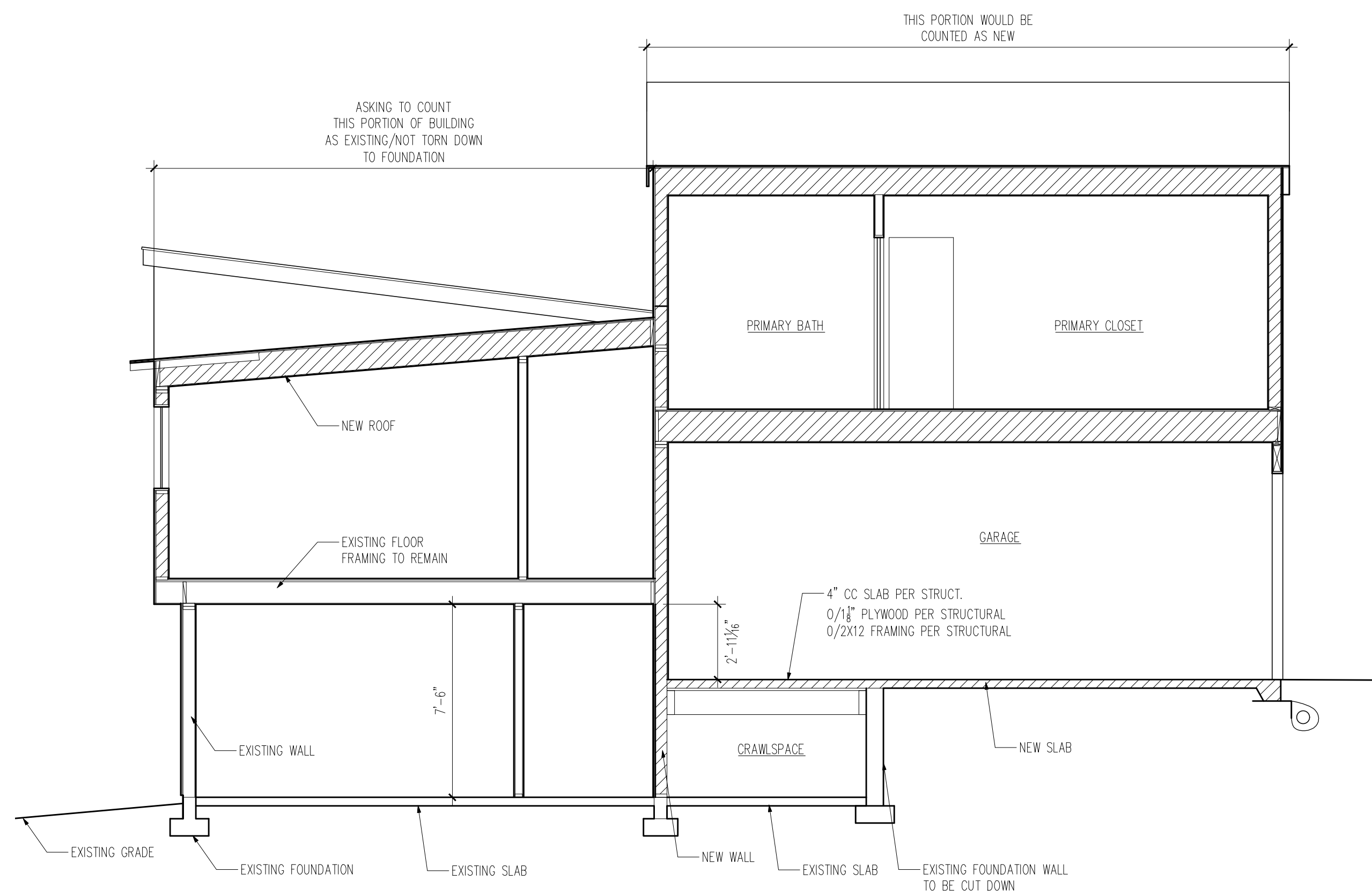
1st Floor Plan - DEMO
Scale: 1/8" = 1'-0"



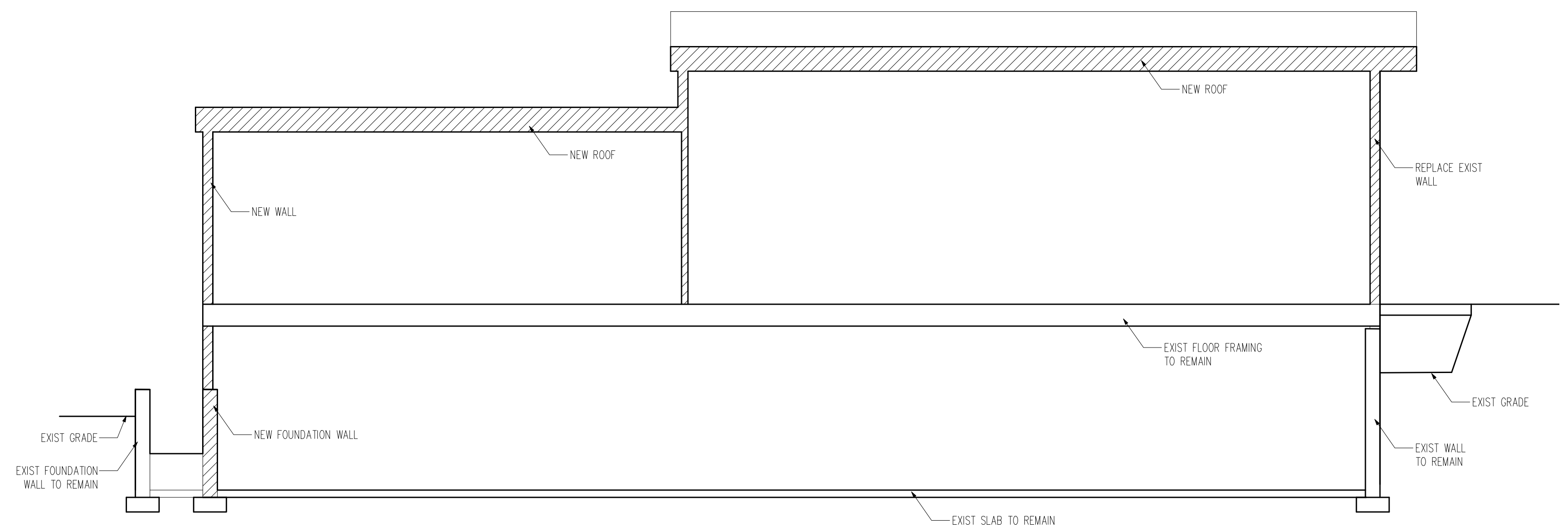
Basement Plan - DEMO
Scale: 1/8" = 1'-0"



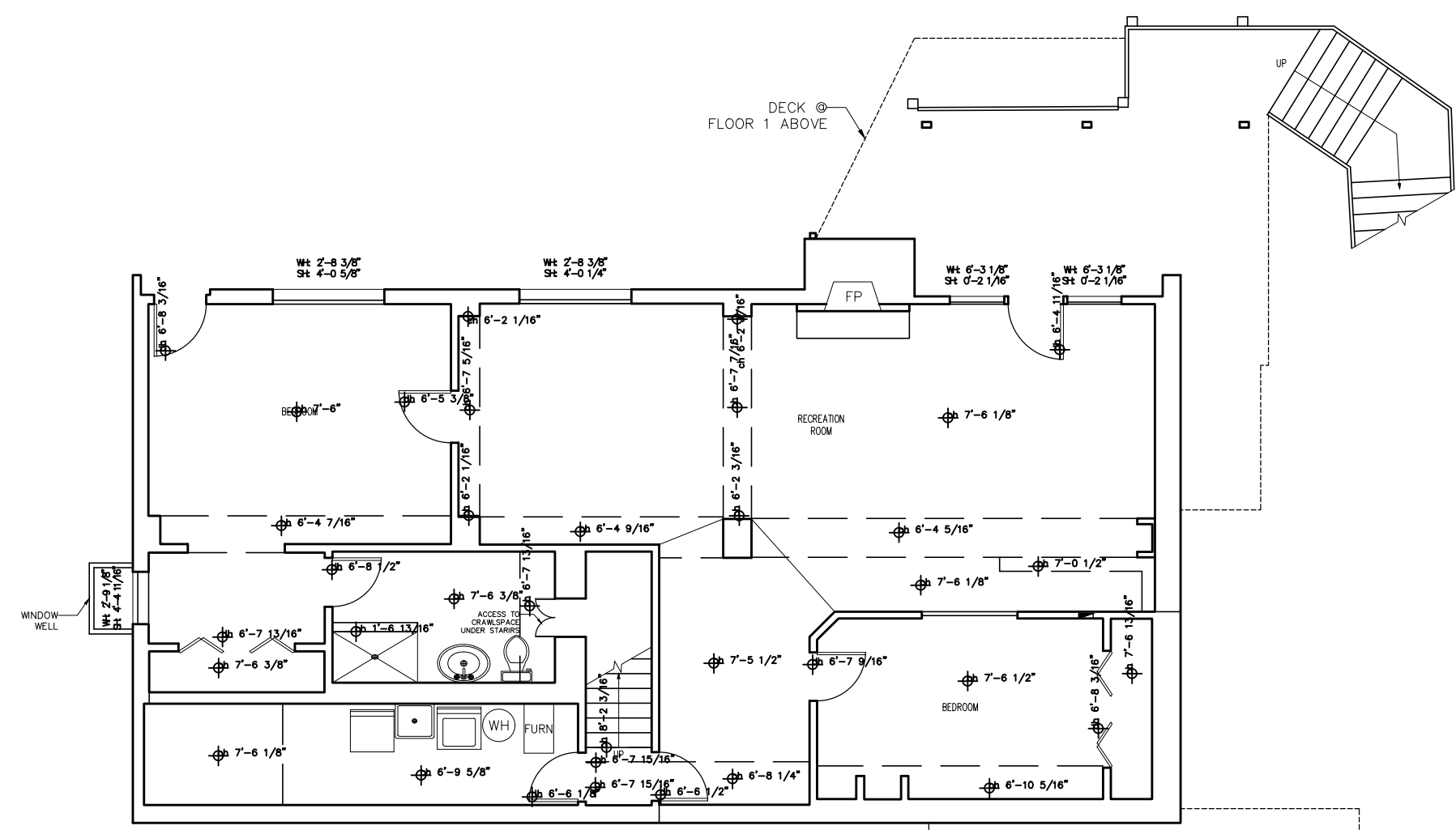
Demolition Section A
Scale: 1/4" = 1'-0"



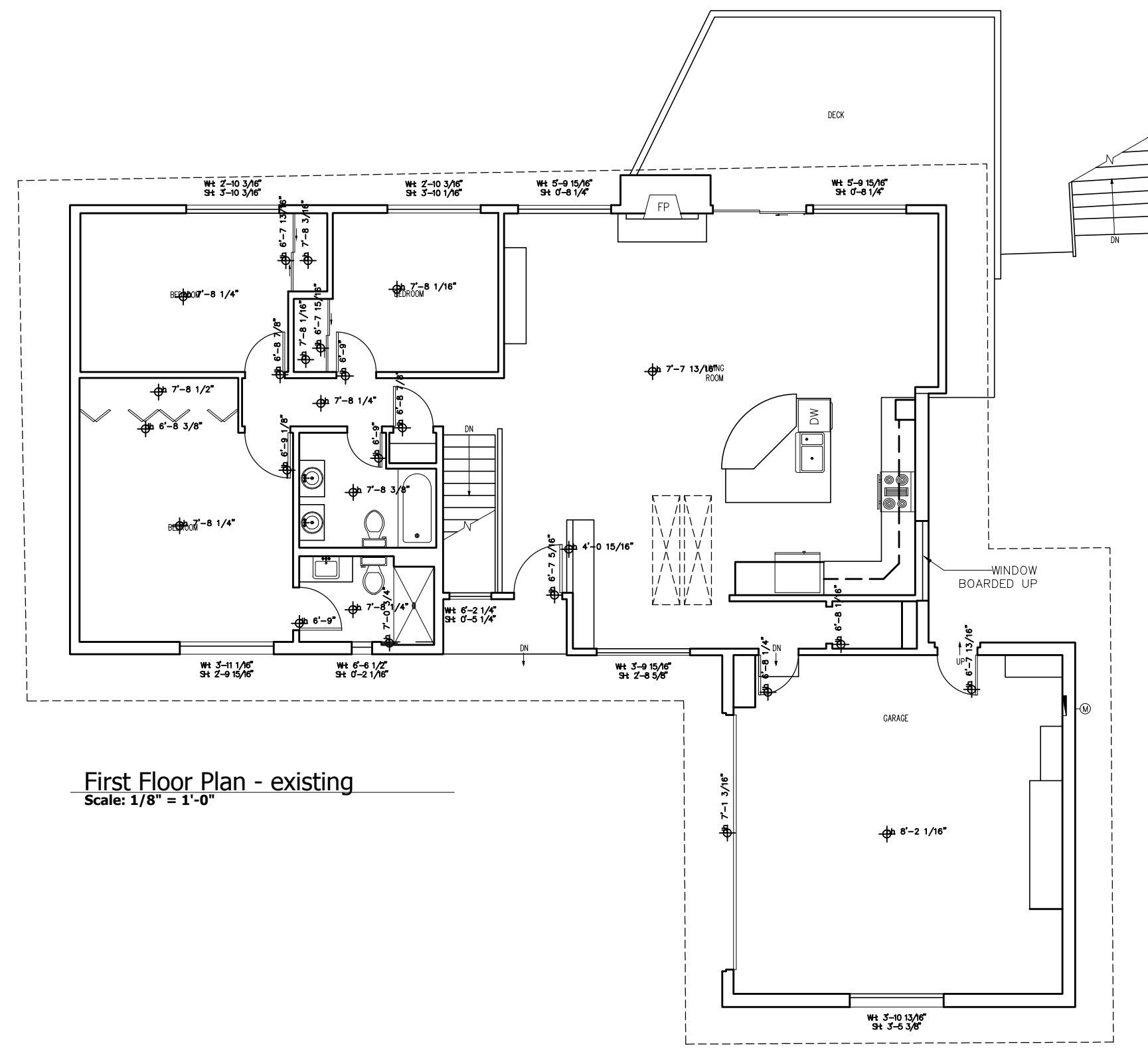
Demolition Section B
Scale: 1/4" = 1'-0"



Demolition Section C
Scale: 1/4" = 1'-0"



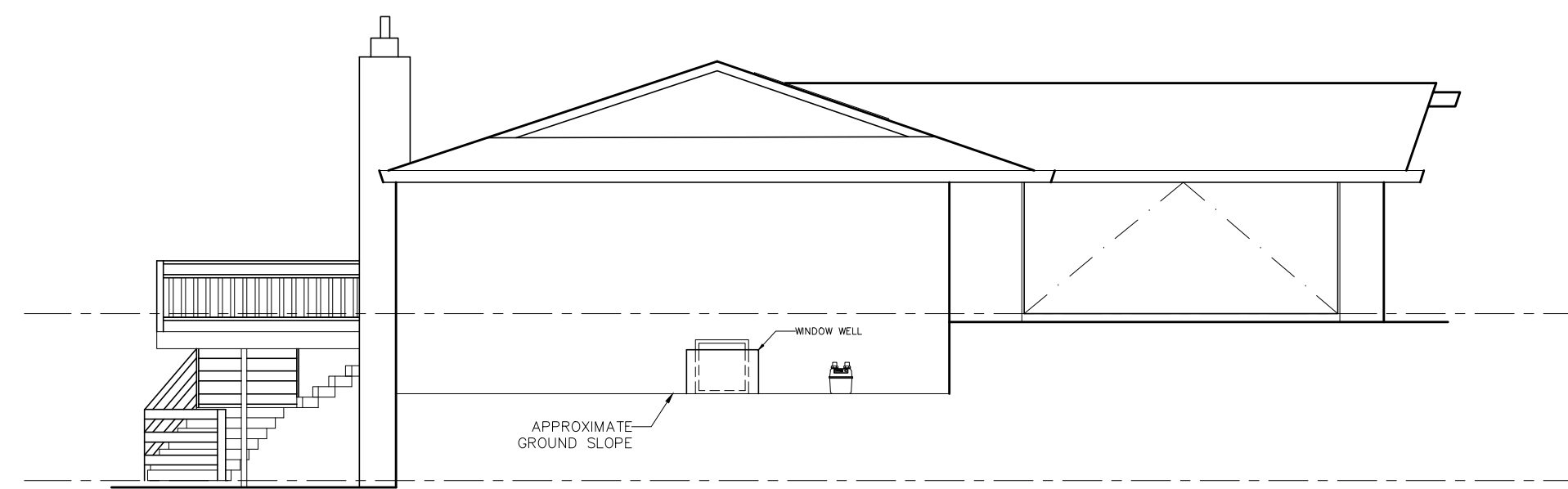
Basement Plan - existing
Scale: 1/8" = 1'-0"



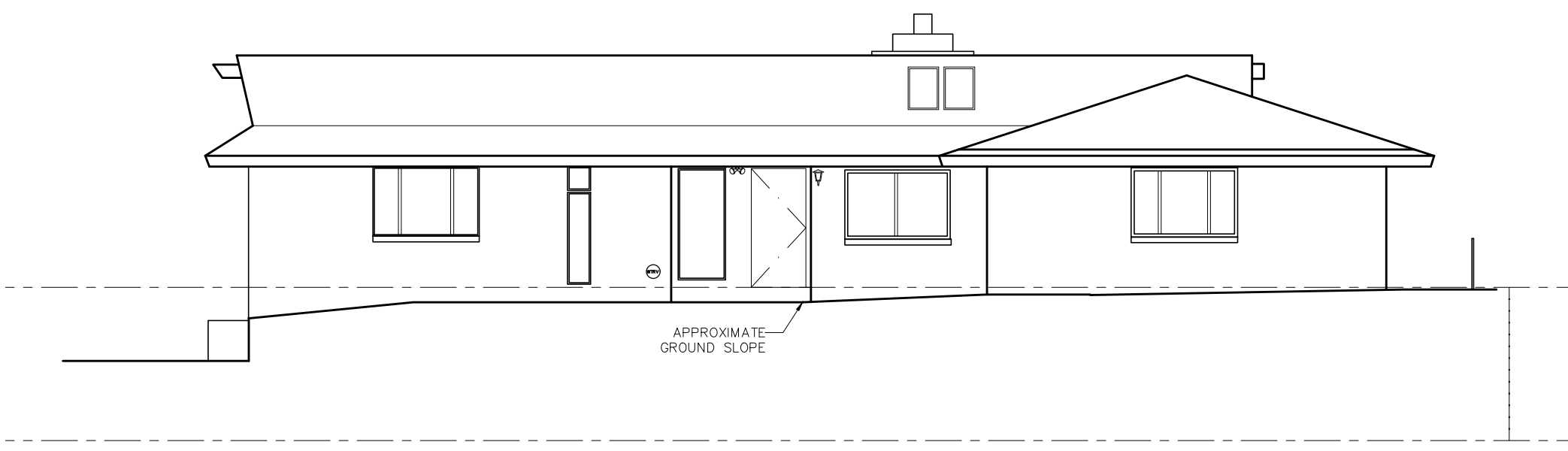
First Floor Plan - existing
Scale: 1/8" = 1'-0"



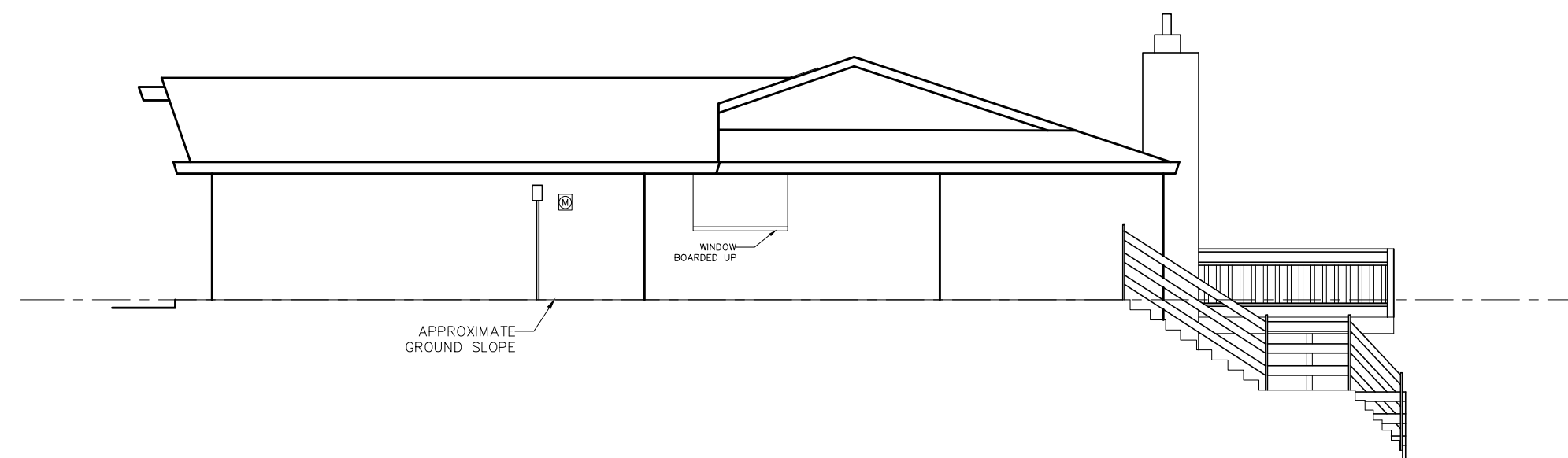
East Elevation - existing
Scale: 1/8" = 1'-0"



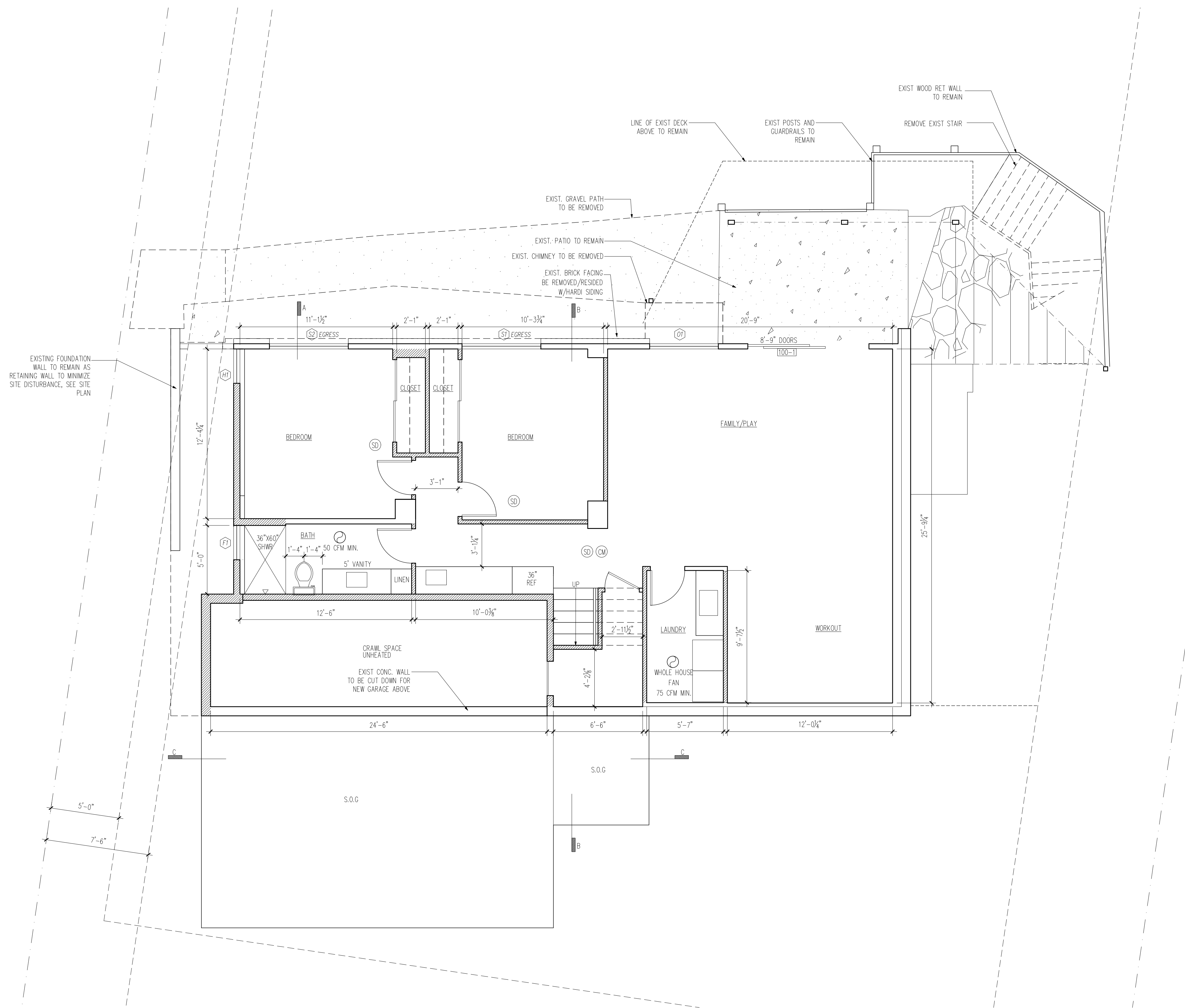
North Elevation - existing
Scale: 1/8" = 1'-0"



West Elevation - existing
Scale: 1/8" = 1'-0"



South Elevation - existing
Scale: 1/8" = 1'-0"



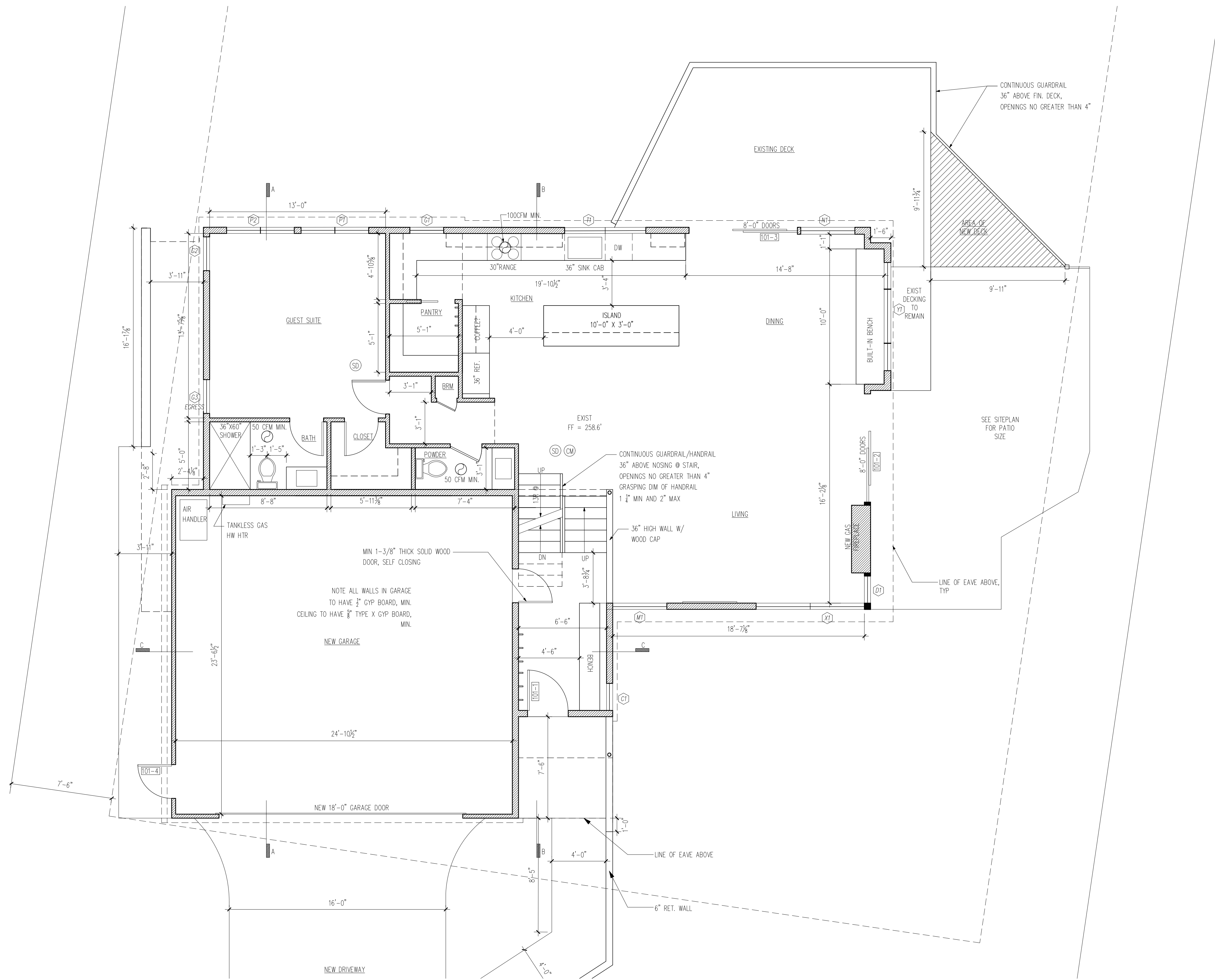
PLAN KEY:

- NEW WALL
- EXISTING WALL
- TO BE DEMOLISHED
- OVERHEAD
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- EXHAUST FAN

PLAN NOTES:

1. INSULATE ALL EXISTING 2X4 EXTERIOR WALLS OPENED DURING CONSTRUCTION TO BE INSULATED TO A MINIMUM OF R-15. NEW WALLS TO BE INSULATED TO A MINIMUM OF R-21.
2. CONTRACTOR TO VERIFY THAT THERE IS A SMOKE DETECTOR INSIDE AND OUTSIDE EACH SLEEPING AREA AND ON ALL FLOORS, AND A CARBON MONOXIDE DETECTOR OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM AND ON EACH LEVEL OF THE DWELLING.
3. DIMENSIONS ARE TO ROUGH FRAMING, U.N.O.
4. ALL EXISTING WINDOWS AND DOORS TO REMAIN U.N.O.
5. NEW WINDOWS AND WINDOWS TO BE REPLACED TO HAVE MIN. U-VALUE OF .30
6. ALL SMOKE ALARMS IN THE PRIMARY DWELLING UNIT MUST BE INTERCONNECTED

Basement Plan - proposed
Scale: 1/4" = 1'-0"
REF. NORTH



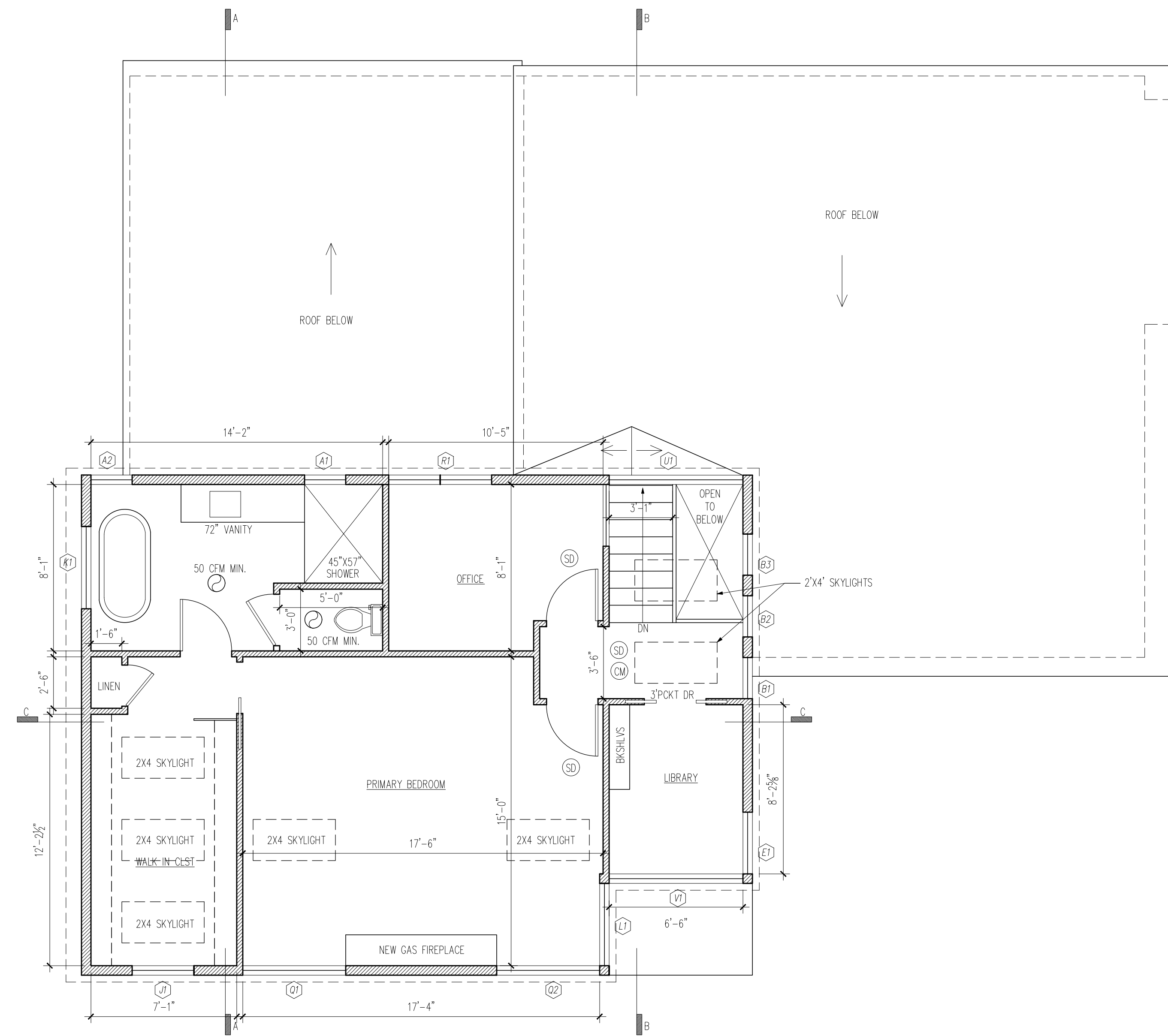
PLAN KEY:

- NEW WALL
- EXISTING WALL
- TO BE DEMOLISHED
- OVERHEAD
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- EXHAUST FAN

PLAN NOTES:

1. INSULATE ALL EXISTING 2X4 EXTERIOR WALLS OPENED DURING CONSTRUCTION TO BE INSULATED TO A MINIMUM OF R-15. NEW WALLS TO BE INSULATED TO A MINIMUM OF R-21.
2. CONTRACTOR TO VERIFY THAT THERE IS A SMOKE DETECTOR INSIDE AND OUTSIDE EACH SLEEPING AREA AND ON ALL FLOORS, AND A CARBON MONOXIDE DETECTOR OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM AND ON EACH LEVEL OF THE DWELLING.
3. DIMENSIONS ARE TO ROUGH FRAMING, U.N.O.
4. ALL EXISTING WINDOWS AND DOORS TO REMAIN U.N.O.
5. NEW WINDOWS AND DOORS TO BE REPLACED TO HAVE MIN. U-VALUE OF .30
6. ALL SMOKE ALARMS IN THE PRIMARY DWELLING UNIT MUST BE INTERCONNECTED

First Floor Plan - proposed
Scale: 1/4" = 1'-0"
REF. NORTH



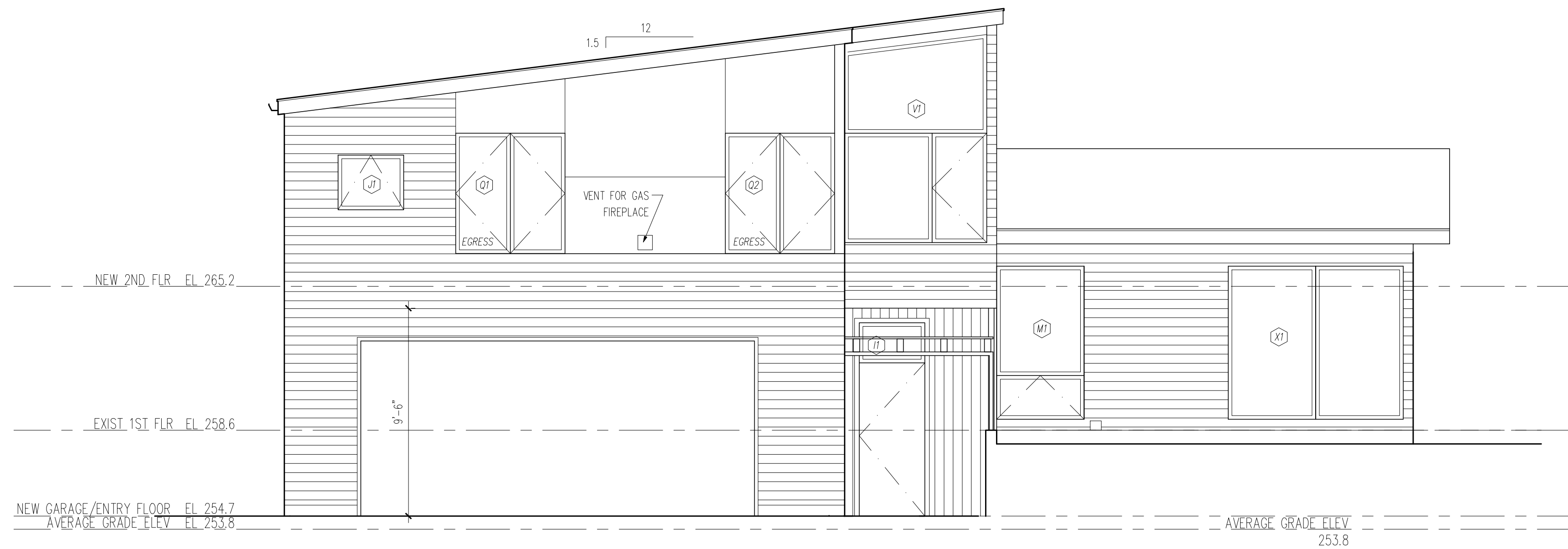
Second Floor Plan - proposed
 Scale: 1/4" = 1'-0"
 REF. NORTH

PLAN KEY:

- NEW WALL
- EXISTING WALL
- TO BE DEMOLISHED
- OVERHEAD
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- EXHAUST FAN

PLAN NOTES:

1. INSULATE ALL EXISTING 2X4 EXTERIOR WALLS OPENED DURING CONSTRUCTION TO BE INSULATED TO A MINIMUM OF R-15. NEW WALLS TO BE INSULATED TO A MINIMUM OF R-21.
2. CONTRACTOR TO VERIFY THAT THERE IS A SMOKE DETECTOR INSIDE AND OUTSIDE EACH SLEEPING AREA AND ON ALL FLOORS, AND A CARBON MONOXIDE DETECTOR OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM AND ON EACH LEVEL OF THE DWELLING.
3. DIMENSIONS ARE TO ROUGH FRAMING, U.N.O.
4. ALL EXISTING WINDOWS AND DOORS TO REMAIN U.N.O.
5. NEW WINDOWS AND WINDOWS TO BE REPLACED TO HAVE MIN. U-VALUE OF .30
6. ALL SMOKE ALARMS IN THE PRIMARY DWELLING UNIT MUST BE INTERCONNECTED



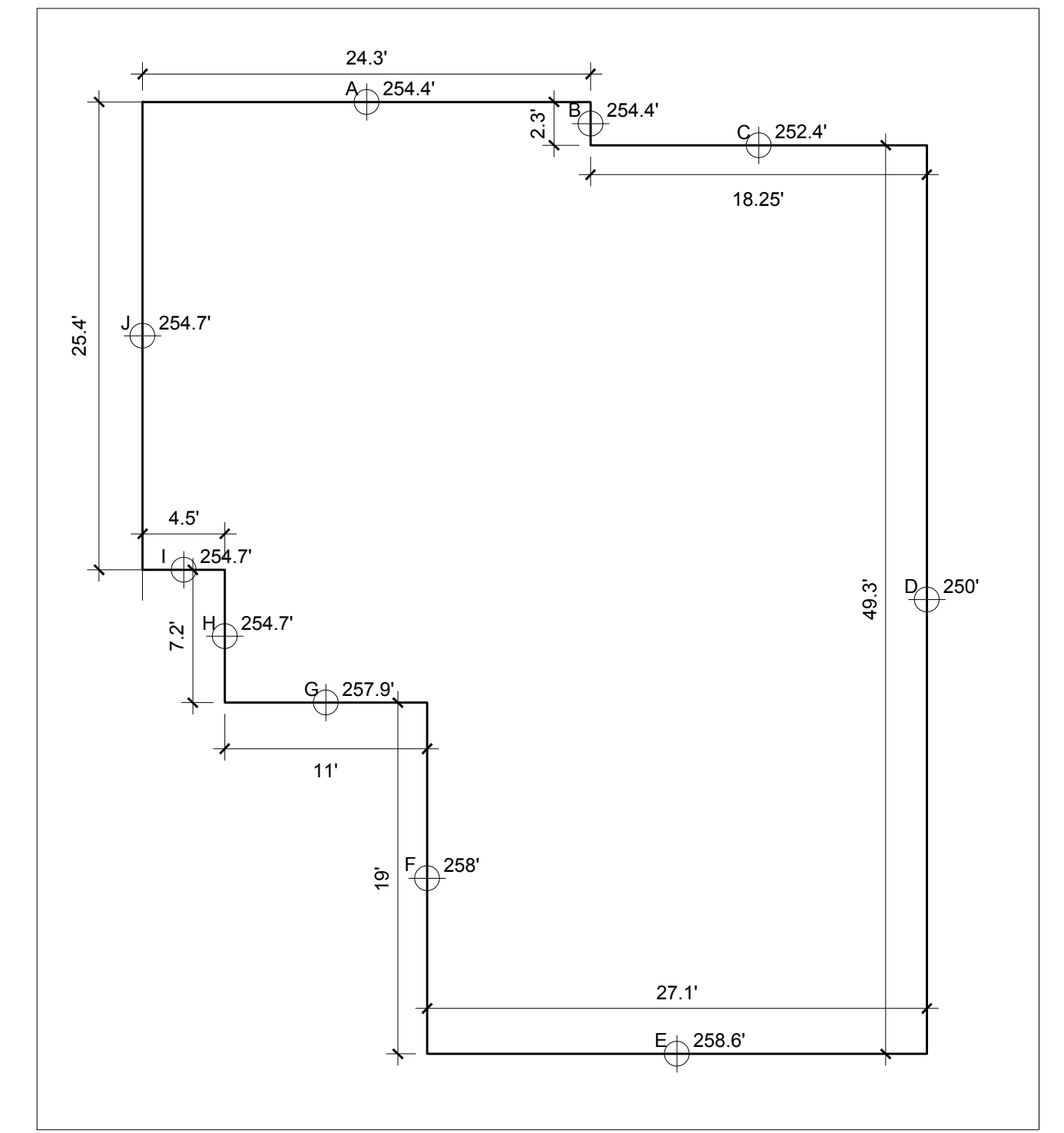
West Elevation - proposed
Scale: 1/4" = 1'-0"

AVERAGE GRADE CALCULATION
- PER DIRECTORS RULE 4-2012

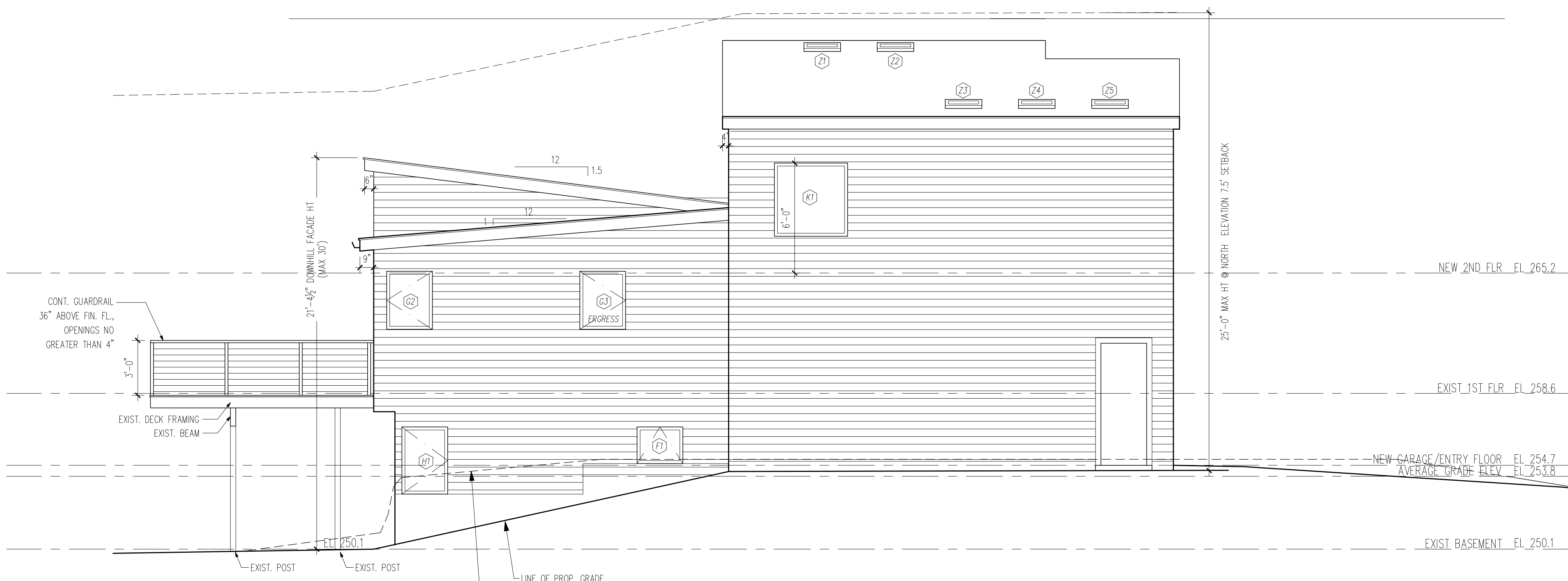
MIDPOINT ELEVATIONS	SECTION LENGTH
A = 254.4'	a = 24.3'
B = 254.4'	b = 2.3'
C = 252.4'	c = 18.25'
D = 250'	d = 49.3'
E = 258.6'	e = 27.1'
F = 258'	f = 19'
G = 257.9'	g = 11'
H = 254.7'	h = 7.2'
I = 254.7'	i = 4.5'
J = 254.7'	j = 25.4'

$$\frac{(Aa) + (Bb) + (Cc) + (Dd)}{a+b+c+d}$$

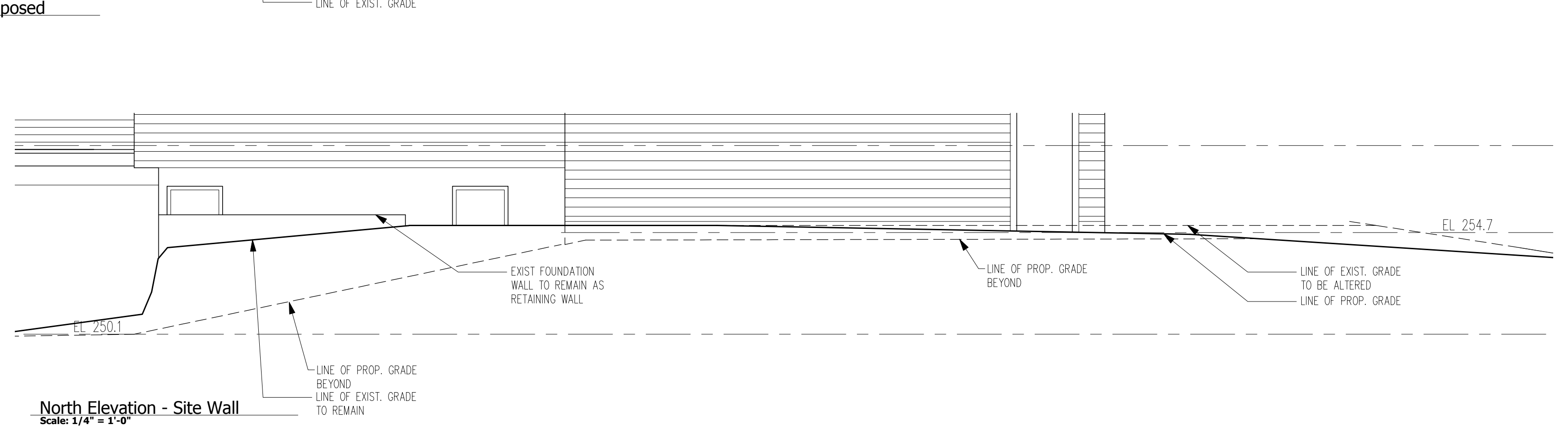
$$\frac{(6182) + (585) + (4606) + (12325) + (7008) + (4902) + (2837) + (1834) + (1146) + (6469)}{24.3 + 2.3 + 18.25 + 49.3 + 27.1 + 19 + 11 + 7.2 + 4.5 + 25.4}$$

$$\frac{47894}{188.65} = \text{AVE GRADE} = 253.8$$


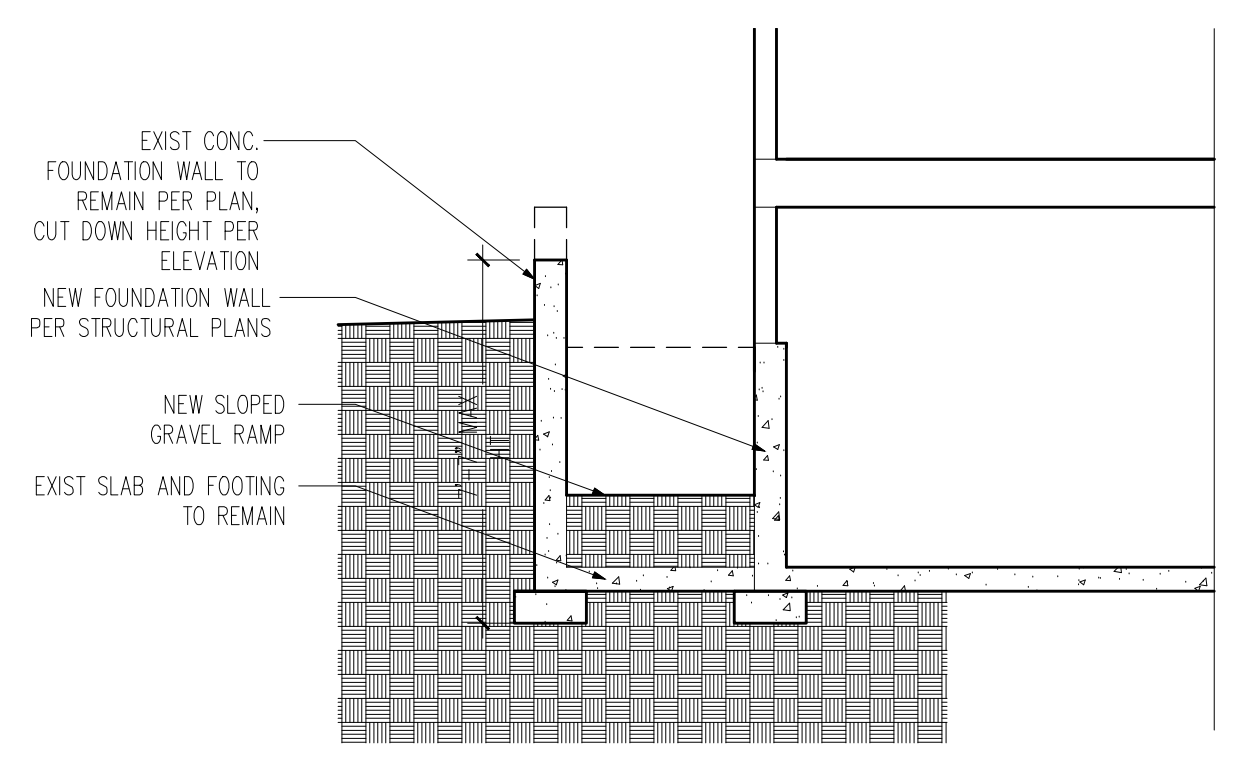
Average grade diagram
NOT TO SCALE



North Elevation - proposed
Scale: 1/4" = 1'-0"

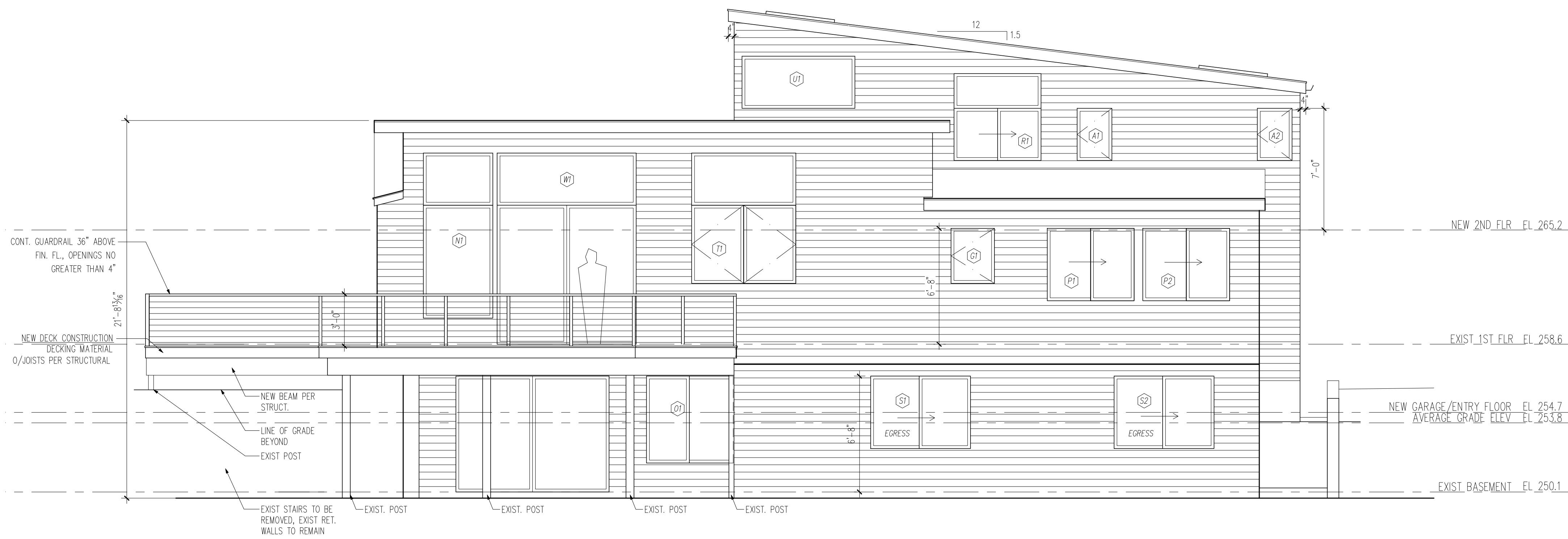


North Elevation - Site Wall
Scale: 1/4" = 1'-0"



North Elevation - Section at site wall
Scale: 1/4" = 1'-0"

MAX HEIGHT FL 265.2



WINDOW SCHEDULE

NUMBER/SIZE	TYPE	JAMB	U-VALUE	NOTES
A1	2'-0" X 3'-0" CASEMENT	7"	.30	
A2	2'-0" X 3'-0" CASEMENT	7"	.30	
B1	2'-0" X 5'-0" FIXED	7"	.30	
B2	2'-0" X 5'-0" FIXED	7"	.30	
B3	2'-0" X 5'-0" FIXED	7"	.30	
C1	2'-0" X 5'-6" FIXED	7"	.30	
D1	2'-0" X 7'-0" 5' FIXED OVER 2' AWNING	7"	.30	TEMPERED
E1	3'-0" X 9'-10" 5'-2" FIXED OVER 4'-8" CSMT	7"	.30	
F1	2'-6" X 2'-0" AWNING	7"	.30	
G1	2'-6" X 3'-2" CASEMENT	7"	.30	
G2	2'-6" X 3'-2" CASEMENT	7"	.30	
G3	2'-6" X 3'-2" CASEMENT	7"	.30	EGRESS
H1	2'-6" X 3'-8" CASEMENT	7"	.30	
I1	3'-0" X 1'-10" FIXED	7"	.30	
J1	3'-0" X 2'-6" AWNING	7"	.30	
K1	4'-0" X 4'-0" FIXED	7"	.30	TEMPERED
L1	4'-0" X 5'-8" FIXED	7"	.30	TEMPERED
M1	4'-0" X 7'-0" 5' FIXED OVER 2' AWNING	7"	.30	TEMPERED
N1	4'-0" X 9'-6" 3' FIXED OVER 6'-6" FIXED	7"	.30	
O1	5'-0" X 5'-0" SLIDER	7"	.30	
P1	5'-0" X 4'-2" SLIDER	7"	.30	
P2	5'-0" X 4'-2" SLIDER	7"	.30	
Q1	5'-0" X 5'-6" SLIDER	7"	.30	EGRESS
Q2	5'-0" X 5'-6" SLIDER	7"	.30	EGRESS
R1	5'-0" X 5'-0" 2' FIXED OVER 3' SLIDER	7"	.30	
S1	5'-9" X 4'-2" SLIDER	7"	.30	EGRESS
S2	5'-9" X 4'-2" SLIDER	7"	.30	EGRESS
T1	6'-0" X 7'-6" 3' FIXED OVER 4'-6" SLIDER	7"	.30	
U1	6'-6" X 3'-0" FIXED	7"	.30	
V1	6'-6" X VARIES FIXED OVER 3'-2" AWNING	7"	.30	
W1	8'-0" X 3'-0" FIXED	7"	.30	
X1	8'-0" X 7'-0" PAIR OF 3'-6" FIXED	7"	.30	TEMPERED
Y1	8'-0" X 4'-0" TWO 2' CSMTS W/FIXED BTWN	7"	.30	
Z1	2'-0" X 4'-0" SKYLIGHT			
Z2	2'-0" X 4'-0" SKYLIGHT			
Z3	2'-0" X 4'-0" SKYLIGHT			
Z4	2'-0" X 4'-0" SKYLIGHT			
Z5	2'-0" X 4'-0" SKYLIGHT			

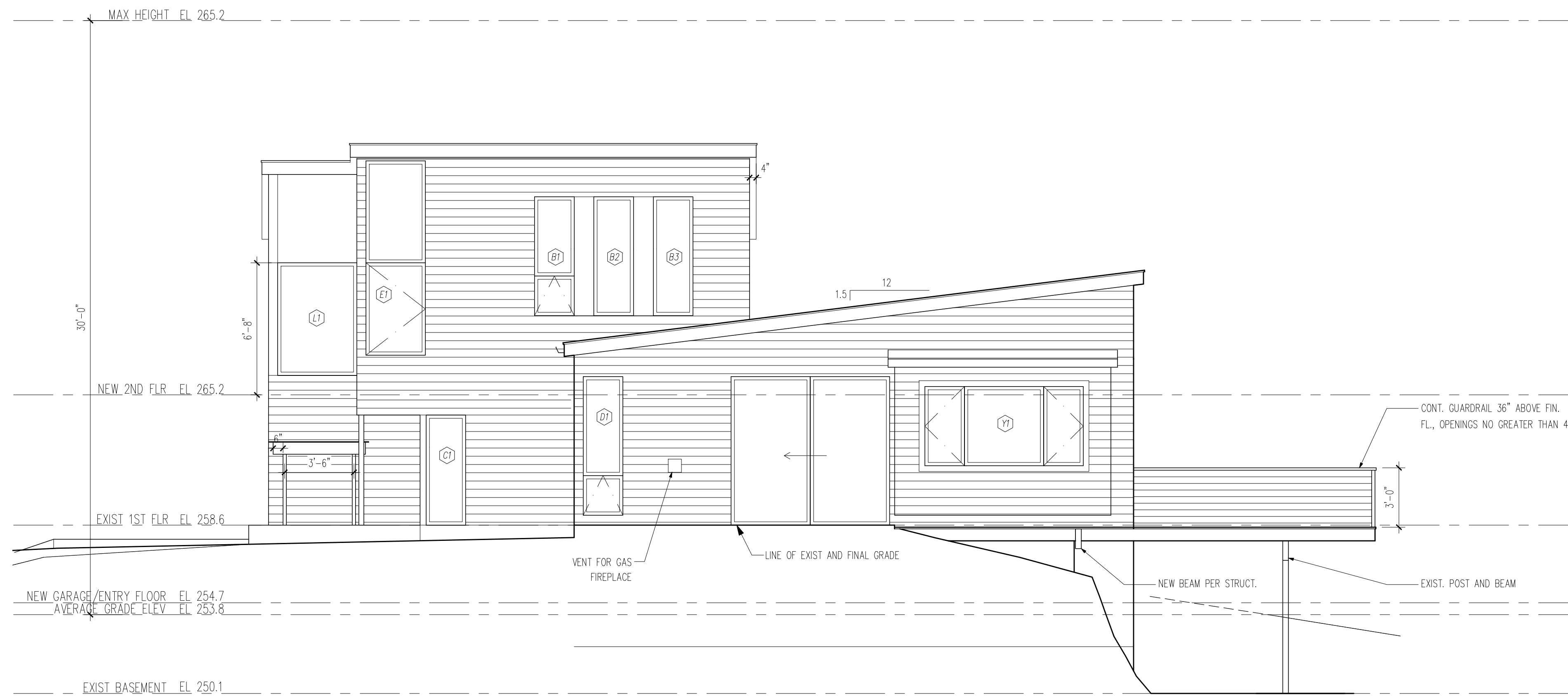
NOTE: VERIFY ALL SIZES IN FIELD MANUFACTURER TO BE DETERMINED WOOD CLAD OR FIBERGLASS UNITS W/ARGON FILLED LOW E DOUBLE GLAZING TO BE U VALUE .30 OR BETTER

EXTERIOR DOOR SCHEDULE

NUMBER	LEAF SIZE	TYPE	THICKNESS	U-VALUE	NOTES
100-1	4'-6" X 6'-8"	SLIDER	1-3/4"	.30	REPLACE EXISTING DOORS-PAIR OF SLIDING DOORS, GLASS LITES PER ELEVATIONS, CLAD, HARDWARE AND MANUFACTURER TBD
101-1	3'-0" X 7'-0"	SWING	1-3/4"	.30	STYLE TBD (ASSUME WOOD, SINGLE PANEL W/1 LITE)
101-2	4'-0" X 7'-0"	SLIDER	1-3/4"	.30	PAIR OF SLIDING DOORS, GLASS LITES PER ELEVATIONS, CLAD, HARDWARE AND MANUFACTURER TBD
101-3	4'-0" X 7'-6"	SLIDER	1-3/4"	.30	PAIR OF SLIDING DOORS, GLASS LITES PER ELEVATIONS, CLAD, HARDWARE AND MANUFACTURER TBD
101-4	2'-6" X 6'-8"	SWING	1-3/4"	.30	STYLE TBD (ASSUME SOLID WOOD, SINGLE PANEL)

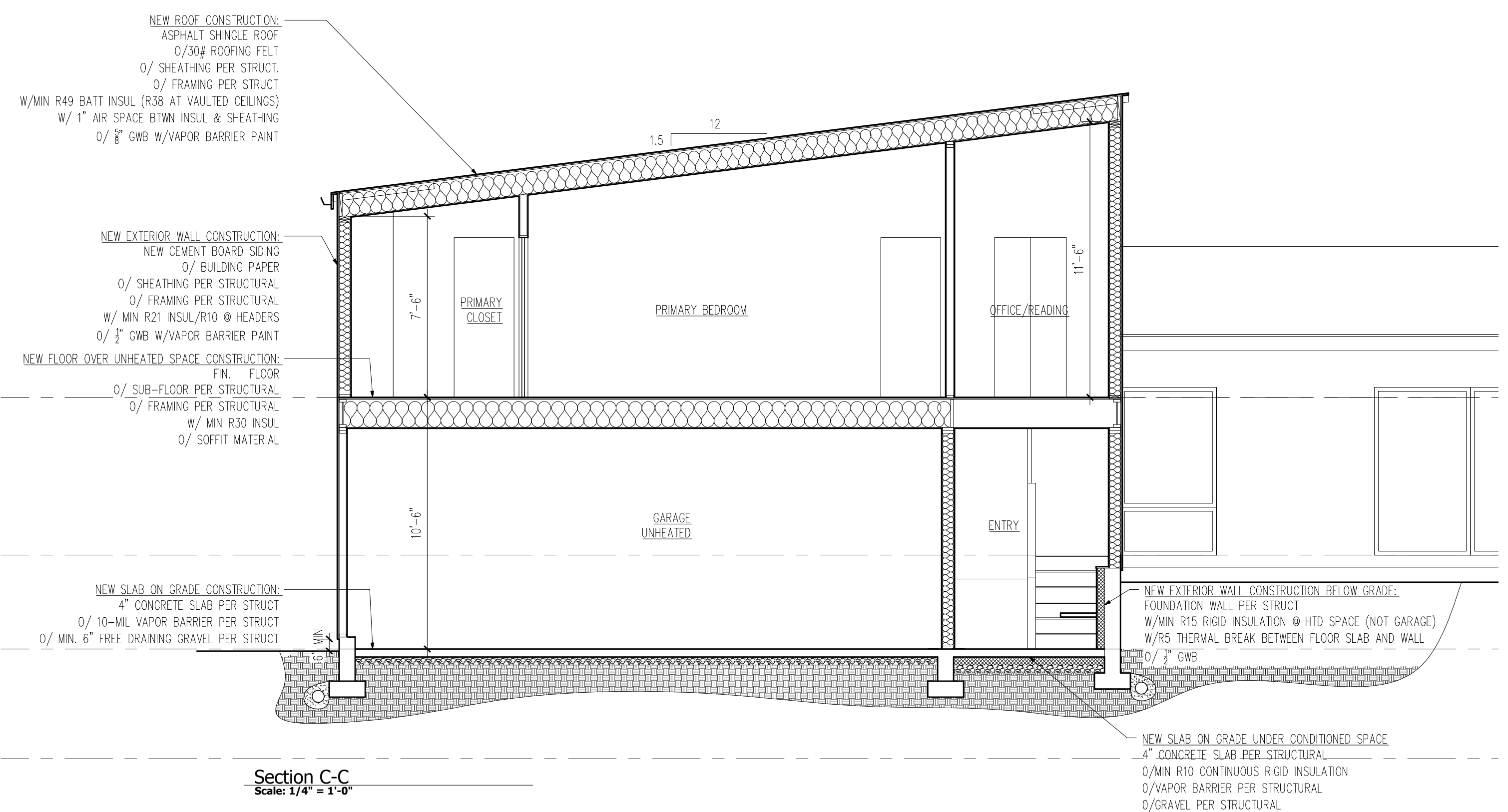
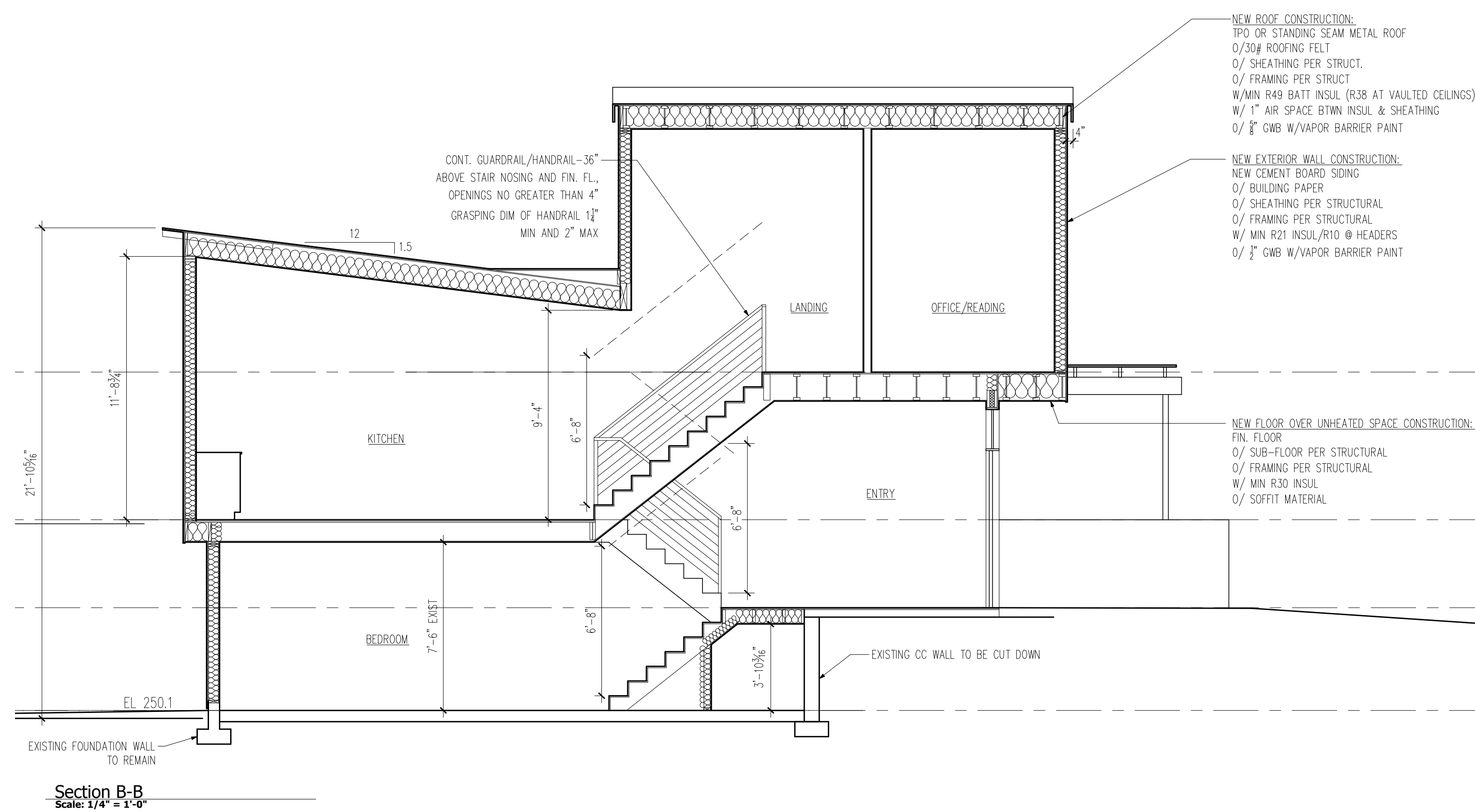
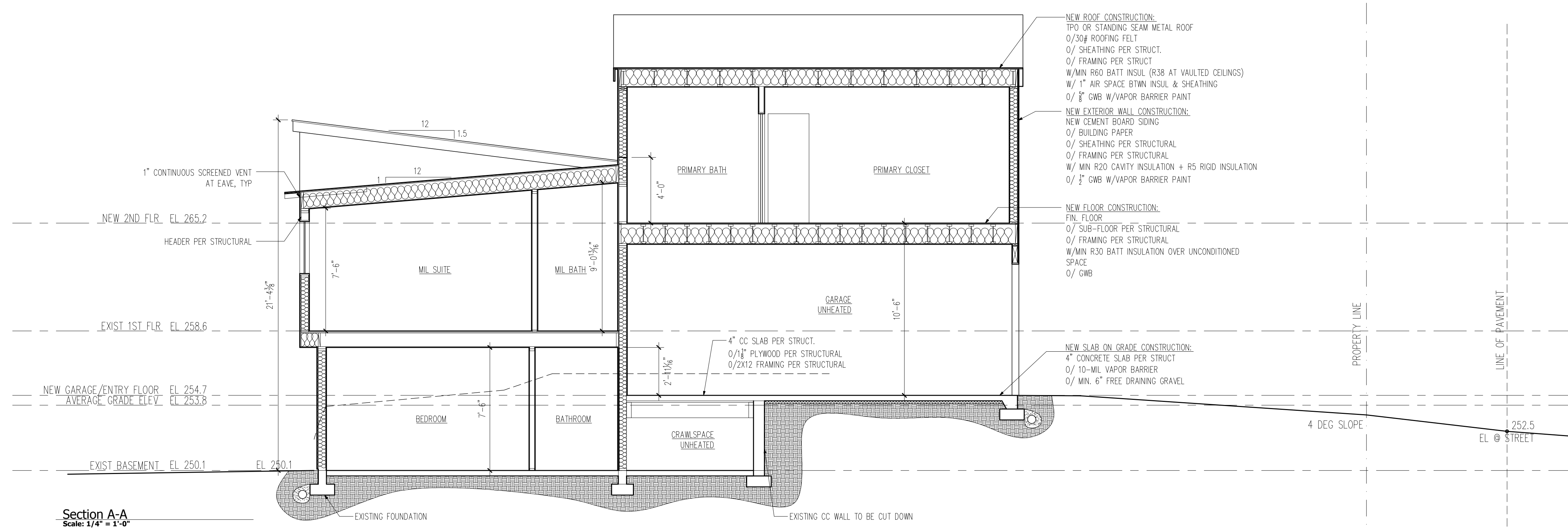
East Elevation - proposed

Scale: 1/4" = 1'-0"



South Elevation - proposed

Scale: 1/8" = 1'-0"



General Structural Notes Continued
THE FOLLOWING APPLY UNLESS SHOWN OTHERWISE ON THE DRAWINGS

WOOD

39. FRAMING LUMBER SHALL BE S-DRY, KD, OR MC-19, AND GRADED AND MARKED IN CONFORMANCE WITH WCLB STANDARD No. 17, GRADING RULES FOR WEST COAST LUMBER, 2018, OR WMPA STANDARD, WESTERN LUMBER GRADING RULES 2017. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:

JOISTS AND BEAMS	(2X & 3X MEMBERS)	HEM-FIR NO. 2 MINIMUM BASE VALUE, Fb = 850 PSI
	(4X MEMBERS)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fb = 1000 PSI
BEAMS	(INCL. 6X AND LARGER)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fb = 1350 PSI
POSTS	(4X MEMBERS)	DOUGLAS FIR-LARCH NO. 2 MINIMUM BASE VALUE, Fc = 1350 PSI
	(6X AND LARGER)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fc = 1000 PSI
STUDS, PLATES & MISC. FRAMING:		DOUGLAS FIR-LARCH NO. 2 OR HEM-FIR NO. 2

40. GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH ASTM AND ANSI/AITC STANDARDS. EACH MEMBER SHALL BEAR AN AITC OR APA IDENTIFICATION MARK AND SHALL BE ACCOMPANIED BY AN AITC OR APA CERTIFICATE OF CONFORMANCE. ALL SIMPLE SPAN BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V4, Fb = 2,400 PSI, Fv = 265 PSI. ALL CANTILEVERED BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V8, Fb = 2400 PSI, Fv = 265 PSI.

41. MANUFACTURED LUMBER, PSL, LVL, AND LSL SHOWN ON PLAN ARE BASED PRODUCTS MANUFACTURED BY THE WEYERHAEUSER CORPORATION IN ACCORDANCE WITH ICC-ES REPORT ESR-1387. MEMBERS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:

PSL (2.0E WS)	Fb = 2900 PSI, E = 2000 KSI, Fv = 290 PSI
LVL (2.0E-2600FB WS)	Fb = 2600 PSI, E = 2000 KSI, Fv = 285 PSI
LSL (1.55E)	Fb = 2325 PSI, E = 1550 KSI, Fv = 310 PSI

ALTERNATE MANUFACTURED LUMBER MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. ALTERNATE MANUFACTURER'S PRODUCTS SHALL BE COMPATIBLE WITH THE JOIST HANGERS AND OTHER HARDWARE SPECIFIED ON PLANS, OR ALTERNATE HANGERS AND HARDWARE SHALL SUBMITTED FOR REVIEW AND APPROVAL. SUBSTITUTED ITEMS SHALL HAVE ICC-ES REPORT APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES.

MANUFACTURED LUMBER PRODUCTS SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%. EXCESSIVE DEFLECTIONS MAY OCCUR IF MOISTURE CONTENT EXCEEDS THIS VALUE.

42. PREFABRICATED PLYWOOD WEB JOIST DESIGN SHOWN ON PLANS IS BASED ON JOISTS MANUFACTURED BY THE WEYERHAEUSER CORPORATION, IN ACCORDANCE WITH ICC-ES REPORT ESR-1157. ALTERNATE PLYWOOD WEB JOIST MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. ALTERNATE MANUFACTURER'S PRODUCTS SHALL BE COMPATIBLE WITH THE JOIST HANGERS AND OTHER HARDWARE SPECIFIED ON PLANS, OR ALTERNATE HANGERS AND HARDWARE SHALL SUBMITTED FOR REVIEW AND APPROVAL. SUBSTITUTED ITEMS SHALL HAVE ICC-ES REPORT APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES.

43. PLYWOOD SHEATHING SHALL BE GRADE C-D, EXTERIOR GLUE OR STRUCTURAL II, EXTERIOR GLUE IN CONFORMANCE WITH DOC PS 1 OR PS 2. ORIENTED STRAND BOARD OF EQUIVALENT THICKNESS, EXPOSURE RATING AND PANEL INDEX MAY BE USED IN LIEU OF PLYWOOD.

ROOF SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 32/16.

FLOOR SHEATHING SHALL BE 3/4" (NOMINAL) WITH SPAN RATING 48/24.

WALL SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 24/0.

PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING.

REFER TO WOOD FRAMING NOTES BELOW FOR TYPICAL NAILING REQUIREMENTS.

44. ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED WITH AN APPROVED PRESERVATIVE OR (2) LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER SHALL BE PROVIDED BETWEEN UNTREATED WOOD AND CONCRETE OR MASONRY.

45. PRESERVATIVE TREATED WOOD SHALL BE TREATED PER AWWA STANDARD U1 TO THE USE CATEGORY EQUAL TO OR HIGHER THAN THE INTENDED APPLICATION. TREATED WOOD FOR ABOVE GROUND USE SHALL BE TREATED TO AWWA UC3B. WOOD IN CONTINUOUS CONTACT WITH FRESH WATER OR SOIL SHALL BE TREATED TO AWWA UC4A. WOOD FOR USE IN PERMANENT FOUNDATIONS SHALL BE TREATED TO AWWA UC4B.

46. FASTENERS AND TIMBER CONNECTORS USED WITH TREATED WOOD SHALL HAVE CORROSION RESISTANCE AS INDICATED IN THE FOLLOWING TABLE, UNLESS OTHERWISE NOTED.

WOOD TREATMENT	CONDITION	PROTECTION
HAS NO AMMONIA CARRIER	INTERIOR DRY	G90 GALVANIZED
CONTAINS AMMONIA CARRIER	INTERIOR DRY	G185 OR A185 HOT DIPPED OR CONTINUOUS HOT-GALVANIZED PER ASTM A653
CONTAINS AMMONIA CARRIER	INTERIOR WET	TYPE 304 OR 316 STAINLESS
CONTAINS AMMONIA CARRIER	EXTERIOR	TYPE 304 OR 316 STAINLESS
AZCA	ANY	TYPE 304 OR 316 STAINLESS

INTERIOR DRY CONDITIONS SHALL HAVE WOOD MOISTURE CONTENT LESS THAN 19%. WOOD MOISTURE CONTENT IN OTHER CONDITIONS (INTERIOR WET, EXTERIOR WET, AND EXTERIOR DRY) IS EXPECTED TO EXCEED 19%. CONNECTORS AND THEIR FASTENERS SHALL BE THE SAME MATERIAL. COMPLY WITH THE TREATMENT MANUFACTURERS RECOMMENDATIONS FOR PROTECTION OF METAL.

47. TIMBER CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR CATALOG NUMBER C-C-2021. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE ICC-ES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER FOR MAXIMUM LOAD CARRYING CAPACITY. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

ALL 2X JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "LUS" SERIES JOIST HANGERS. ALL TJI JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "ITS" SERIES JOIST HANGERS. ALL DOUBLE-JOIST BEAMS SHALL BE CONNECTED TO FLUSH BEAMS WITH "MIT" SERIES JOIST HANGERS.

WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER.

ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM) AS MEMBERS CONNECTED.

48. WOOD FASTENERS

A. NAIL SIZES SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:

SIZE	LENGTH	DIAMETER
6d	2"	0.113"
8d	2-1/2"	0.131"
10d	3"	0.148"
12d	3-1/4"	0.148"
16d BOX	3-1/2"	0.135"

IF CONTRACTOR PROPOSES THE USE OF ALTERNATE NAILS, THEY SHALL SUBMIT NAIL SPECIFICATIONS TO THE STRUCTURAL ENGINEER (PRIOR TO CONSTRUCTION) FOR REVIEW AND APPROVAL.

NAILS - PLYWOOD (APA RATED SHEATHING) FASTENERS TO FRAMING SHALL BE DRIVEN FLUSH TO FACE OF SHEATHING WITH NO COUNTERSINKING PERMITTED. TOE-NAILS SHALL BE DRIVEN AT AN ANGLE OF 30 DEGREES WITH THE MEMBER AND STARTED 1/3 THE LENGTH OF THE NAIL FROM THE MEMBER END.

B. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG BOLTS BEARING ON WOOD. INSTALLATION OF LAG BOLTS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION WITH A LEAD BORE HOLE OF 60 TO 70 PERCENT OF THE SHANK DIAMETER. LEAD HOLES ARE NOT REQUIRED FOR 3/8" AND SMALLER LAG SCREWS.

49. NOTCHES AND HOLES IN WOOD FRAMING:

A. NOTCHES ON THE ENDS OF SOLID SAWN JOISTS AND RAFTERS SHALL NOT EXCEED ONE-FOURTH THE JOIST DEPTH. NOTCHES IN THE TOP OR BOTTOM OF SOLID SAWN JOISTS SHALL NOT EXCEED ONE-SIXTH THE DEPTH AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. HOLES BORED IN SOLID SAWN JOISTS AND RAFTERS SHALL NOT BE WITHIN 2 INCHES OF THE TOP OR BOTTOM OF THE JOIST, AND THE DIAMETER OF ANY SUCH HOLE SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE JOIST.

B. IN EXTERIOR WALLS AND BEARING PARTITIONS, ANY WOOD STUD IS PERMITTED TO BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25 PERCENT OF ITS WIDTH. A HOLE NOT GREATER IN DIAMETER THAN 40 PERCENT OF THE STUD WIDTH IS PERMITTED TO BE BORED IN ANY WOOD STUD. IN NO CASE SHALL THE EDGE OF THE BORED HOLE BE NEARER THAN 5/8 INCH TO THE EDGE OF THE STUD. BORED HOLES SHALL NOT BE LOCATED AT THE SAME SECTION OF STUD AS A CUT OR NOTCH.

C. NOTCHES AND HOLES IN MANUFACTURED LUMBER AND PREFABRICATED PLYWOOD WEB JOISTS SHALL BE PER THE MANUFACTURERS RECOMMENDATIONS UNLESS OTHERWISE NOTED.

50. WOOD FRAMING NOTES--THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:

A. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE, THE AITC "TIMBER CONSTRUCTION MANUAL" AND THE AWC "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION". MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO IBC TABLE 2304.10.1. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS.

B. WALL FRAMING: REFER ARCHITECTURAL DRAWINGS FOR THE SIZE OF ALL WALLS. ALL STUDS SHALL BE SPACED AT 16" O.C. UNO. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL WALLS AND AT EACH SIDE OF ALL OPENINGS, AND AT BEAM OR HEADER BEARING LOCATIONS. TWO 2x8 HEADERS SHALL BE PROVIDED OVER ALL OPENINGS NOT OTHERWISE NOTED. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW. PROVIDE CONTINUOUS SOLID BLOCKING AT MID-HEIGHT OF ALL STUD WALLS OVER 10'-0" IN HEIGHT.

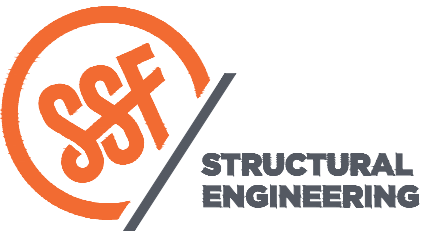
ALL WALLS SHALL HAVE A SINGLE BOTTOM PLATE AND A DOUBLE TOP PLATE. END NAIL TOP PLATE TO EACH STUD WITH TWO 16d NAILS, AND TOENAIL OR END NAIL EACH STUD TO BOTTOM PLATE WITH TWO 16d NAILS. FACE NAIL DOUBLE TOP PLATE WITH 16d @ 12" O.C.. LAP TOP PLATES AT JOINTS A MINIMUM 4'-0" AND NAIL WITH TWELVE 16d NAILS @ 4" O.C. EACH SIDE JOINT.

ALL STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH TWO ROWS OF 16d NAILS @ 12" ON-CENTER, OR ATTACHED TO CONCRETE BELOW WITH 5/8" DIAMETER ANCHOR BOLTS @ 4'-0" ON-CENTER EMBEDDED 7" MINIMUM, UNLESS INDICATED OTHERWISE. INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH TWO ROWS OF 16d @ 12" ON-CENTER. UNLESS OTHERWISE NOTED, GYPSUM WALLBOARD SHALL BE FASTENED TO THE INTERIOR SURFACE OF ALL STUDS AND PLATES WITH NO. 6 X 1-1/4" TYPE S OR W SCREWS @ 8" ON-CENTER. UNLESS INDICATED OTHERWISE, 1/2" (NOMINAL) APA RATED SHEATHING (SPAN RATING 24/0) SHALL BE NAILED TO ALL EXTERIOR SURFACES WITH 8d NAILS @ 6" ON-CENTER AT PANEL EDGES AND TOP AND BOTTOM PLATES (BLOCK UN-SUPPORTED EDGES) AND TO ALL INTERMEDIATE STUDS AND BLOCKING WITH 8d NAILS @ 12" ON-CENTER ALLOW 1/8" SPACING AT ALL PANEL EDGES AND PANEL ENDS.

C. FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING BETWEEN RAFTERS AND JOISTS AT ALL BEARING POINTS WITH A MINIMUM OF (3) 16d TOE NAILS EACH END. TOE-NAIL JOISTS TO SUPPORTS WITH TWO 16d NAILS. ATTACH TIMBER JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON METAL JOIST HANGERS IN ACCORDANCE WITH NOTES ABOVE. NAIL ALL MULTI JOIST BEAMS TOGETHER WITH TWO ROWS 16d @ 12" ON-CENTER.

UNLESS OTHERWISE NOTED ON THE PLANS, PLYWOOD ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH GRAIN PERPENDICULAR TO SUPPORTS AND NAILED AT 6" ON-CENTER WITH 8d NAILS TO FRAMED PANEL EDGES, STRUTS AND OVER STUD WALLS AS SHOWN ON PLANS AND @ 12" ON-CENTER TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH 16d @ 12" ON-CENTER, MINIMUM TWO NAILS PER BLOCK, UNLESS OTHERWISE NOTED.

D. WOOD SHRINKAGE: MECHANICAL, ELECTRICAL, PLUMBING FIRE PROTECTION, CLADDING, AND OTHER SYSTEMS INSTALLED WITHIN THE BUILDING SHALL BE DESIGNED AND CONSTRUCTED TO ACCOMMODATE 3/8" OF VERTICAL MOVEMENT PER FLOOR LEVEL.

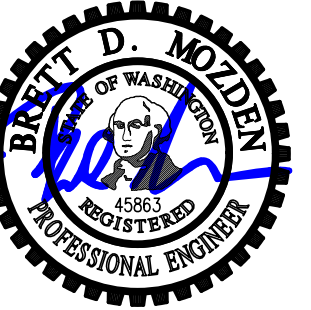


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DRAWN: CFG

DESIGN: BDM

CHECKED: BDM

APPROVED: BDM

REVISIONS:

JURISDICTIONAL APPROVAL STAMP:

PROJECT TITLE:

**Korpela + Wiens
Residence**

8441 SE 33rd Place
Mercer Island, WA

ARCHITECT:

Jessyca Poole

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ISSUE:

Permit

SHEET TITLE:

**General
Structural Notes
Continued**

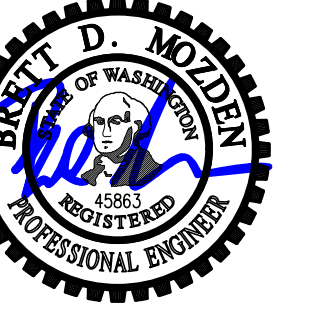
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DATE: Dec. 14, 2023

PROJECT NO: 02327-2023-04

SHEET NO:

S1.2



DRAWN: CFG
 DESIGN: BDM
 CHECKED: BDM
 APPROVED: BDM

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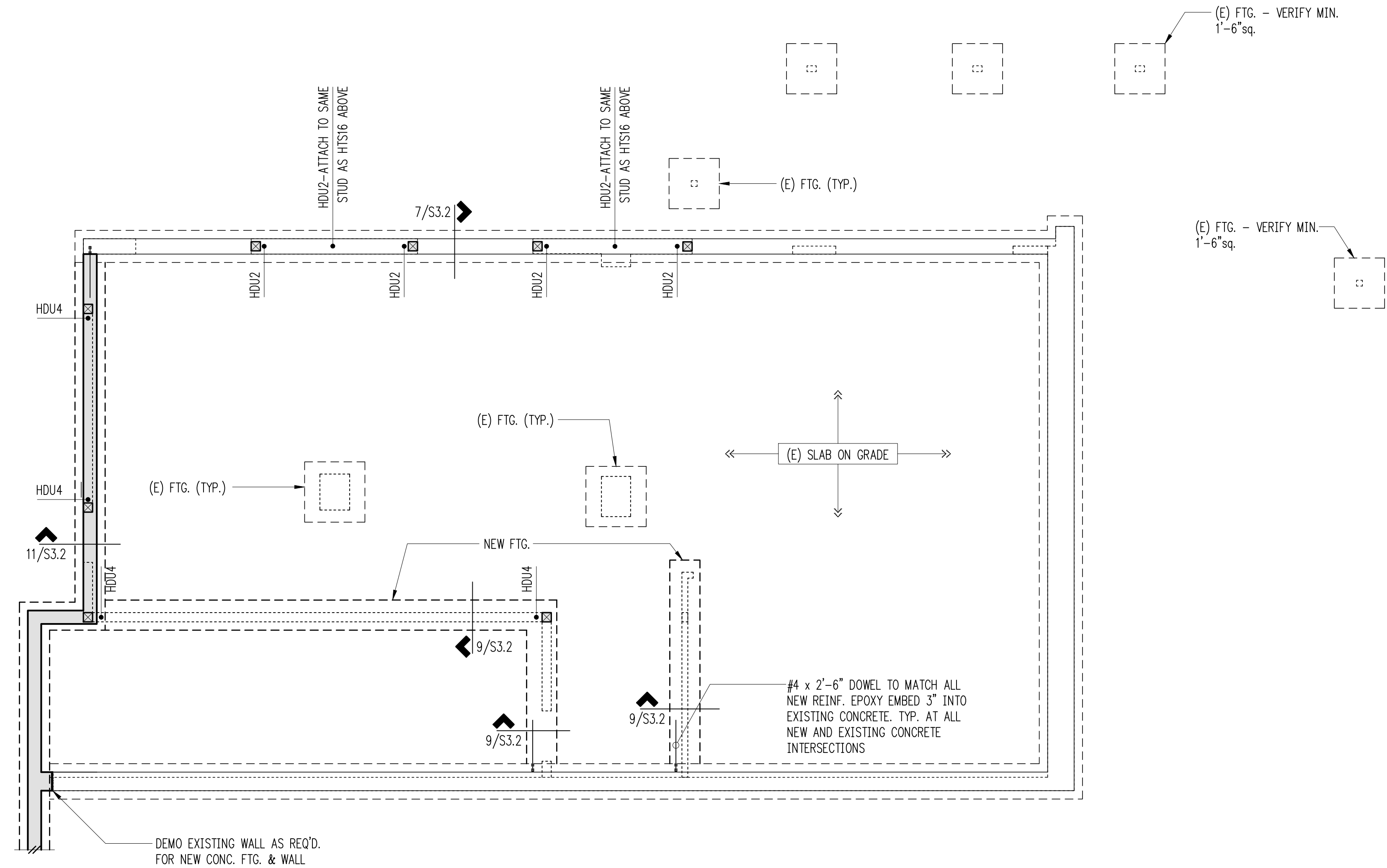
NO.	REVISIONS

Plan Notes

- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.
- EXISTING FRAMING ON PLANS IS ASSUMED. CONTRACTOR TO VERIFY DIRECTIONS AND EXTENTS. NOTIFY ARCHITECT AND ENGINEER IF DIFFERENT.
- EXTERIOR SLABS ON GRADE SHALL BE 4" MINIMUM THICKNESS. REINFORCE WITH #3 AT 16" O.C. CENTERED IN SLAB. BELOW SLAB PROVIDE 6" MINIMUM FREE DRAINING GRAVEL OVER FIRM NATIVE SOILS OR STRUCTURAL FILL.
- THE BOTTOM OF ALL NEW EXTERIOR FOOTINGS SHALL BE 18" MINIMUM BELOW EXTERIOR GRADE.
- ALL NEW POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE FULL CONTINUOUS BEARING THROUGH FLOORS TO FOUNDATION.

Legend

- STRUCTURAL WALL OR POST ABOVE
- (E) STRUCTURAL WALL OR POST ABOVE
- NON-STRUCTURAL WALL BELOW
- EXISTING STEM WALL & FOOTING
- STEM WALL & FOOTING
- STRUCTURAL WALL OR POST BELOW
- HOLDOWN PER 11/S3.1 OR 9/S3.1 AT (E) U.N.O.



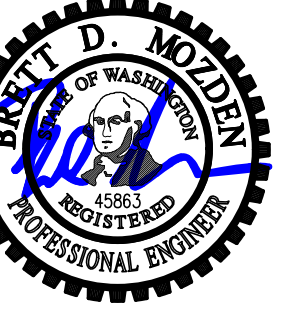
PROJECT TITLE:
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 8441 SE 33rd Place
 Mercer Island, WA

ARCHITECT:
Jessica Poole
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ISSUE:
Permit

SHEET TITLE:
Lower Foundation Plan

SCALE: 1/4" = 1'-0"
 DATE: Dec. 14, 2023
 PROJECT NO: 02327-2023-04
 SHEET NO:



DRAWN: CFG
 DESIGN: BDM
 CHECKED: BDM
 APPROVED: BDM

REVISIONS:

JURISDICTIONAL APPROVAL STAMP:

PROJECT TITLE:

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SHEET TITLE:

**Upper Floor
 & Lower
 Roof Plan**

SCALE: 1/4" = 1'-0"

DATE: Dec. 14, 2023

PROJECT NO: 02327-2023-04

SHEET NO:

S2.3

Plan Notes

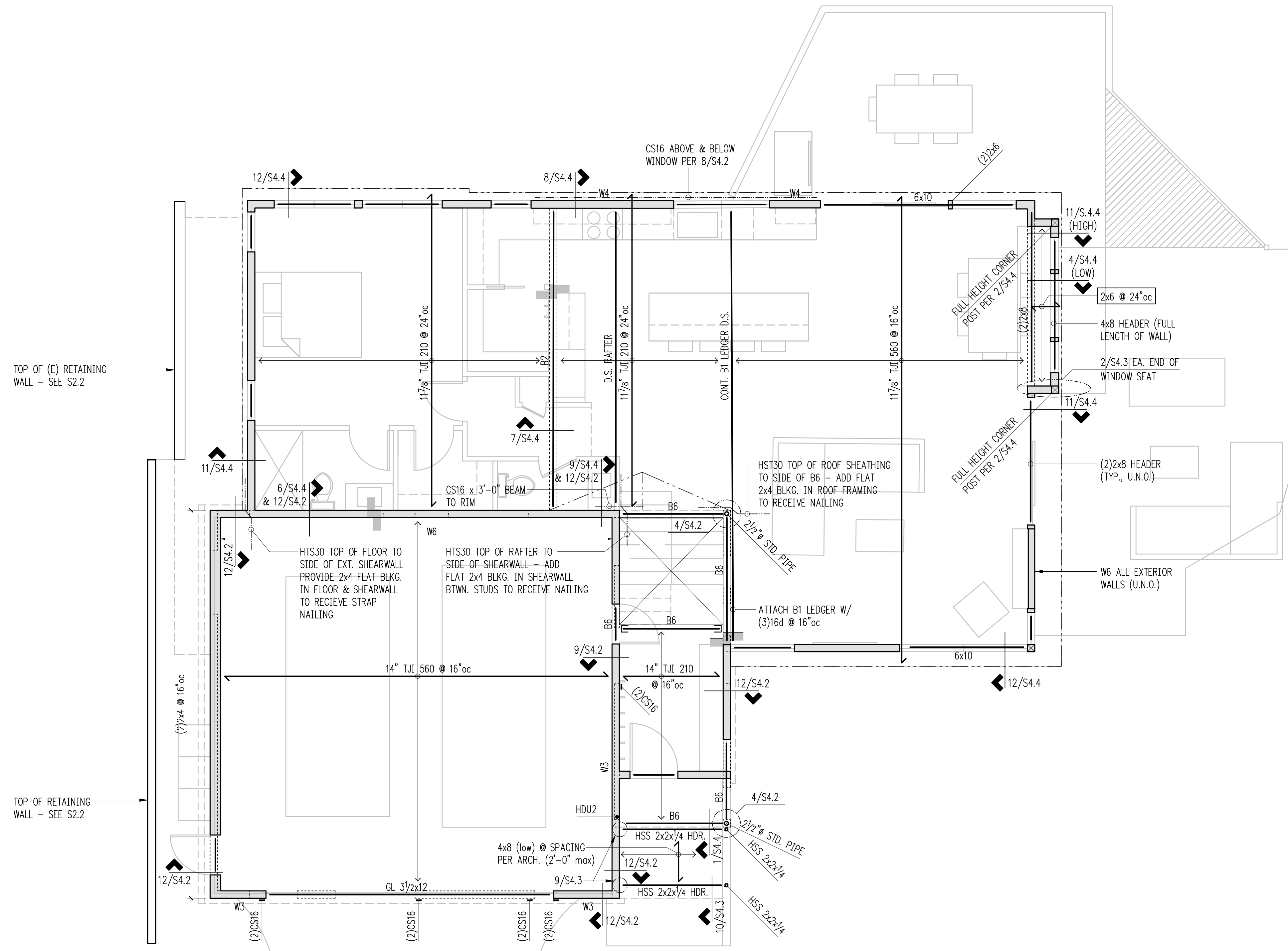
- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.
- ALL POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE FULL CONTINUOUS BEARING THROUGH FLOORS TO FOUNDATION.
- PROVIDE AC, ACE, PC, EPC, LPC, OR LCE COLUMN CAP AND BASE AT ALL NEW BEAM TO COLUMN CONNECTIONS U.O.N.
- NEW MANUFACTURED LUMBER PRODUCTS (LSL, LVL, PSL, GL) SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%.
- TYPICAL FLOOR FRAMING CONSISTS OF FLOORING PER ARCHITECT OVER 3/4" T&G APA RATED PLYWOOD FACE GRAIN PERPENDICULAR TO FRAMING PER PLAN, U.O.N.
- NAIL FLOOR SHEATHING W/ 8D AT 6" OC AT FRAMED PANEL EDGES AND OVER SHEARWALLS, AND AT 12" OC IN FIELD.
- PROVIDE BLOCKING/BRIDGING AT 8'-0" O.C. IN FLOOR FRAMING
- TYPICAL ROOF FRAMING OF ROOFING PER ARCHITECTURAL DRAWINGS OVER 1/2" CDX APA RATED SHEATHING (EXPOSURE 1), FACE PERPENDICULAR TO FRAMING PER PLAN, U.O.N.
- NAIL ROOF SHEATHING WITH 8D AT 6" O.C. AT ALL FRAMED PANEL EDGES AND OVER SHEARWALLS, AND AT 12" O.C. FIELD.
- "W_" INDICATES PLYWOOD SHEARWALL BELOW FRAMING SHOWN. REFER TO SHEARWALL SCHEDULE FOR WALL ATTACHMENTS. ALL EXTERIOR WOOD FRAMED WALLS ARE W6, U.O.N.
- PROVIDE (2) BEARING STUDS AT EACH END OF ALL, HEADERS AND BEAMS OVER 3'-0" IN LENGTH, U.O.N.

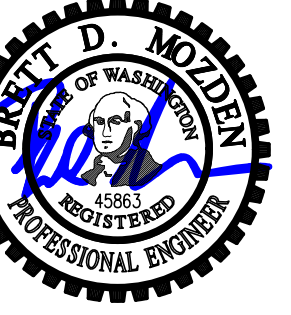
Legend

- STRUCTURAL WALL OR POST BELOW XX HOLDOWN PER 11/S3.1
- STRUCTURAL WALL OR POST ABOVE D.S. DRAG STRUT: NAIL W/ 8d @ 4" oc THRU SHEATHING
- NON-STRUCTURAL WALL BELOW
- Wx SHEARWALL PER 4/S4.1
- SPAN DIRECTION
- EXTENT OF JOISTS
- HEADER/BREAM PER PLAN
- CHANGE IN ELEVATION

Beam Schedule

MARK	BEAM	HANGER	BRG. STUDS
B1	LVL 1 3/4x11 7/8	HU14	2
B2	LVL 3/2x11 7/8	HHUS410	3
B3	(3)LVL 1 3/4x11 7/8	HGUS5.50/14	4
B4	(4)LVL 1 3/4x11 7/8	HGUS7.25/14	5
B5	LSL 1 3/4x14	HU/HUC14	2
B6	LSL 3/2x14	HU/HUC416	3
B7	(3)LVL 1 3/4x14	HGUS5.50/14	4
B8	(4)LVL 1 3/4x14	HGUS7.25/14	5





DRAWN:	CFG
DESIGN:	BDM
CHECKED:	BDM
APPROVED:	BDM

REVISIONS:	

JURISDICTIONAL APPROVAL STAMP:

PROJECT TITLE:
**Korpela + Wiens
 Residence**
 8441 SE 33rd Place
 Mercer Island, WA

ARCHITECT:
Jessica Poole
 7718 Fremont Ave N
 Seattle, WA 98103
 PH 206.484.3802

ISSUE:
Permit

SHEET TITLE:
**Upper Roof
 Plan**

SCALE: 1/4" = 1'-0"
 DATE: Dec. 14, 2023
 PROJECT NO: 02327-2023-04
 SHEET NO:

S2.4

Plan Notes

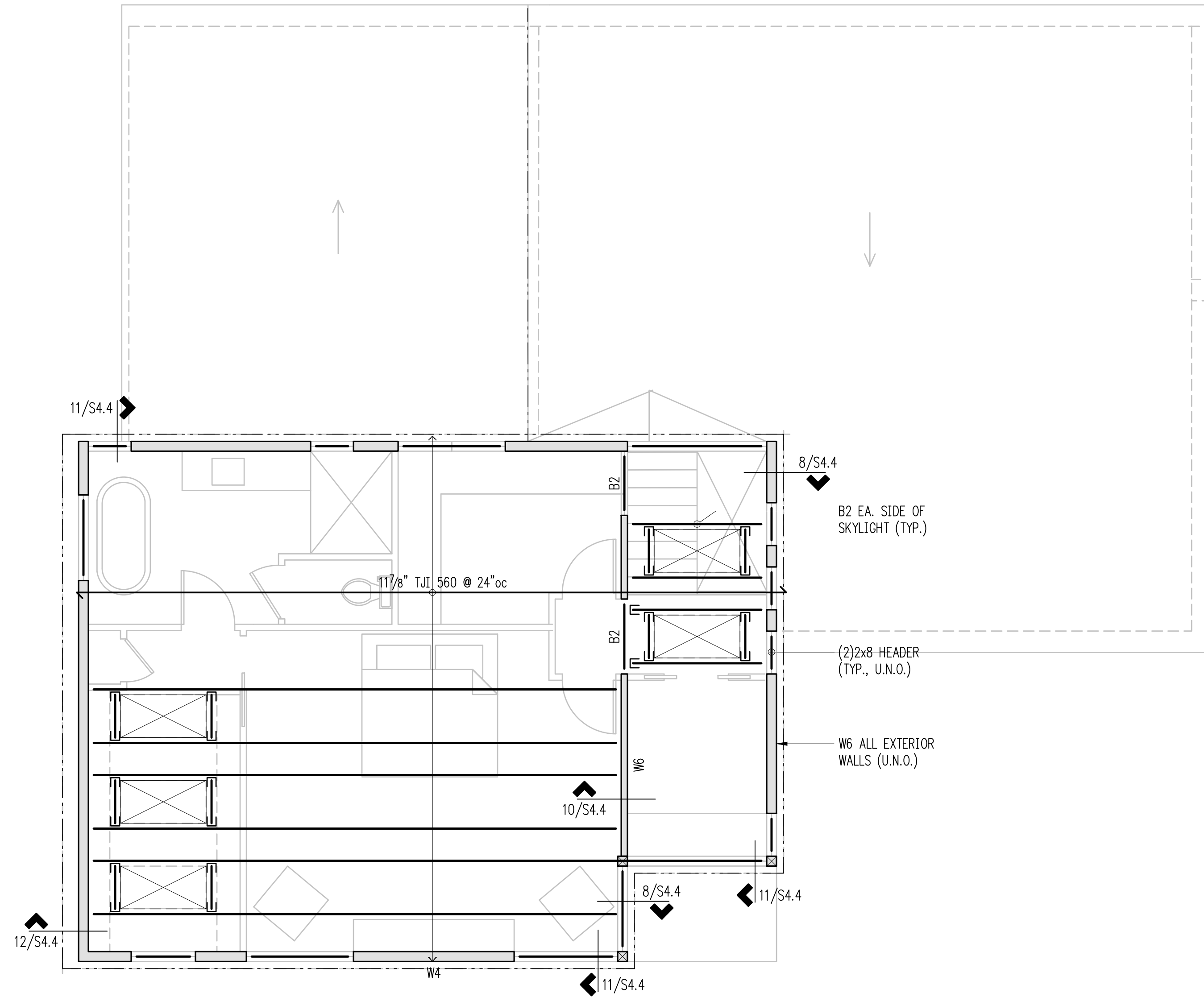
- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.
- ALL POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE FULL CONTINUOUS BEARING THROUGH FLOORS TO FOUNDATION.
- PROVIDE AC, ACE, PC, EPC, LPC, OR LCE COLUMN CAP AND BASE AT ALL NEW BEAM TO COLUMN CONNECTIONS U.O.N.
- NEW MANUFACTURED LUMBER PRODUCTS (LSL, LVL, PSL, GL) SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%.
- TYPICAL ROOF FRAMING OF ROOFING PER ARCHITECTURAL DRAWINGS OVER 1/2" CDX APA RATED SHEATHING (EXPOSURE 1), FACE PERPENDICULAR TO FRAMING PER PLAN, U.O.N.
- NAIL ROOF SHEATHING WITH 8D AT 6" O.C. AT ALL FRAMED PANEL EDGES AND OVER SHEARWALLS, AND AT 12" O.C. FIELD.
- "W_" INDICATES PLYWOOD SHEARWALL BELOW FRAMING SHOWN. REFER TO SHEARWALL SCHEDULE FOR WALL ATTACHMENTS. ALL EXTERIOR WOOD FRAMED WALLS ARE W6, U.O.N.
- PROVIDE (2) BEARING STUDS AT EACH END OF ALL HEADERS AND BEAMS OVER 3'-0" IN LENGTH, U.O.N.

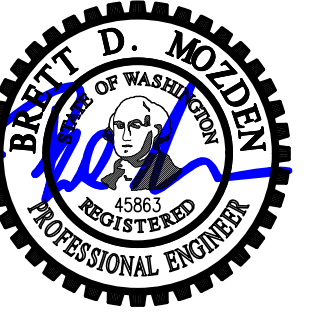
Legend

- STRUCTURAL WALL OR POST BELOW
- NON-STRUCTURAL WALL BELOW
- Wx SHEARWALL PER 4/S4.1
- SPAN DIRECTION
- EXTENT OF JOISTS
- HEADER/BEAM PER PLAN

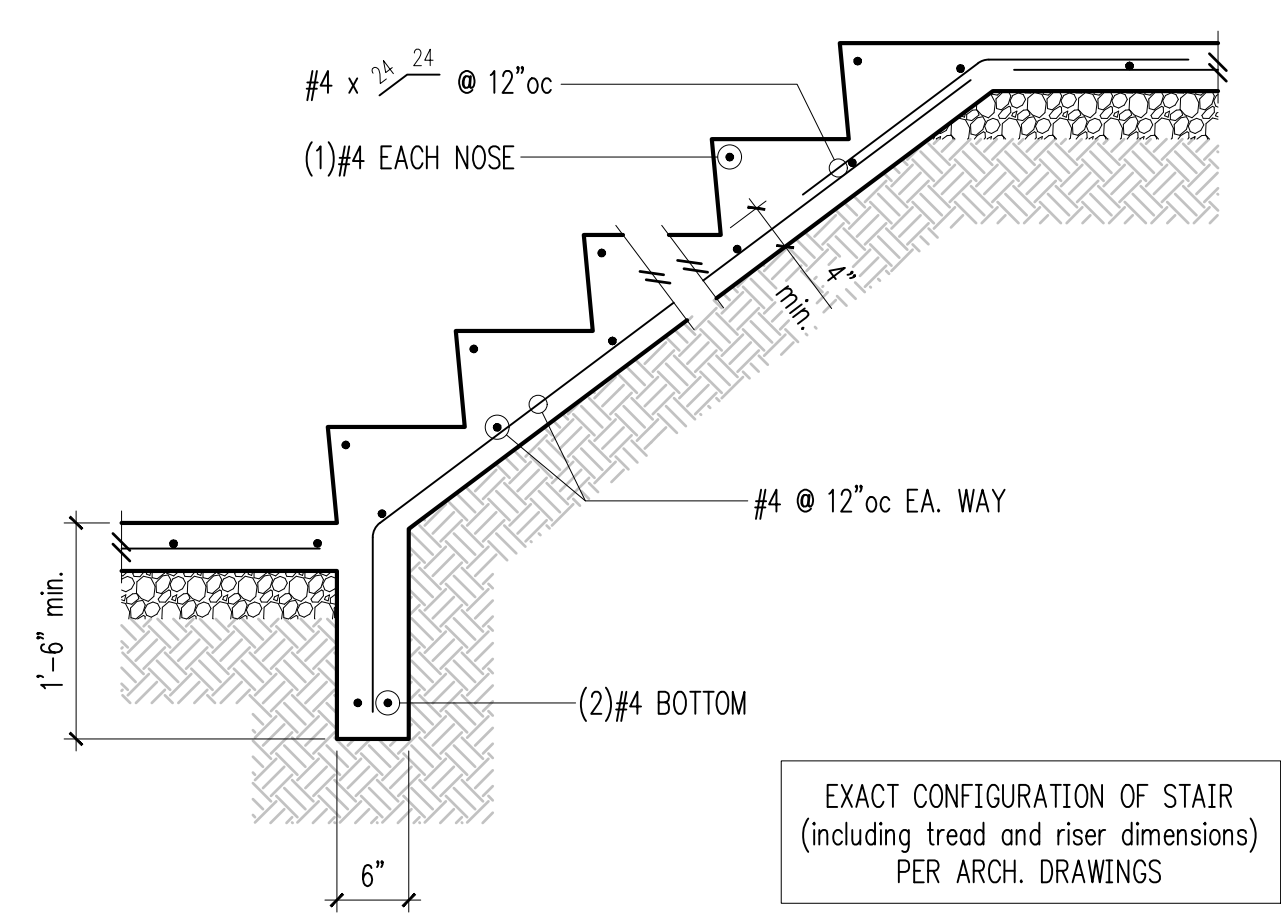
Beam Schedule

MARK	BEAM	HANGER	BRG. STUDS
B1	LVL 1 3/4x11 7/8	HU14	2
B2	LVL 3 1/2x11 7/8	HHUS410	3
B3	(3) LVL 1 3/4x11 7/8	HGUS5.50/14	4
B4	(4) LVL 1 3/4x11 7/8	HGUS7.25/14	5

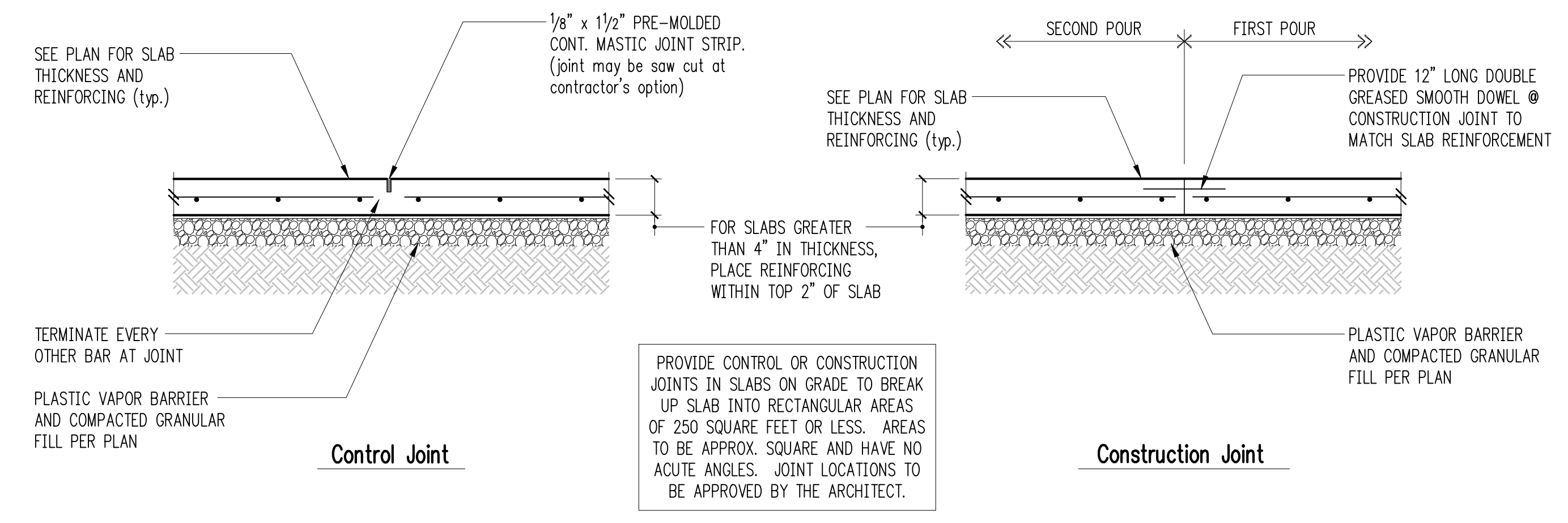




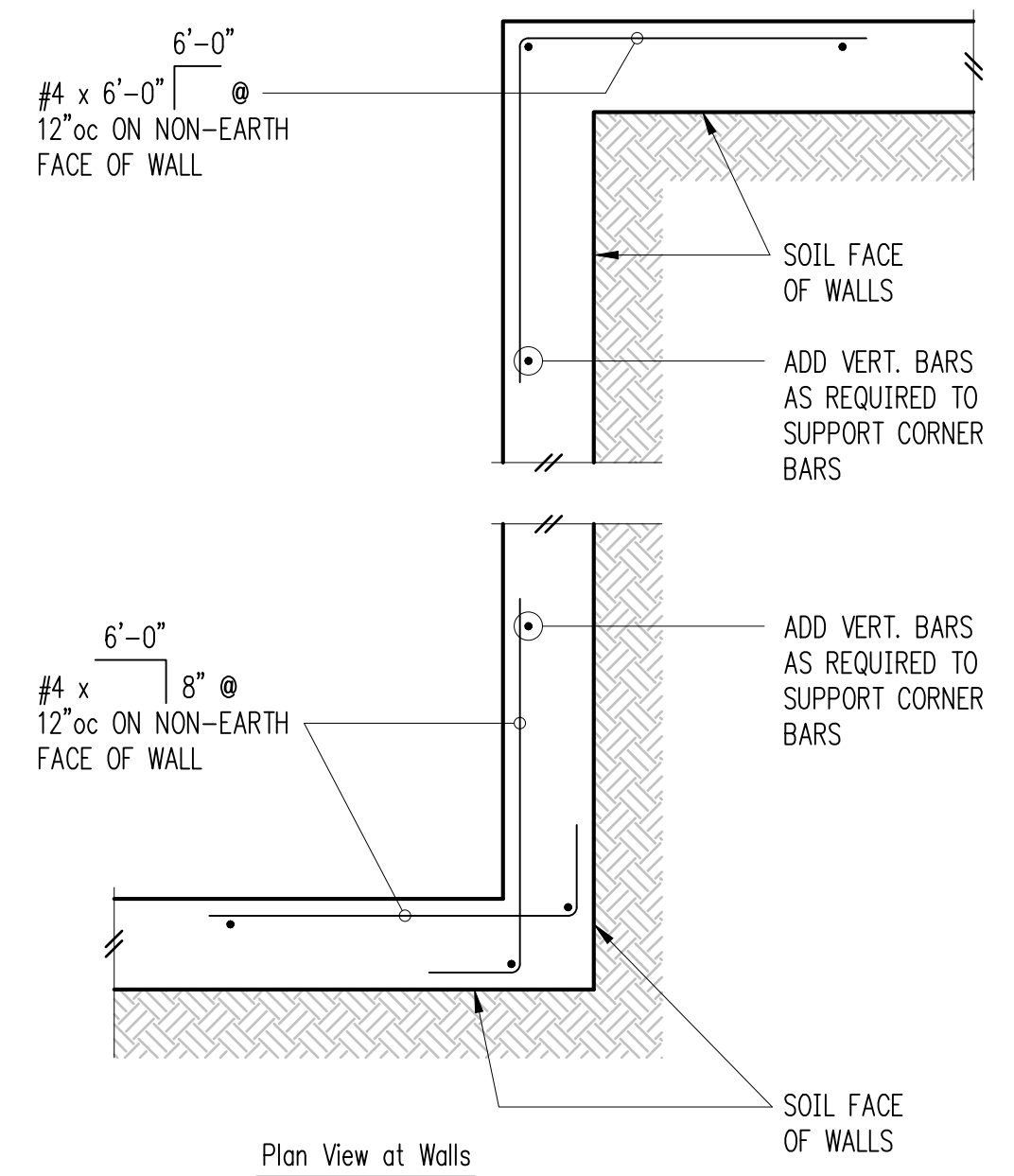
DRAWN: CFG
 DESIGN: BDM
 CHECKED: BDM
 APPROVED: BDM



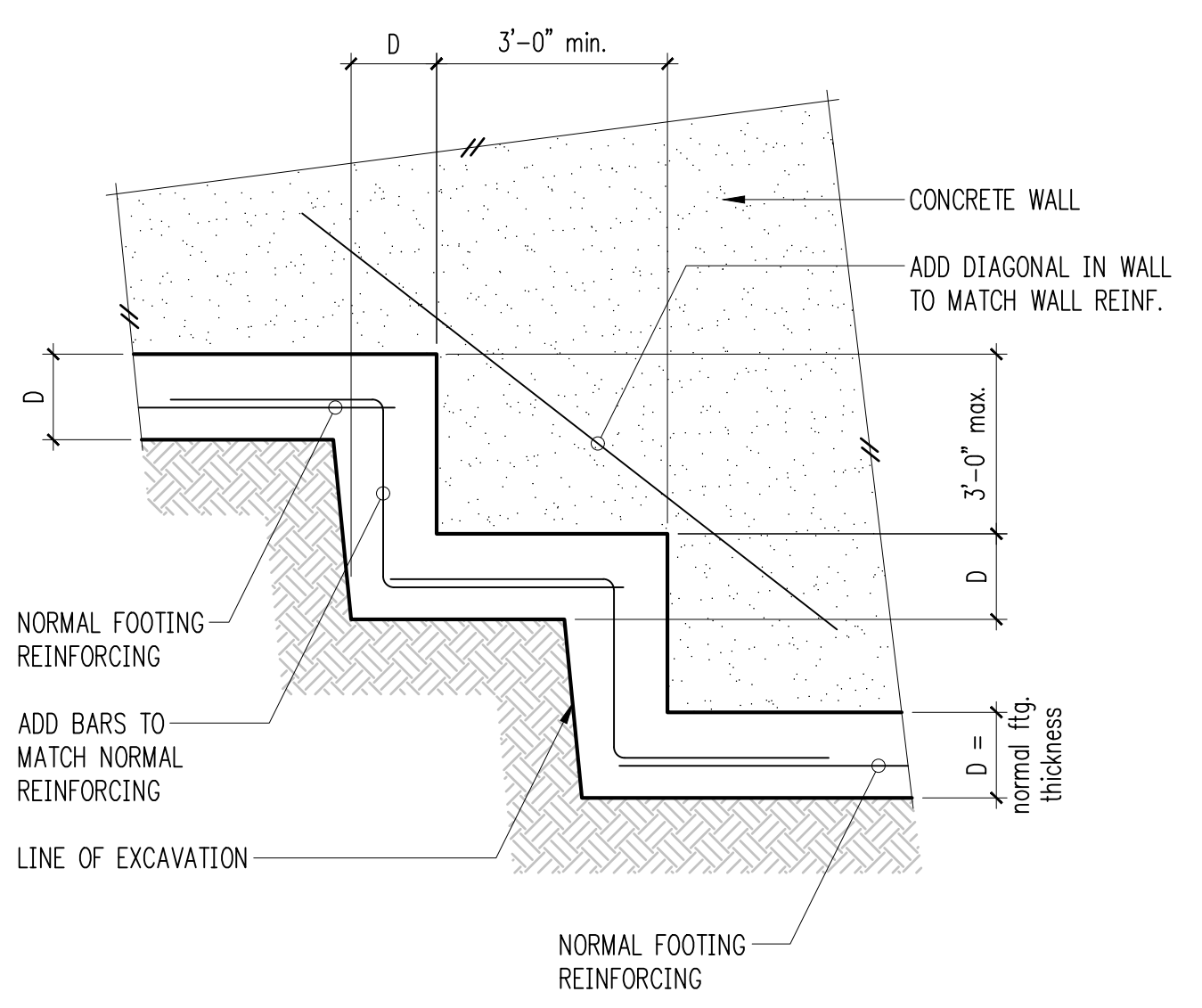
1 Typical Stair On Grade 2



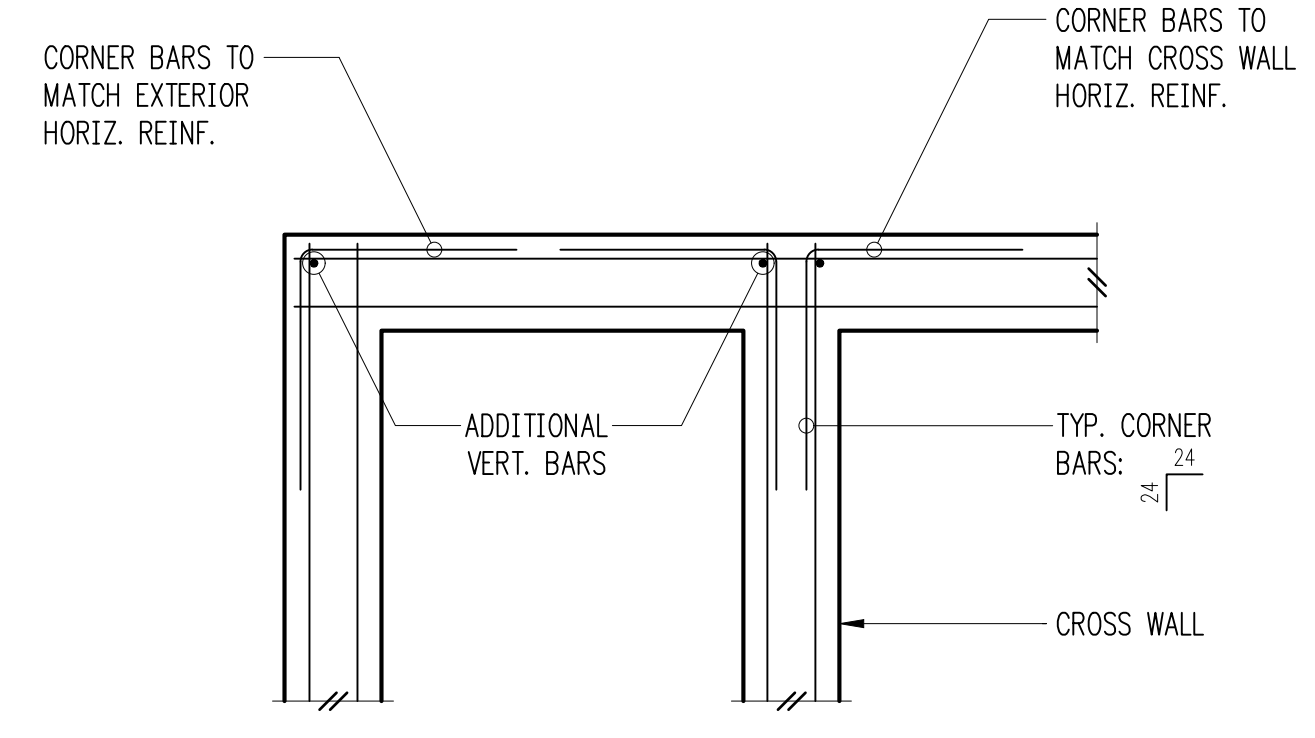
4 Typical Slab Joints



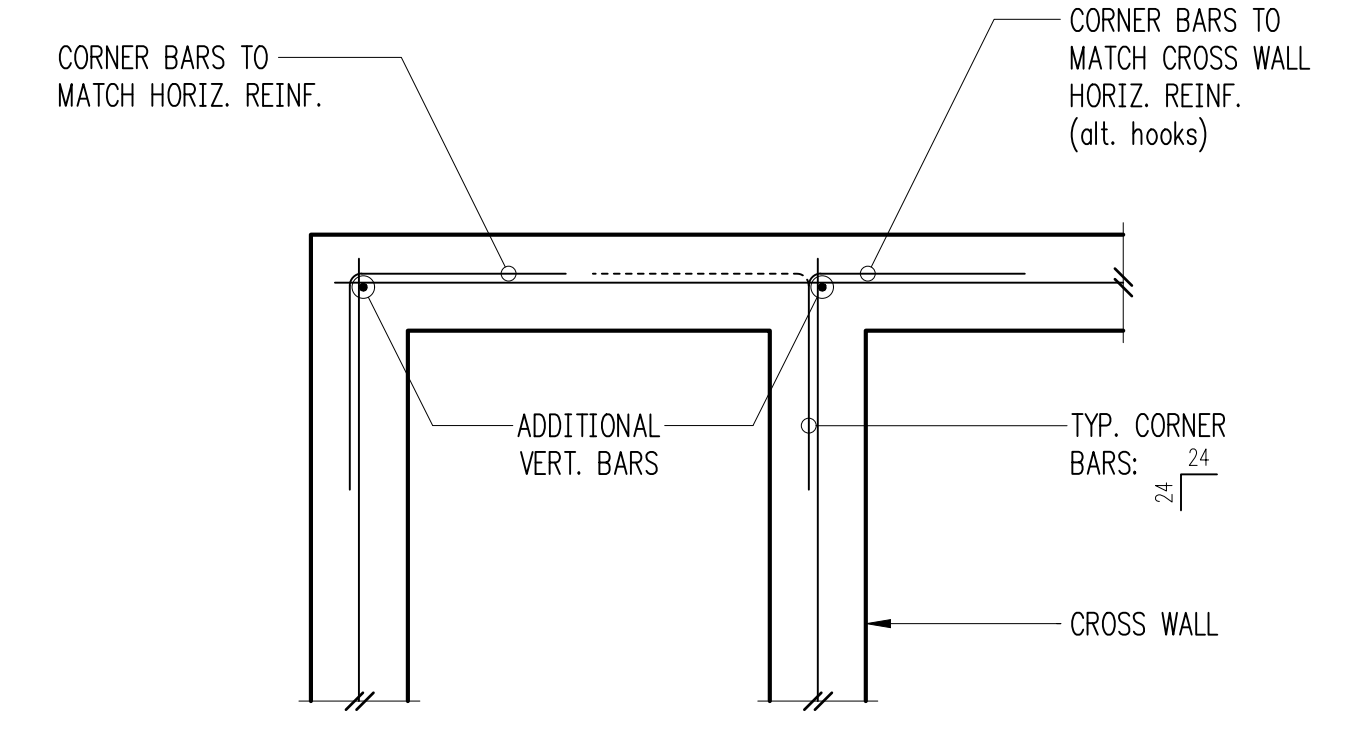
5 Additional Reinforcement at Retaining Walls



6 Typical Stepped Footing

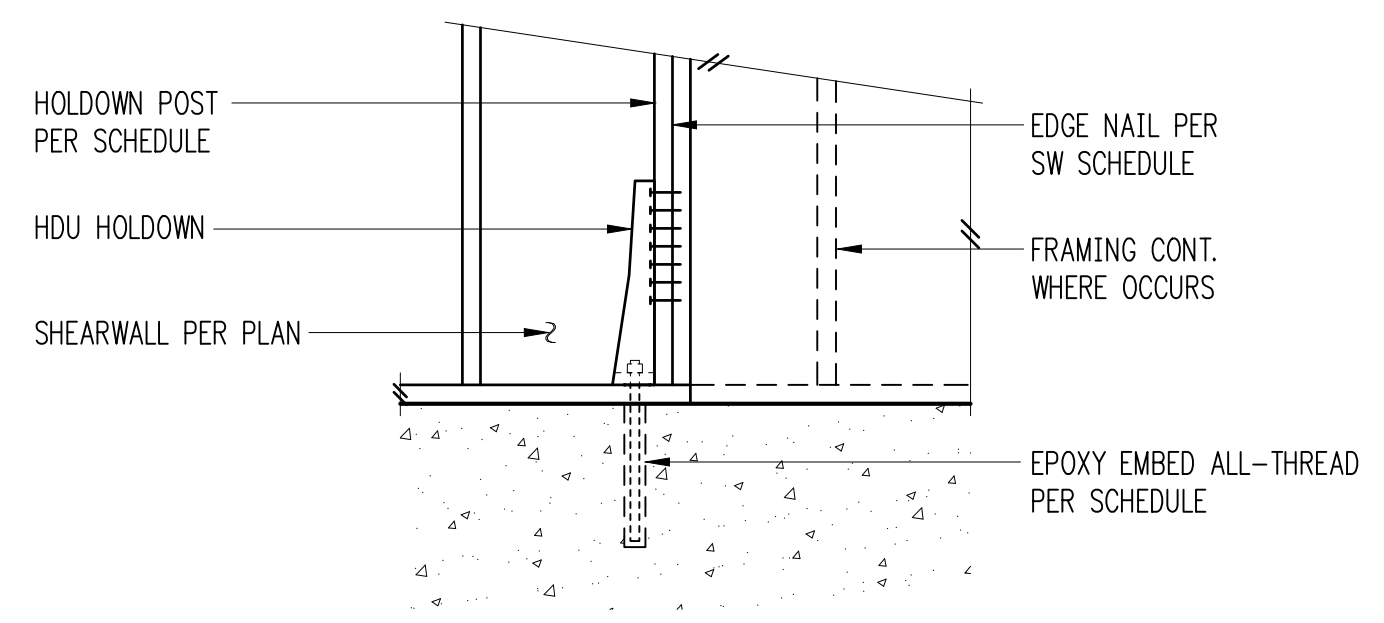


Double Curtain



Single Curtain

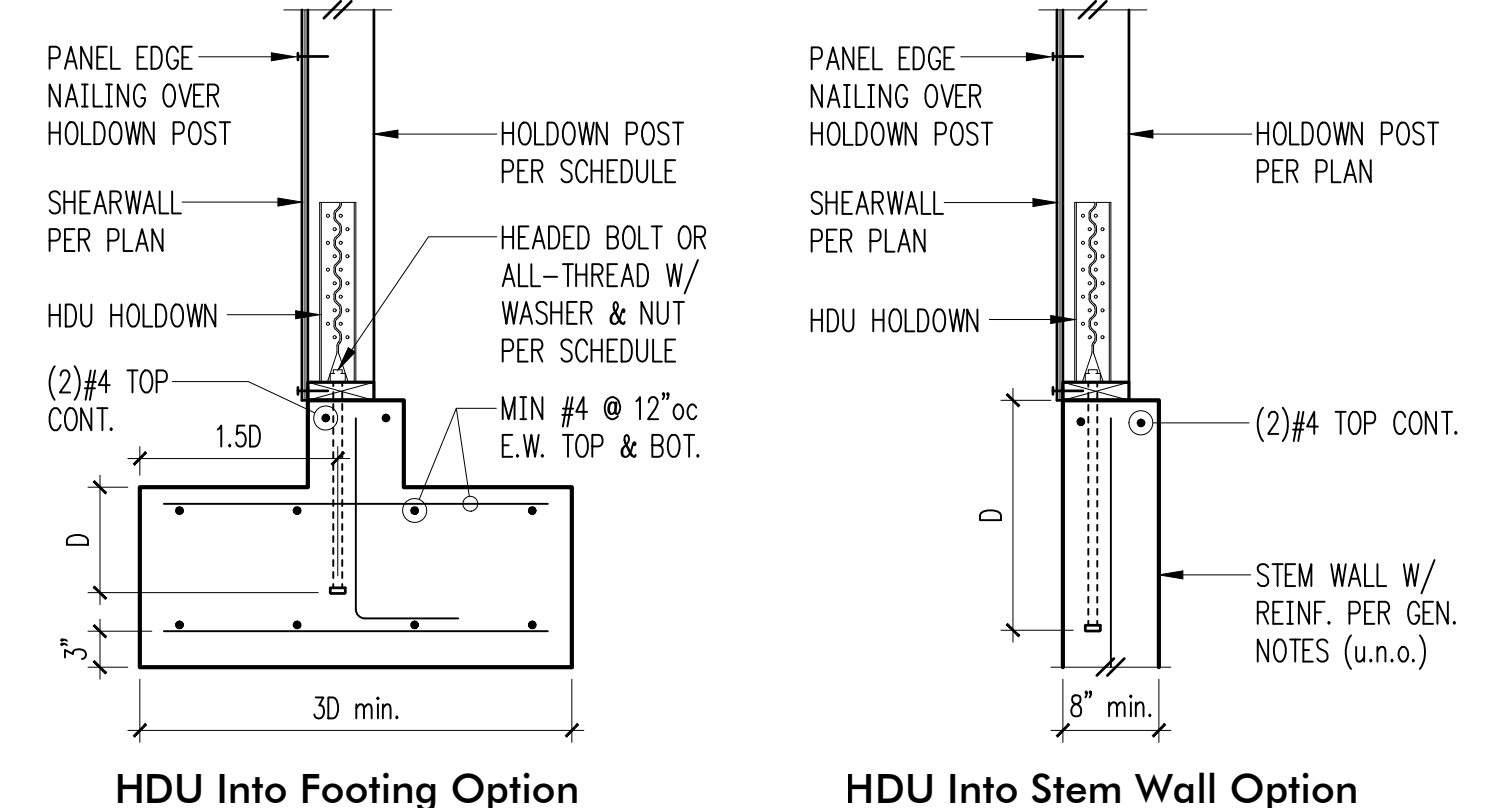
8 Typical Corner Bars at Concrete Walls and Footings



Holdown Schedule

Plan Mark	Screws	Anchor Bolt	A.B. Embed	Holdown Post	if 2x4	if 2x6
HDU2-SDS2.5	(6)SDS 1/4"x2 1/2"	5/8"Ø	12"	(2) 2x4	(2) 2x6	
HDU4-SDS2.5	(10)SDS 1/4"x2 1/2"	5/8"Ø	16"	4x4	4x6	
HDU5-SDS2.5	(14)SDS 1/4"x2 1/2"	5/8"Ø	20"	4x6	4x6	
HDU8-SDS2.5	(20)SDS 1/4"x2 1/2"	7/8"Ø	24"	4x8	6x6	
HDU11-SDS2.5	(30)SDS 1/4"x2 1/2"	1"Ø	24"	4x10	6x6	
HDU14-SDS2.5	(36)SDS 1/4"x2 1/2"	1"Ø	24"	4x12	6x8	

1 Typical HDU Holdown



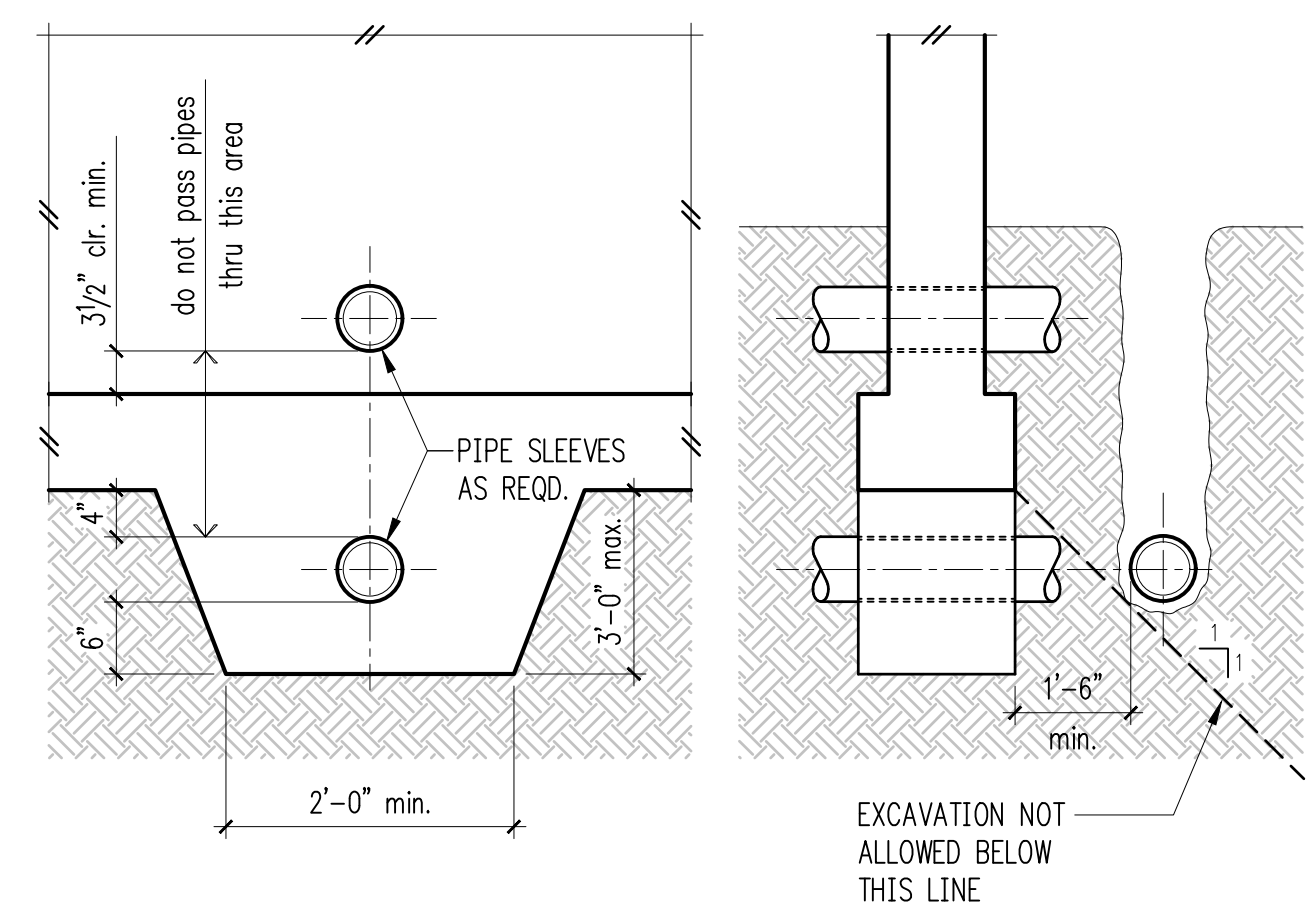
HDU Into Footing Option HDU Into Stem Wall Option

Holdown Schedule

Plan Mark	Screws	Anchor Bolt	Min. A.B. Embed (D)	Footing	Holdown Post	if 2x4	if 2x6
HDU2-SDS2.5	(6)SDS 1/4"x2 1/2"	5/8"Ø	12"	4"	(2) 2x4	(2) 2x6	
HDU4-SDS2.5	(10)SDS 1/4"x2 1/2"	5/8"Ø	18"	6"	4x4	4x6	
HDU5-SDS2.5	(14)SDS 1/4"x2 1/2"	5/8"Ø	SB5/8x24	7"	4x4	4x6	
HDU8-SDS2.5	(20)SDS 1/4"x2 1/2"	7/8"Ø	SSTB28	8"	4x6	6x6	
HDU11-SDS2.5	(30)SDS 1/4"x2 1/2"	1"Ø	SB1x30	10"	4x8	6x6	
HDU14-SDS2.5	(36)SDS 1/4"x2 1/2"	1"Ø	N/A	12"	4x8	6x6	

1 MINIMUM SIZE OF POST AT END OF WALL UNLESS OTHERWISE NOTED ON FRAMING PLANS.

11 Typical HDU Holdown



12 Pipe and Trench Locations

REVISIONS:

JURISDICTIONAL APPROVAL STAMP:

PROJECT TITLE:

Korpela + Wiens
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 Mercer Island, WA

ARCHITECT:

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ISSUE:

Permit

SHEET TITLE:

Typical
 Concrete
 Details

SCALE:

3/4" = 1'-0" U.N.O.

DATE:

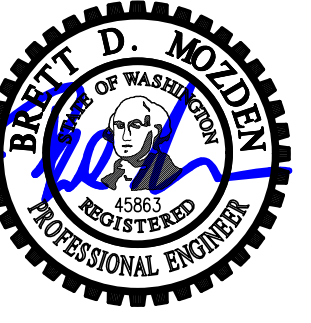
Dec. 14, 2023

PROJECT NO:

02327-2023-04

SHEET NO:

S3.1



DRAWN: CFG
 DESIGN: BDM
 CHECKED: BDM
 APPROVED: BDM

REVISIONS:

JURISDICTIONAL APPROVAL STAMP:

PROJECT TITLE:
**Korpela + Wiens
 Residence**
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 Mercer Island, WA

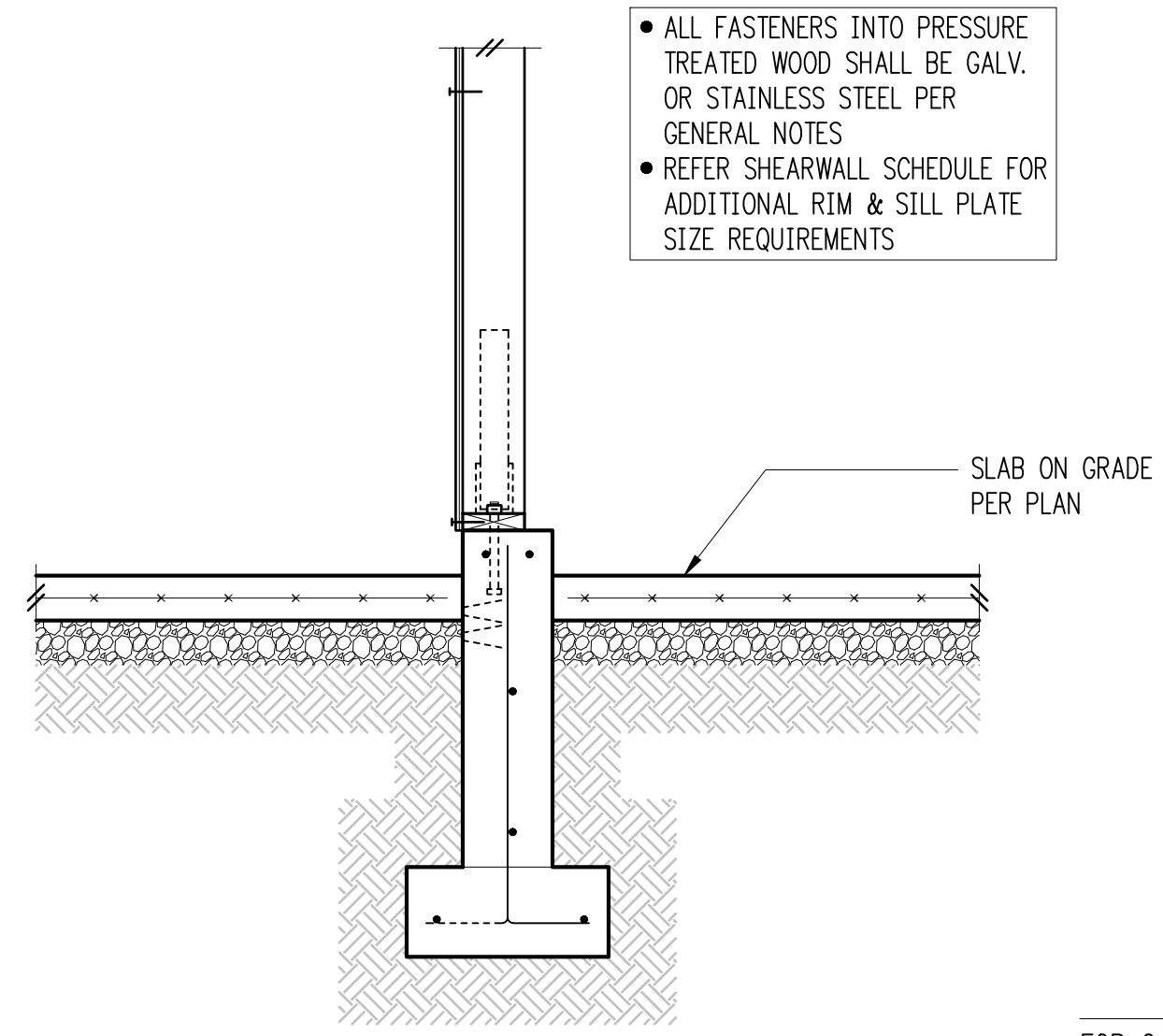
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**Concrete
 Details**
 SCALE: 3/4" = 1'-0" U.N.O.
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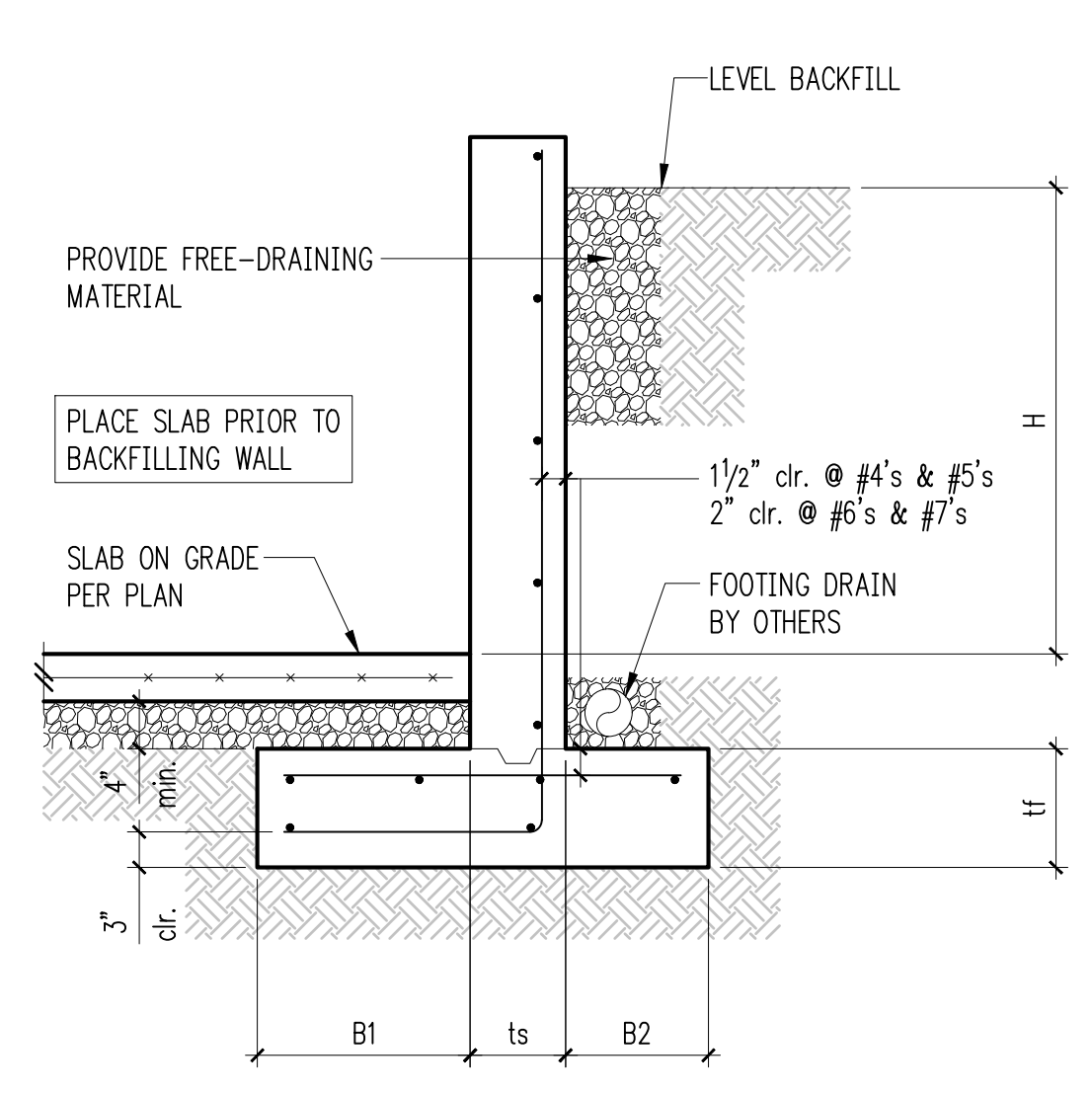
Retaining Wall Schedule W/ Slab

H (ft.)	B1	ts	B2	ff	Stem Reinforcing		Footing Reinforcing	
					Vert.	Horiz.	Top	Longit.
3'-0"	5"	8"	5"	8"	#4 @ 12"oc	#4 @ 12"oc	-	(2)#4
4'-0"	1'-0"	8"	5"	10"	#4 @ 12"oc	#4 @ 12"oc	-	(3)#5
6'-0"	1'-8"	8"	7"	10"	#5 @ 12"oc	#4 @ 12"oc	-	(4)#4
8'-0"	2'-9"	10"	1'-0"	12"	#6 @ 12"oc	#4 @ 12"oc	#5 @ 12"oc	(5)#5
10'-0"	3'-9"	10"	1'-6"	14"	#7 @ 10"oc	#4 @ 12"oc	#6 @ 12"oc	(6)#6

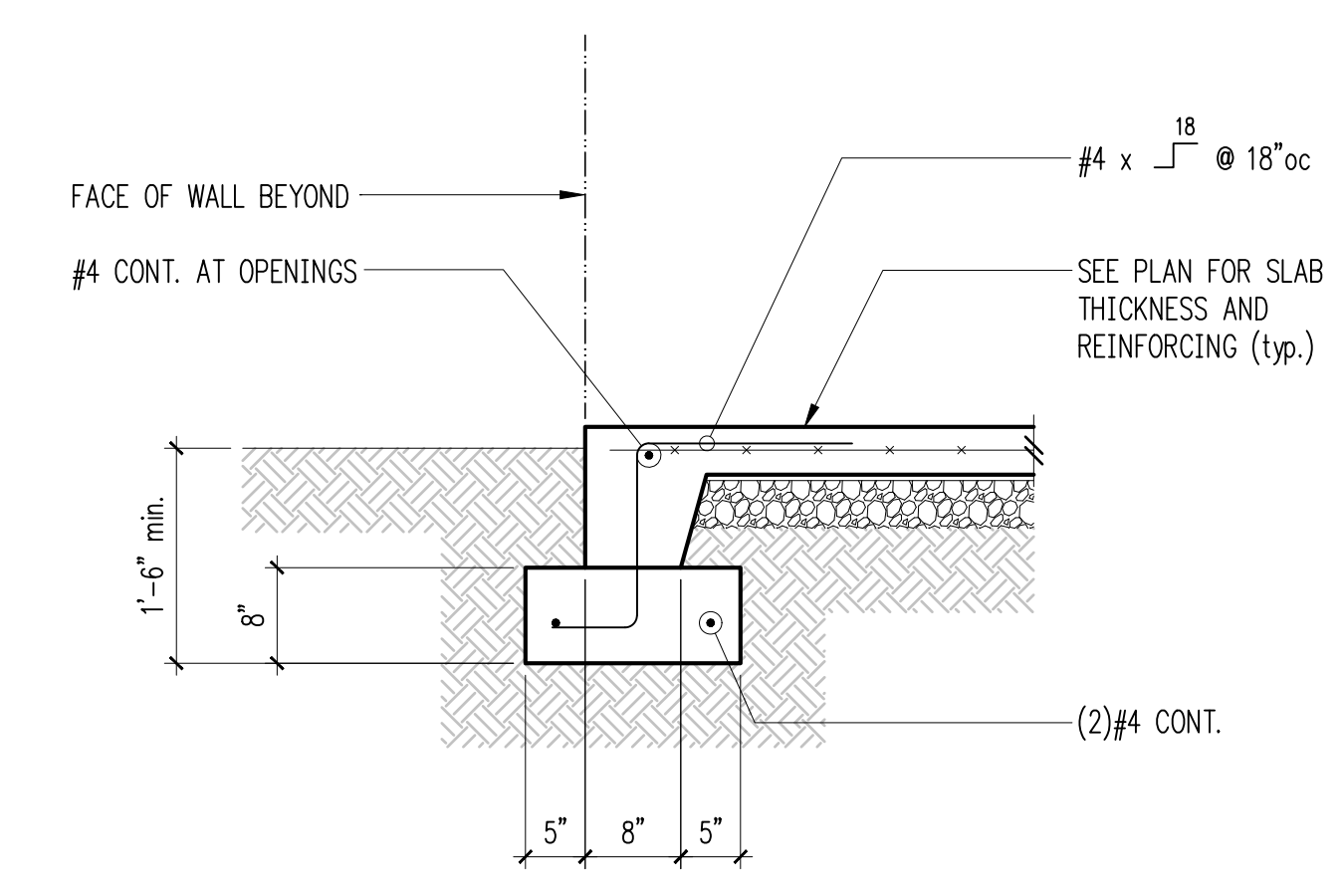


Garage Wall w/ Slab on Grade

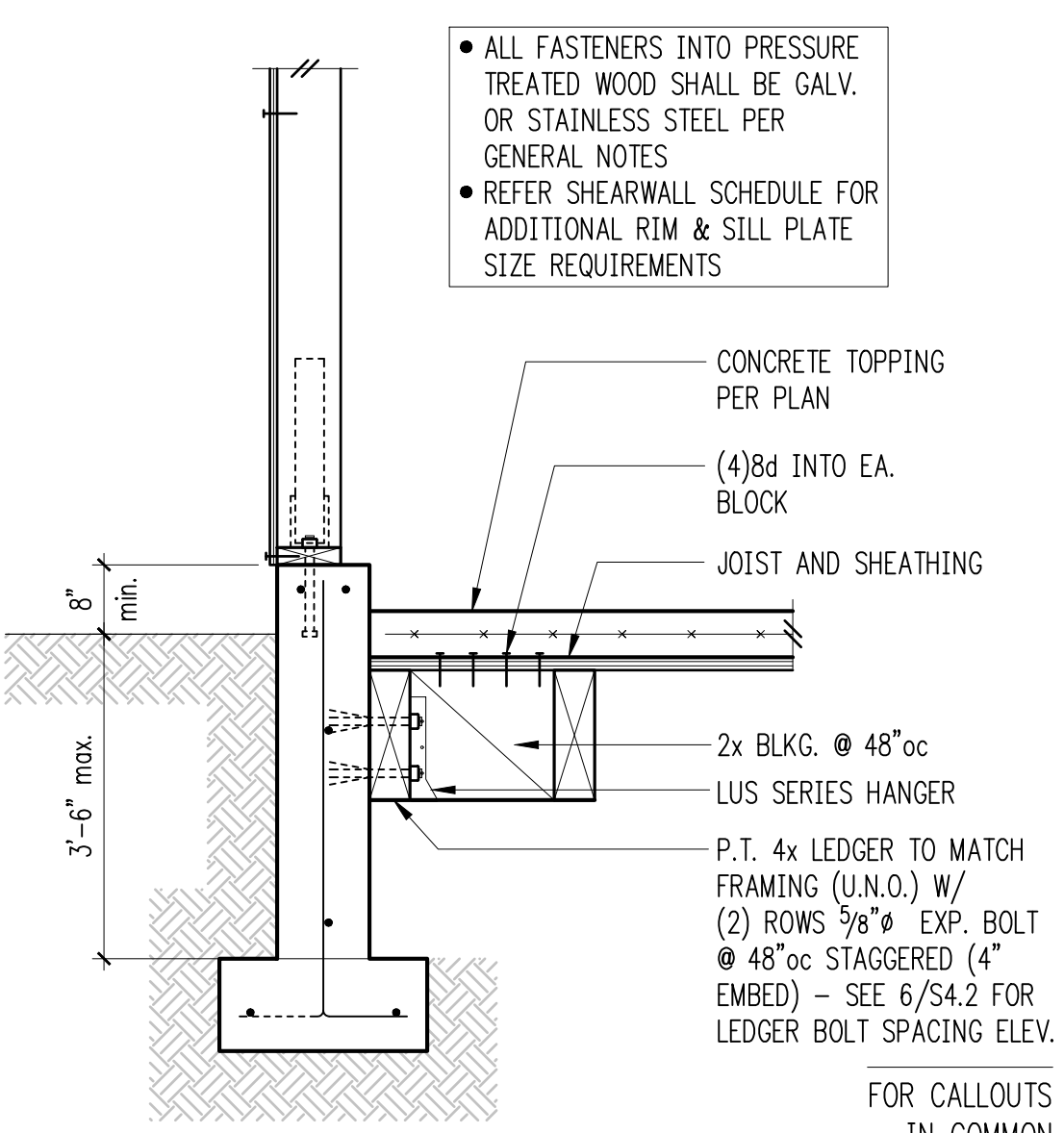
FOR CALLOUTS IN COMMON SEE 10/S3.2



New Exterior Wall W/ Existing Slab & Foundation

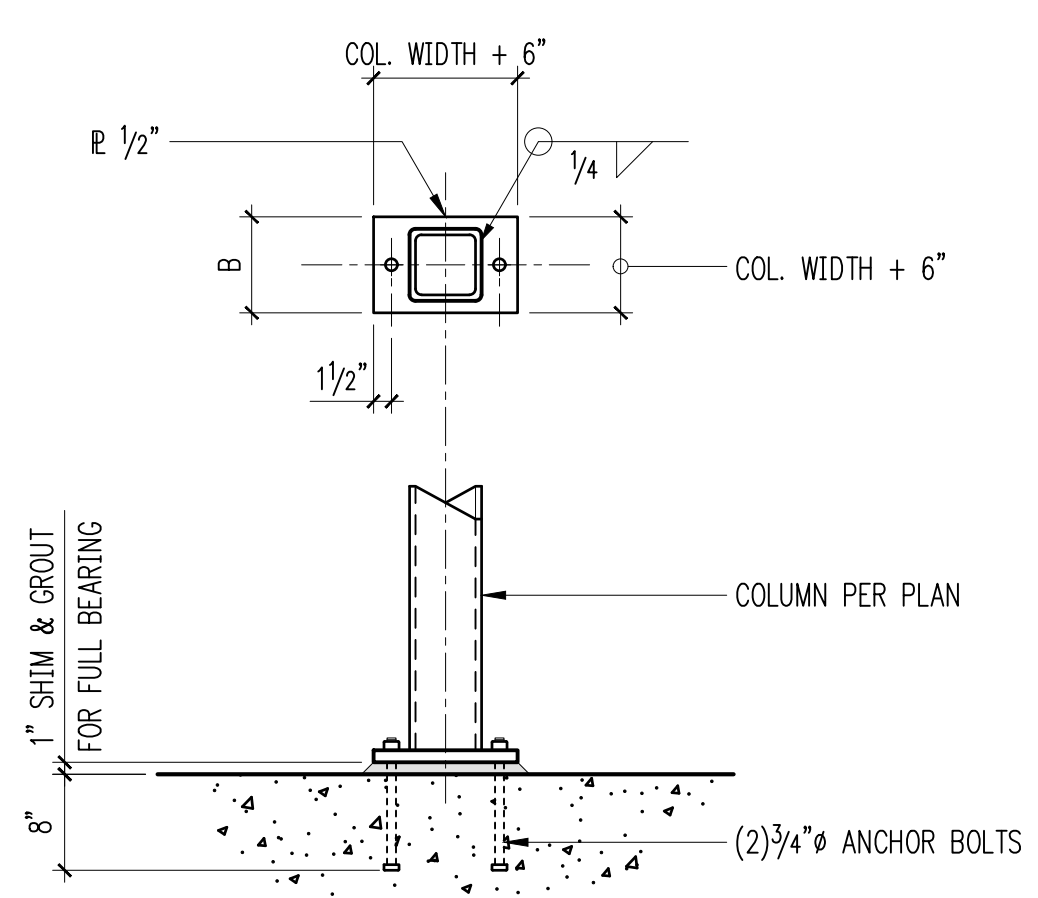


Typical Turned-Down Slab Edge

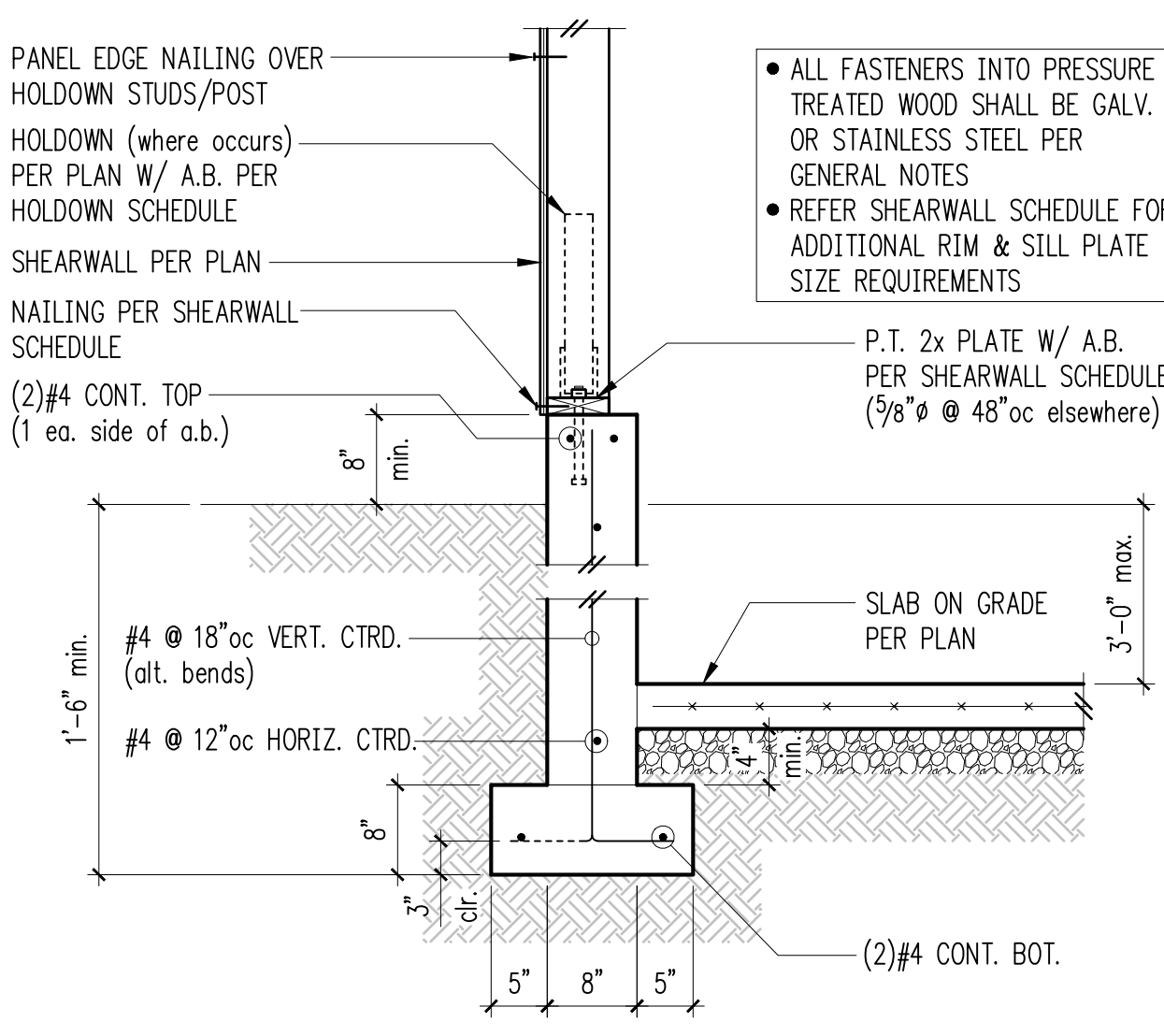


Garage Wall w/ Slab on Grade

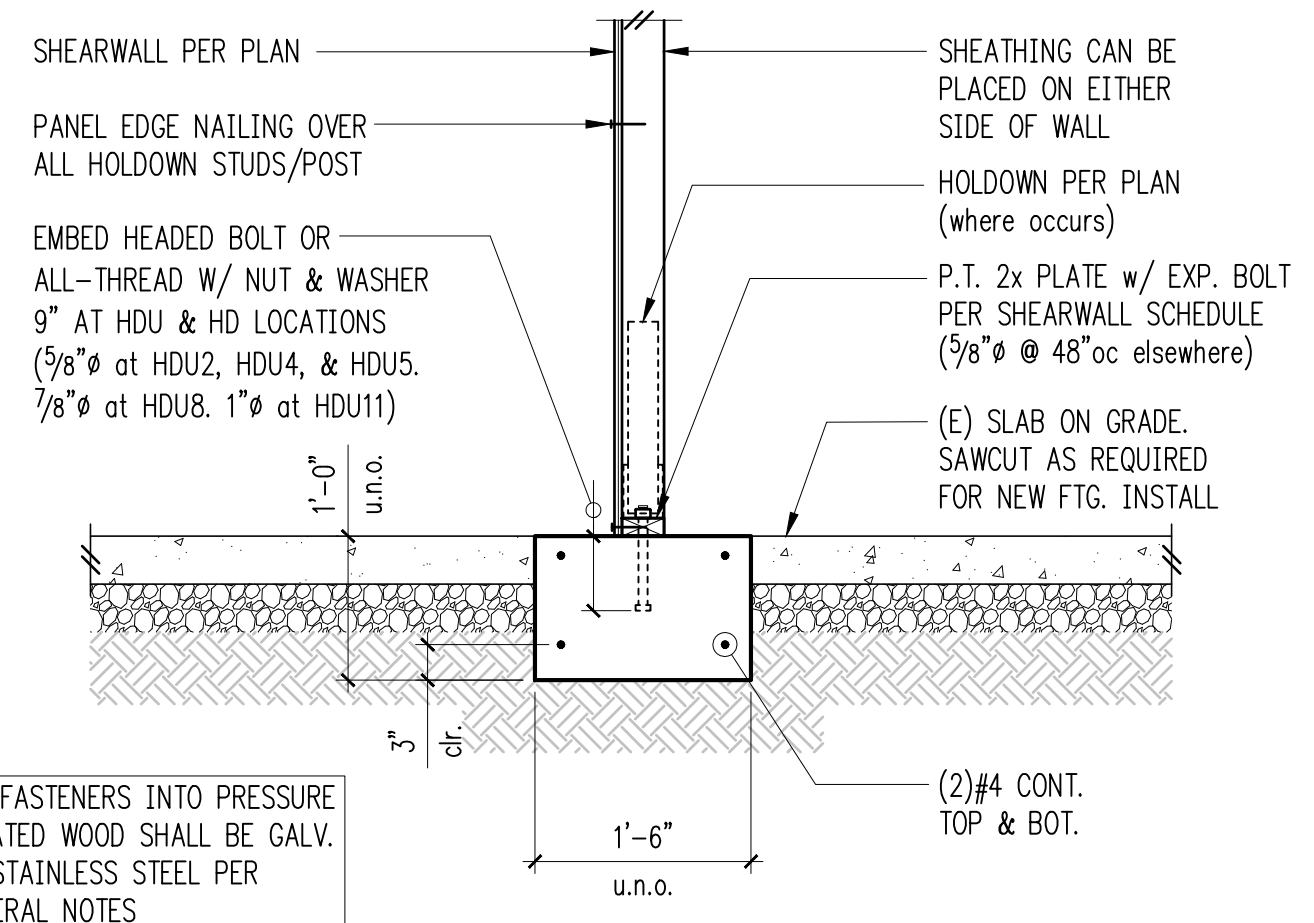
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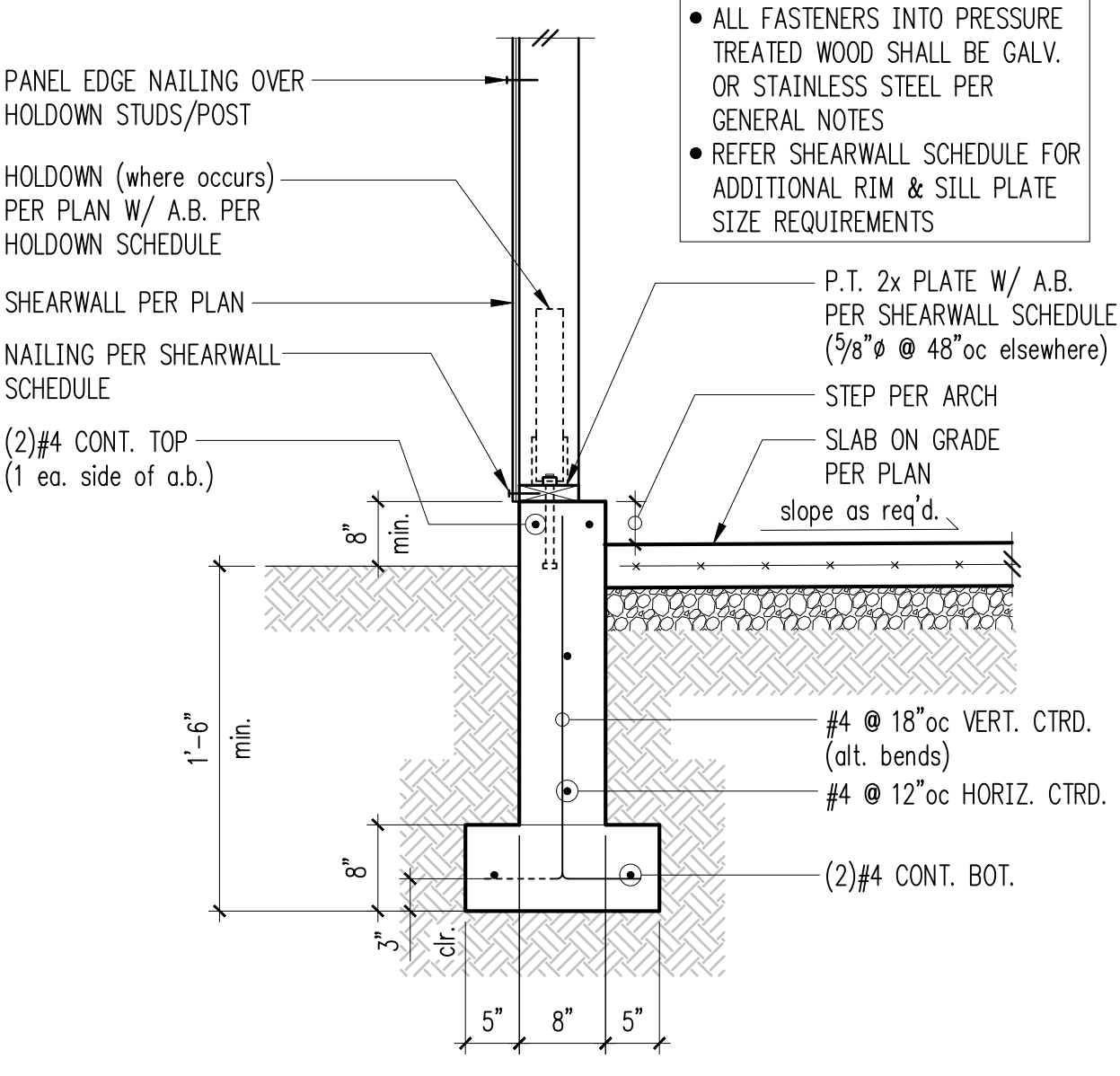
Baseplate - HSS Column



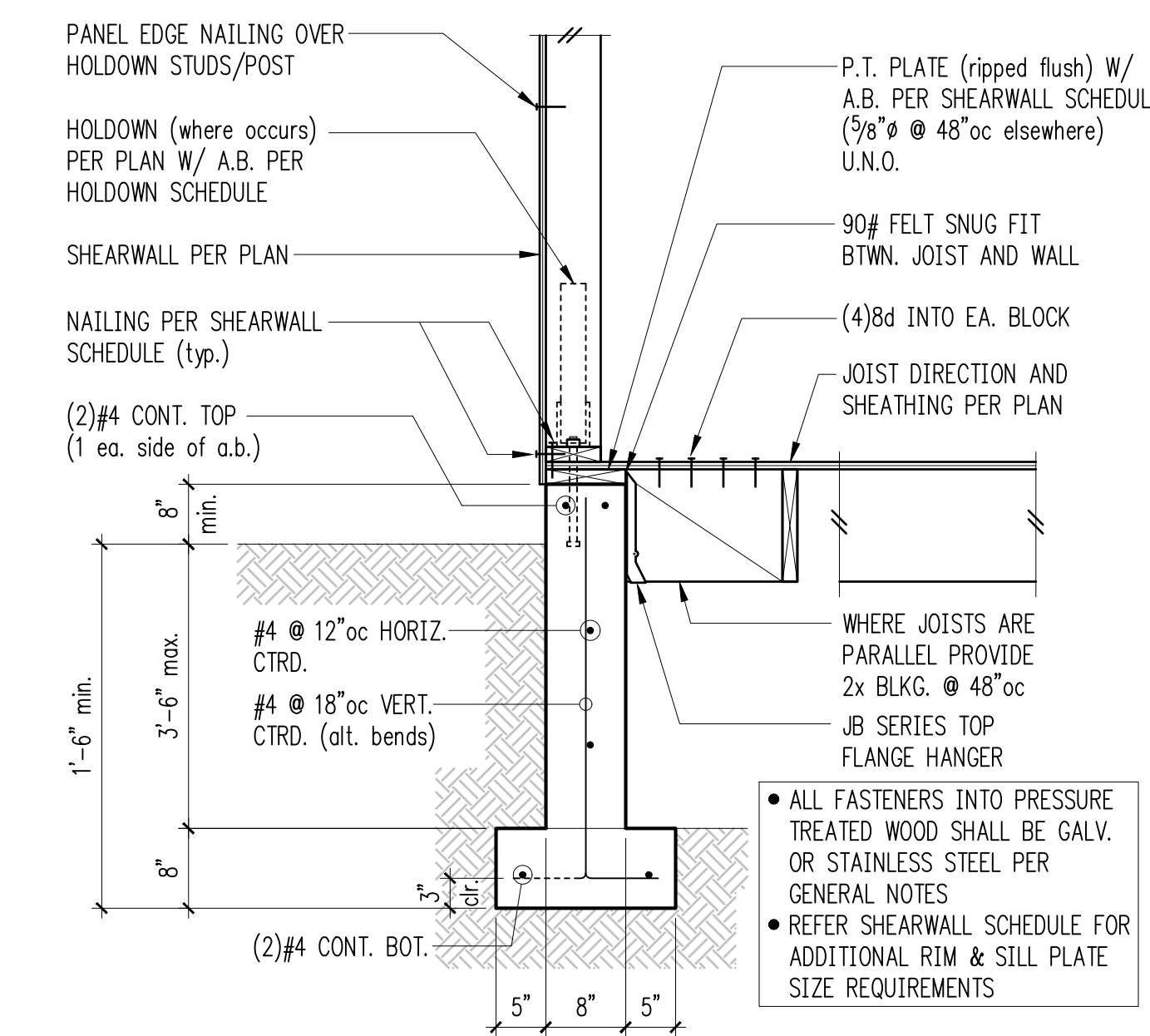
Exterior Wall w/ Slab on Grade & High Grade



New Interior Wall & Foundation W/ Existing Slab

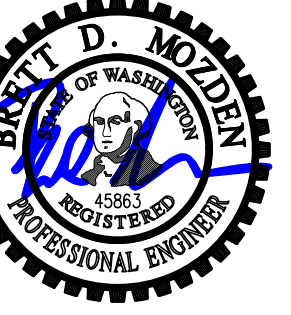


6" Garage Wall w/ Slab on Grade



Exterior Framing at Crawl Space

• ALL FASTENERS INTO PRESSURE TREATED WOOD SHALL BE GALV. OR STAINLESS STEEL PER GENERAL NOTES
 • REFER SHEARWALL SCHEDULE FOR ADDITIONAL RIM & SILL PLATE SIZE REQUIREMENTS



DRAWN: CFG
 DESIGN: BDM
 CHECKED: BDM
 APPROVED: BDM

1

2

3

4

5

6

7

8

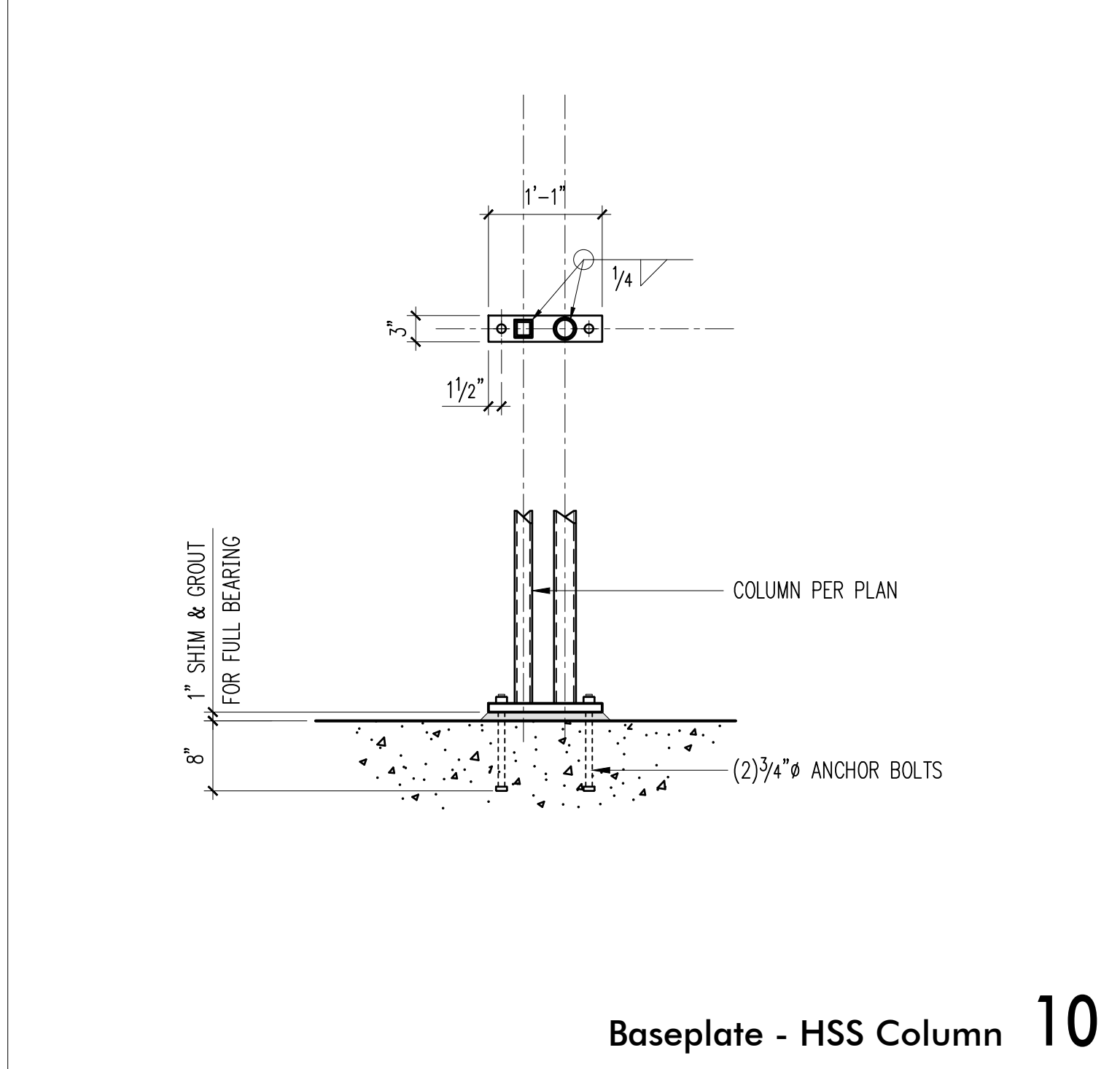
REVISIONS:

JURISDICTIONAL APPROVAL STAMP:

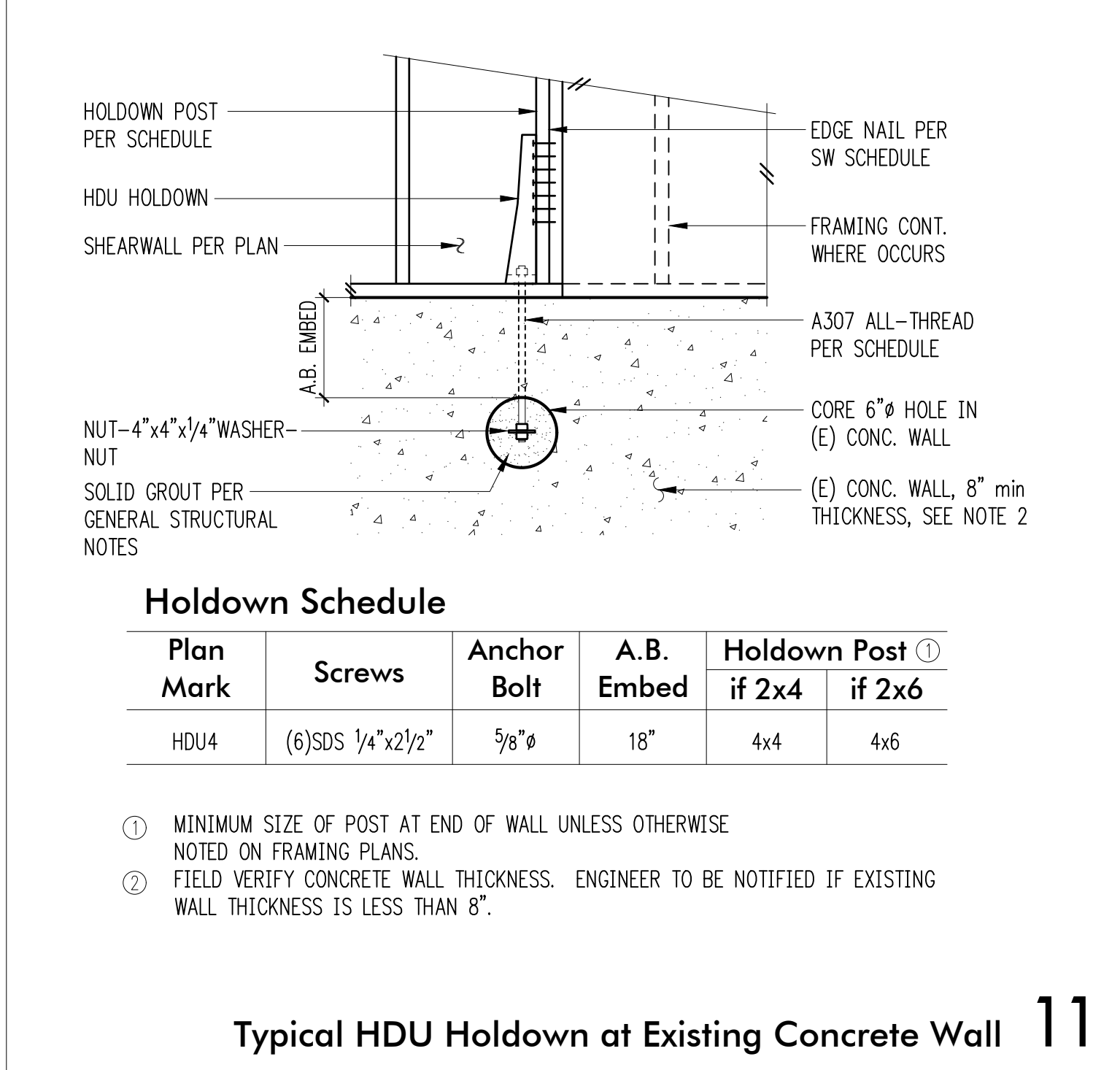
PROJECT TITLE:

Korpela + Wiens
 Residence
 8441 SE 33rd Place
 Mercer Island, WA

9



Baseplate - HSS Column 10

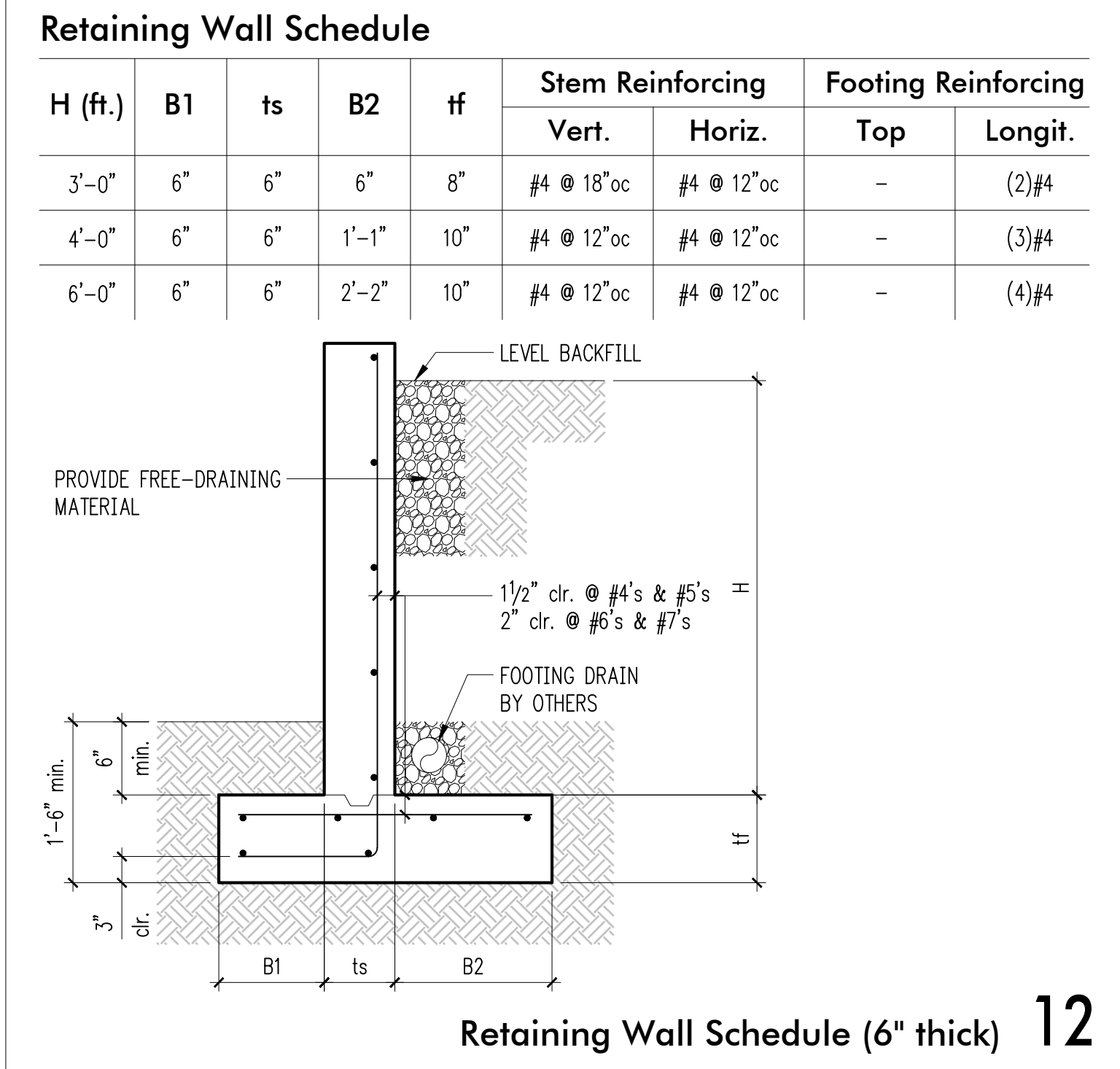


Holdown Schedule

Plan Mark	Screws	Anchor Bolt	A.B. Embed	Holdown Post ①	
				if 2x4	if 2x6
HDU4	(6)SDS 1/4"x2 1/2"	5/8"Ø	18"	4x4	4x6

- ① MINIMUM SIZE OF POST AT END OF WALL UNLESS OTHERWISE NOTED ON FRAMING PLANS.
- ② FIELD VERIFY CONCRETE WALL THICKNESS. ENGINEER TO BE NOTIFIED IF EXISTING WALL THICKNESS IS LESS THAN 8".

Typical HDU Holdown at Existing Concrete Wall 11



Retaining Wall Schedule

H (ft.)	B1	ts	B2	tf	Stem Reinforcing		Footing Reinforcing	
					Vert.	Horiz.	Top	Longit.
3'-0"	6"	6"	6"	8"	#4 @ 18"oc	#4 @ 12"oc	-	(2)#4
4'-0"	6"	6"	1'-1"	10"	#4 @ 12"oc	#4 @ 12"oc	-	(3)#4
6'-0"	6"	6"	2'-2"	10"	#4 @ 12"oc	#4 @ 12"oc	-	(4)#4

Retaining Wall Schedule (6" thick) 12

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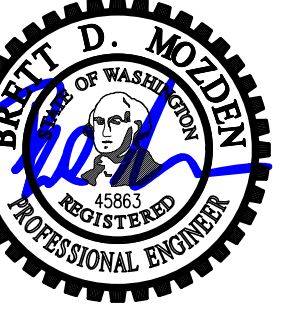
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DATE: Dec. 14, 2023

PROJECT NO: 02327-2023-04

SHEET NO:

S3.3



DRAWN: CFG
 DESIGN: BDM
 CHECKED: BDM
 APPROVED: BDM

REVISIONS:

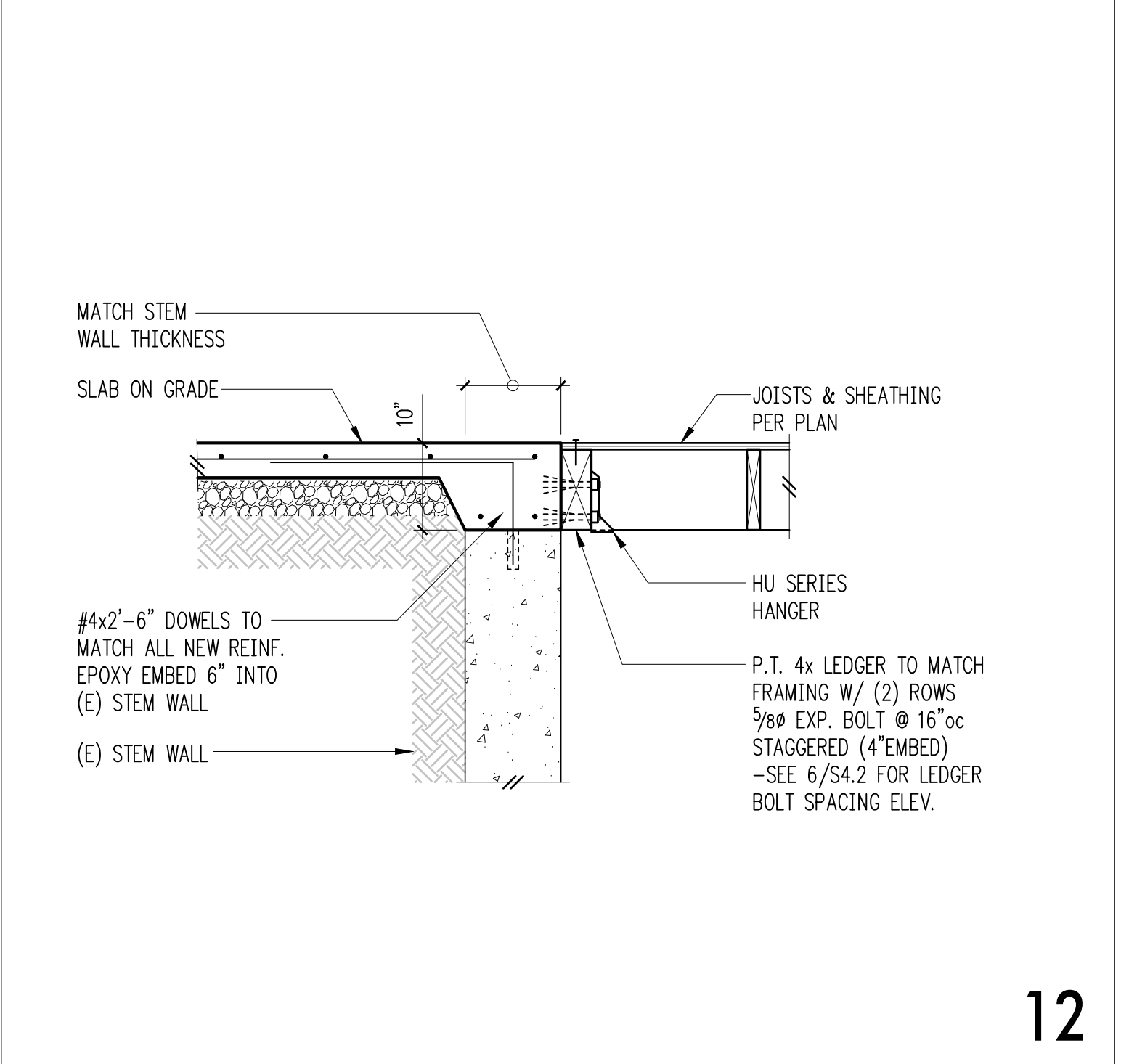
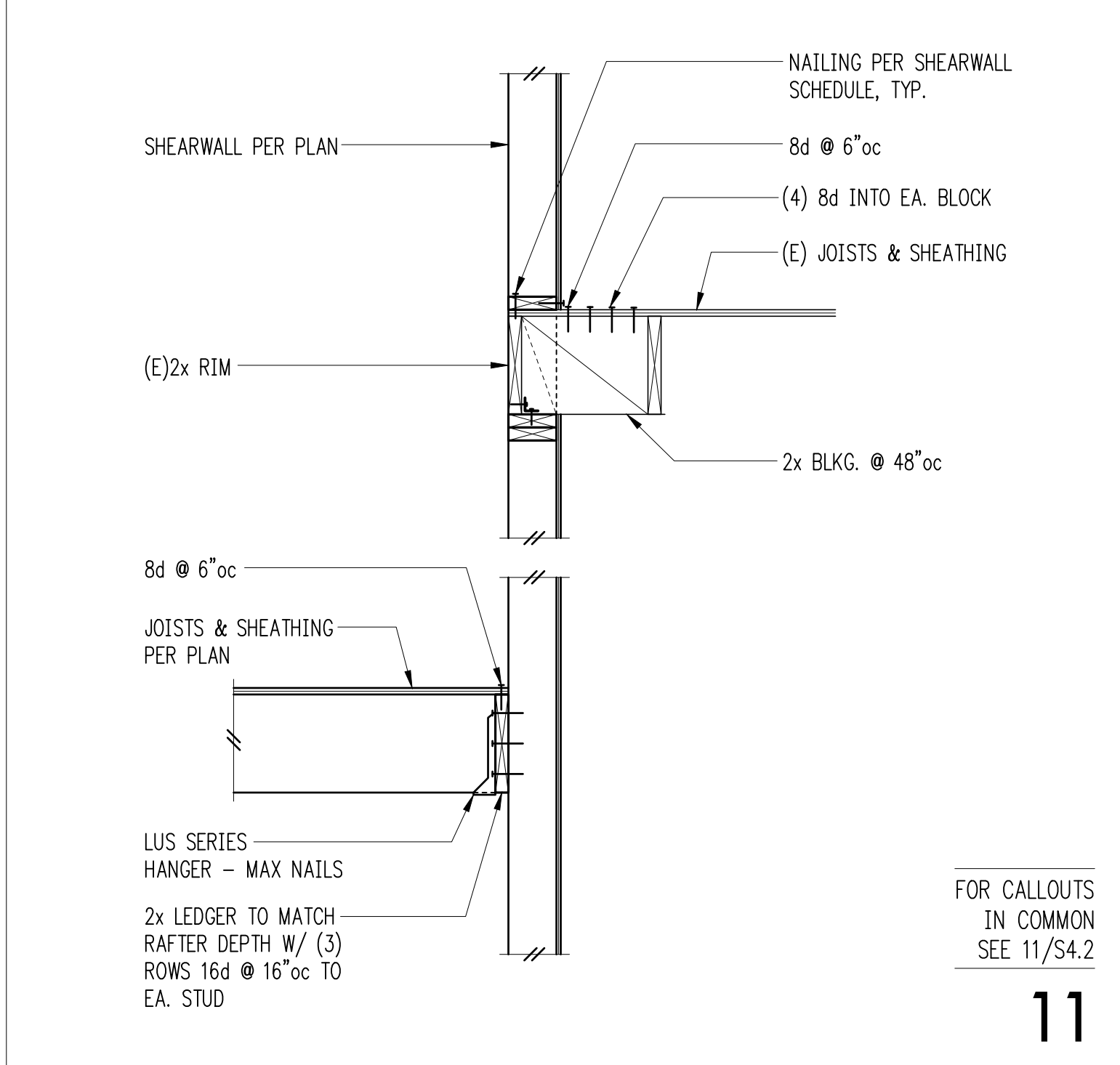
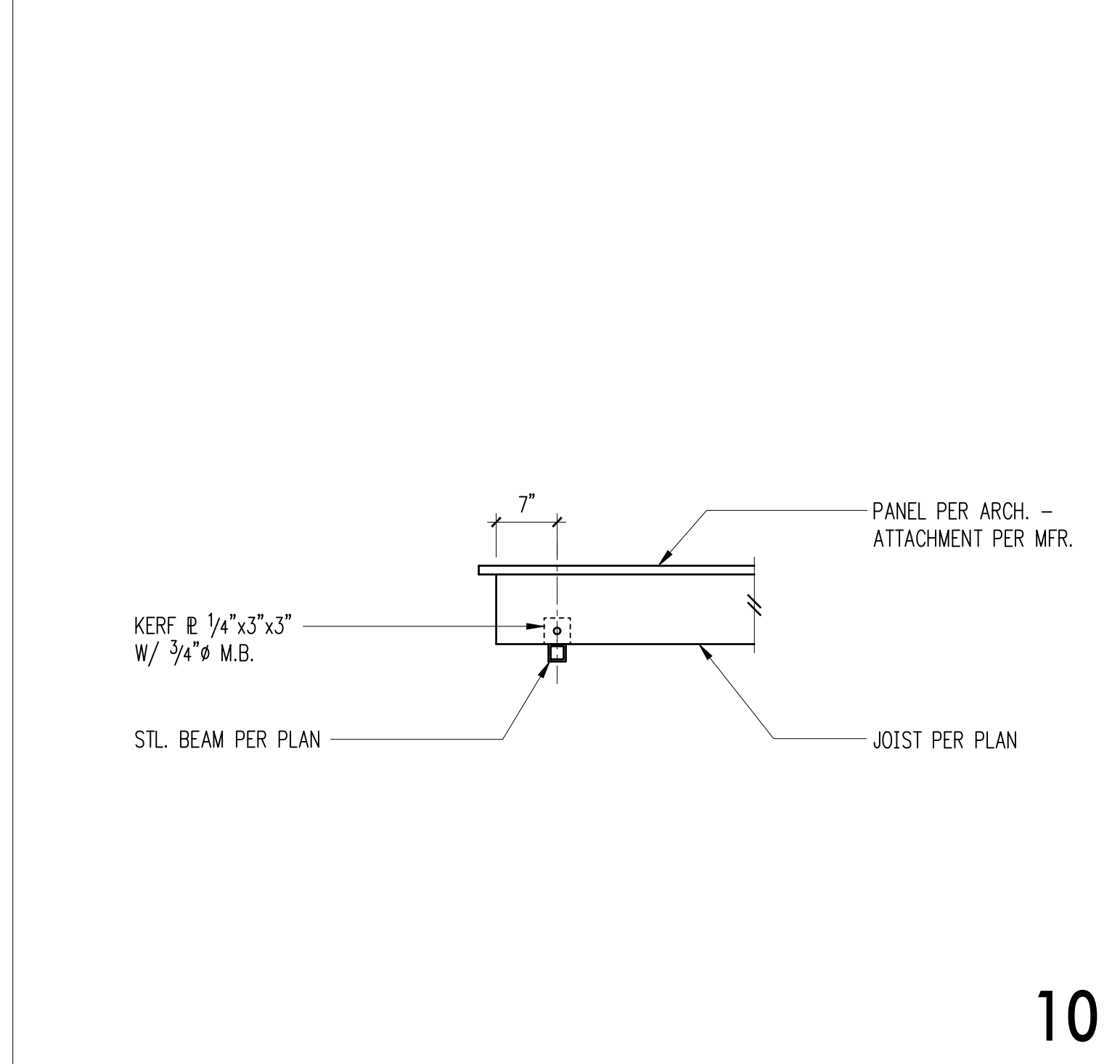
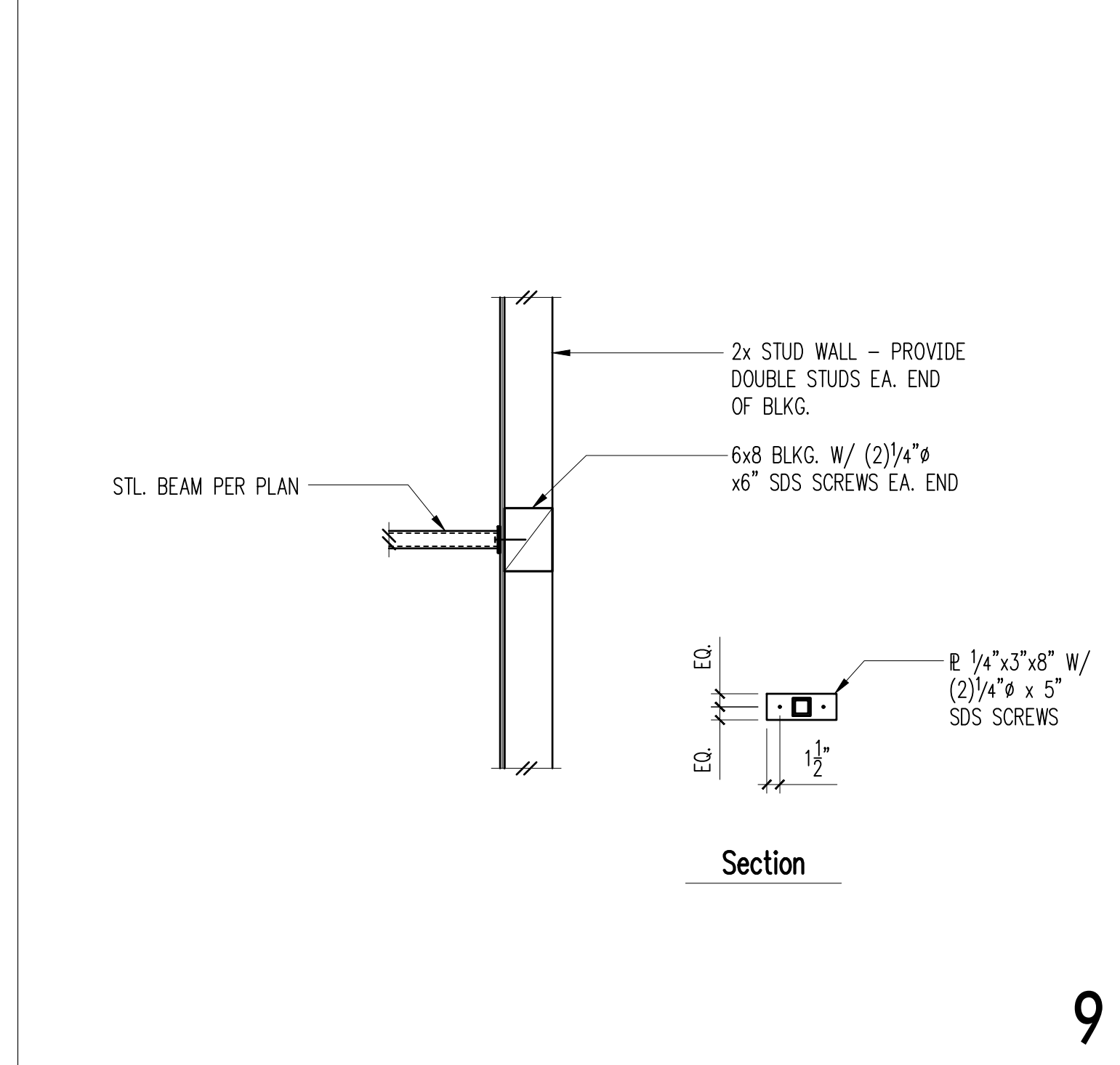
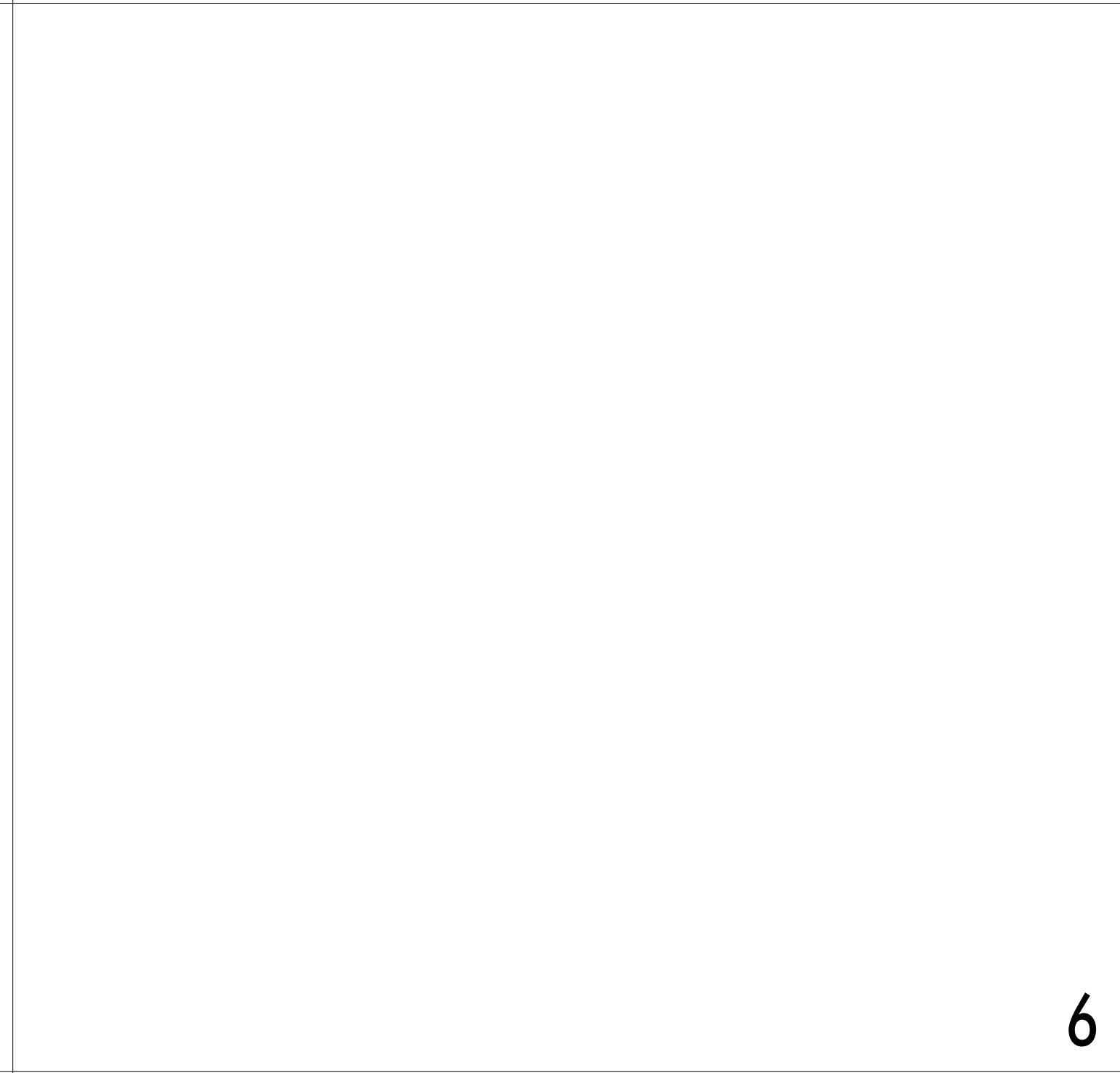
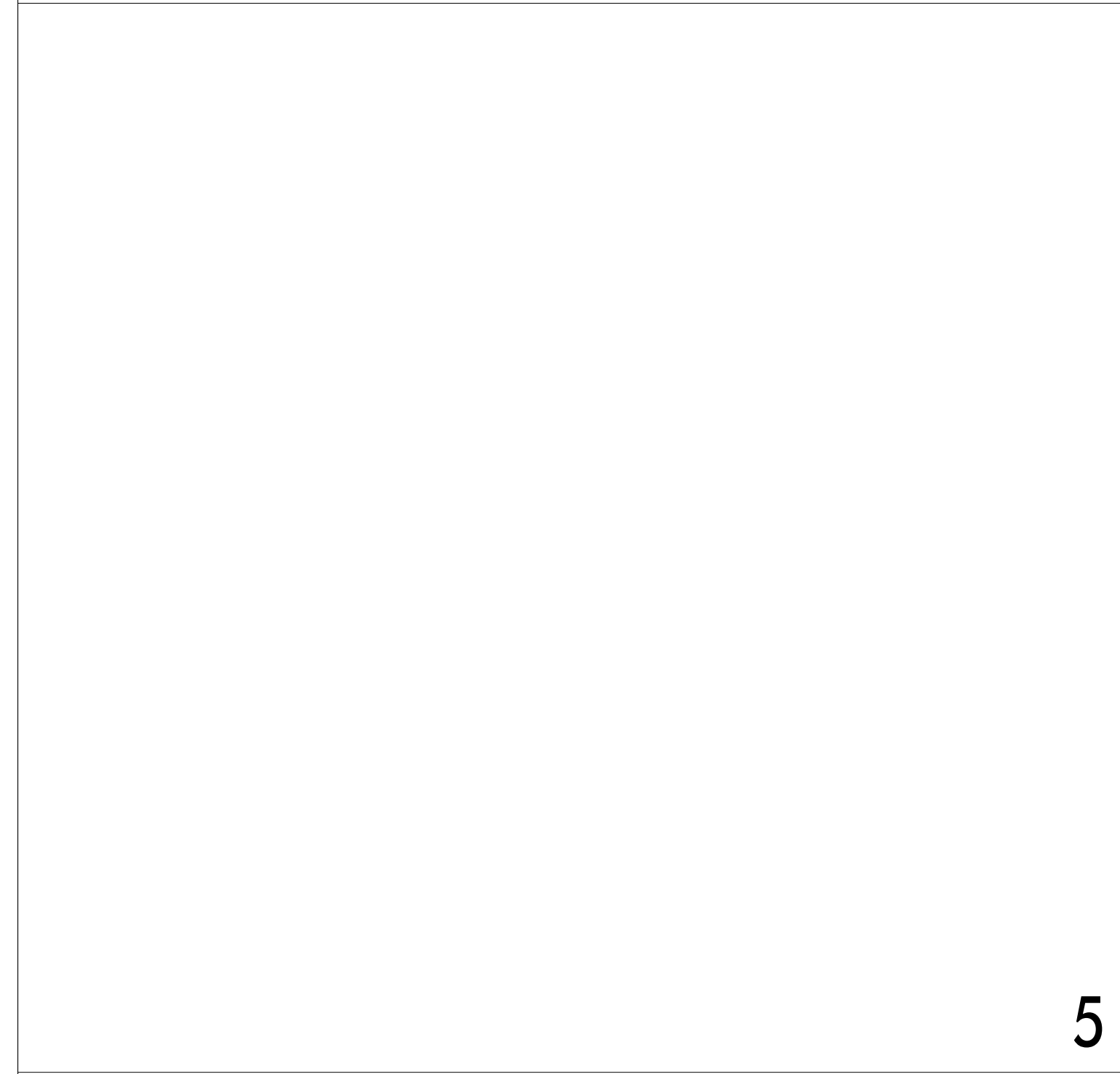
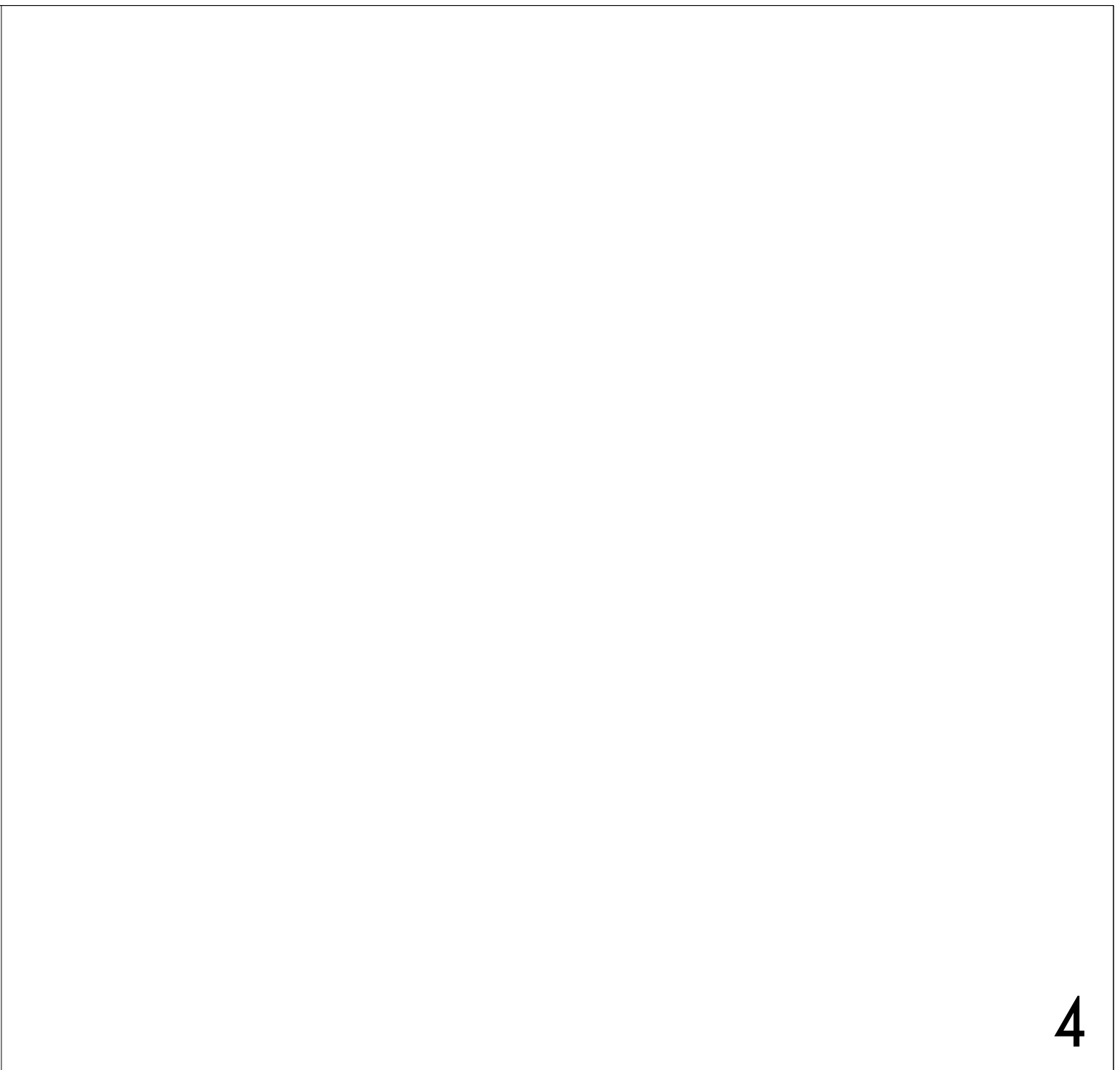
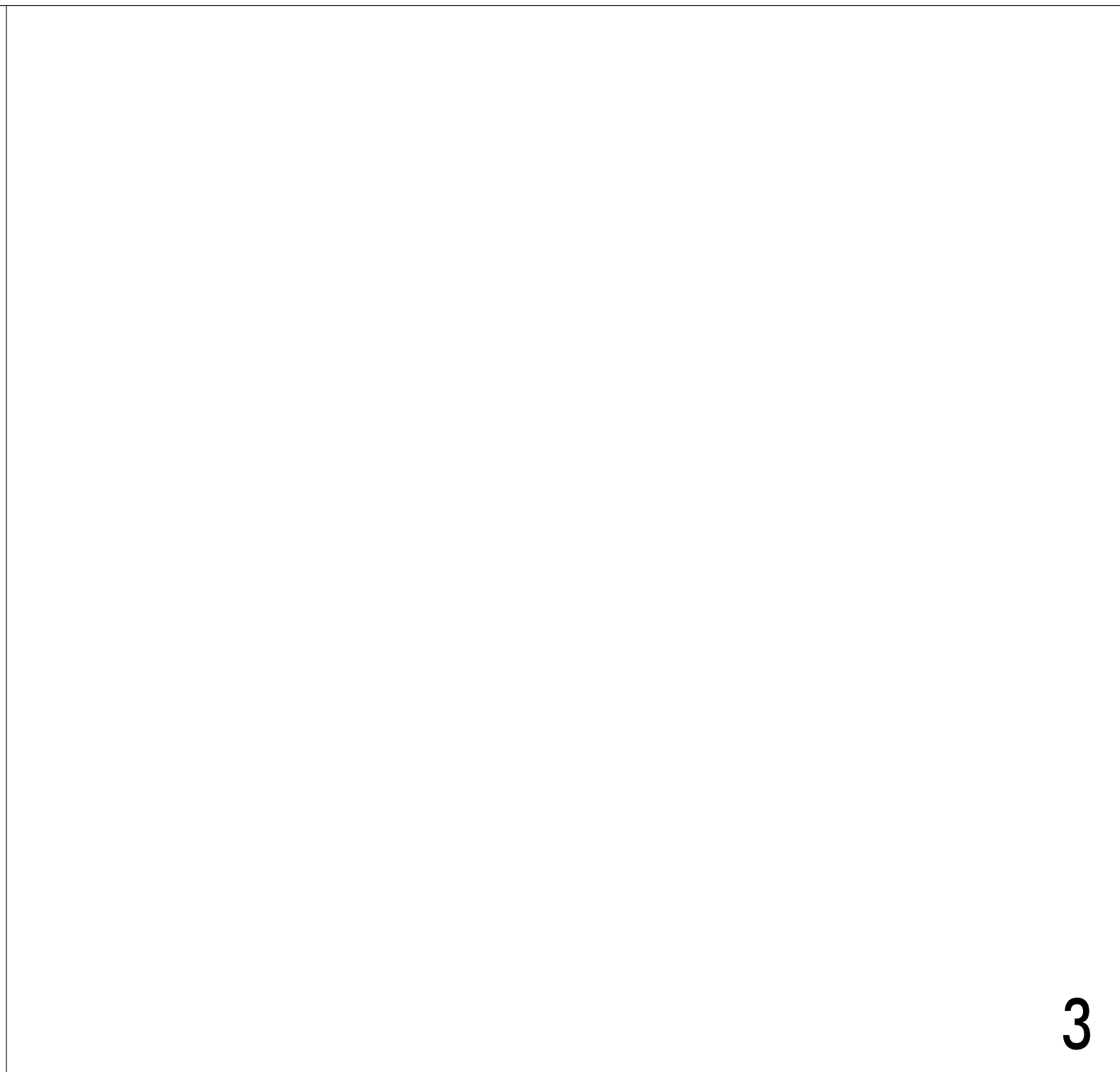
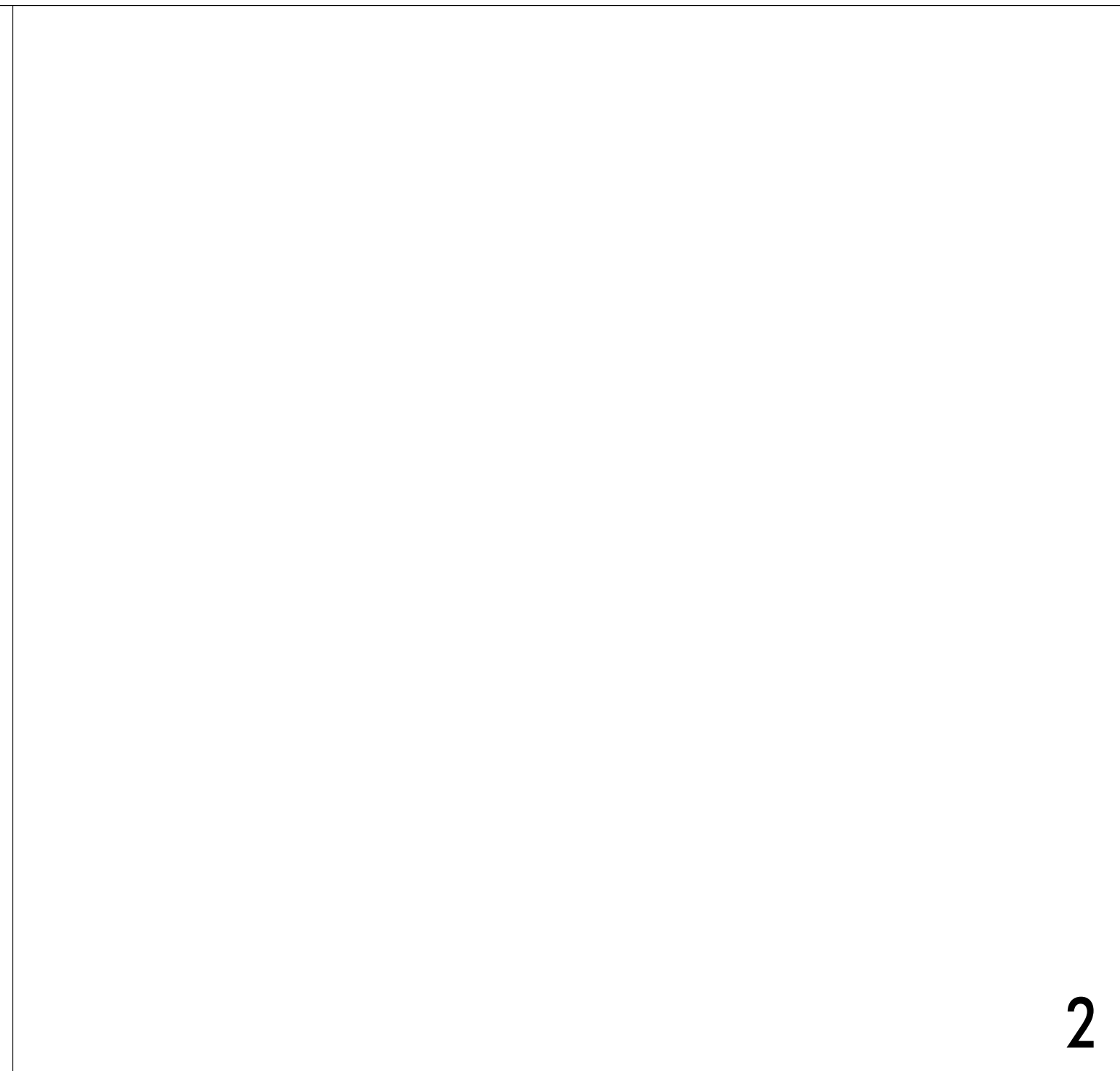
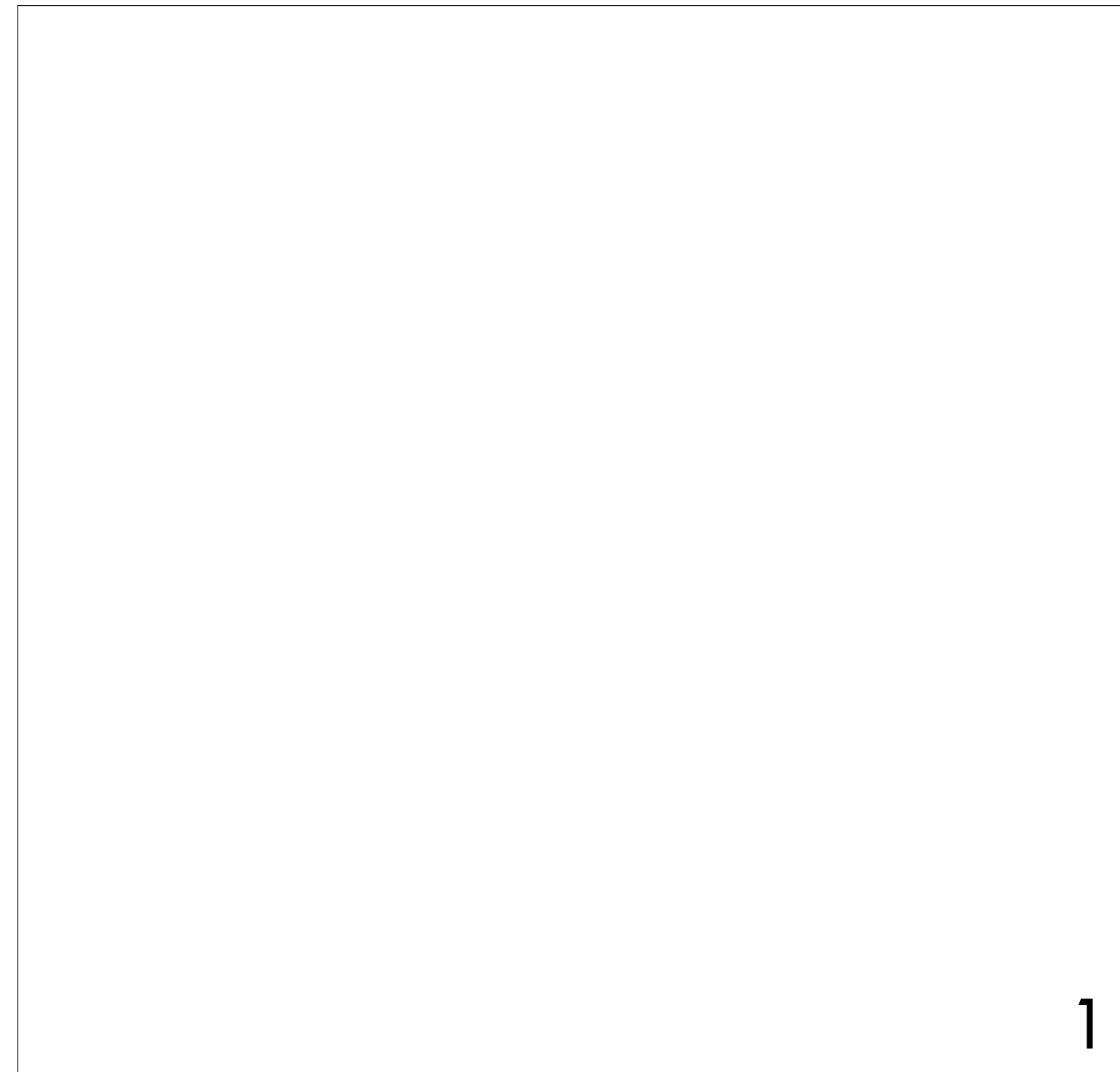
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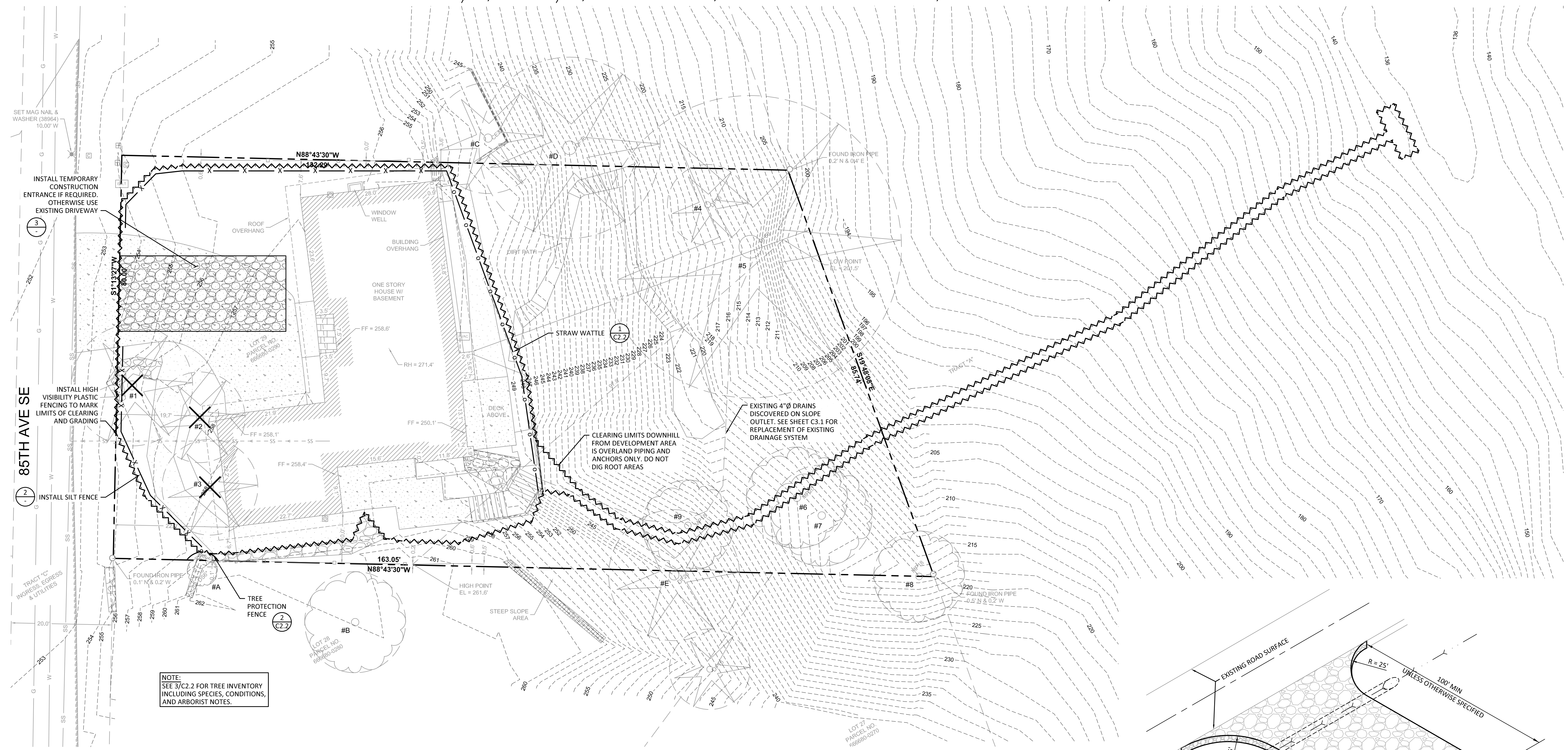
PROJECT TITLE:
**Korpela + Wiens
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 8441 SE 33rd Place
 Mercer Island, WA

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ISSUE:
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 SHEET TITLE:

Wood Framing Details
 SCALE: 3/4" = 1'-0" U.N.O.
 DATE: Dec. 14, 2023
 PROJECT NO: 02327-2023-04
 SHEET NO:





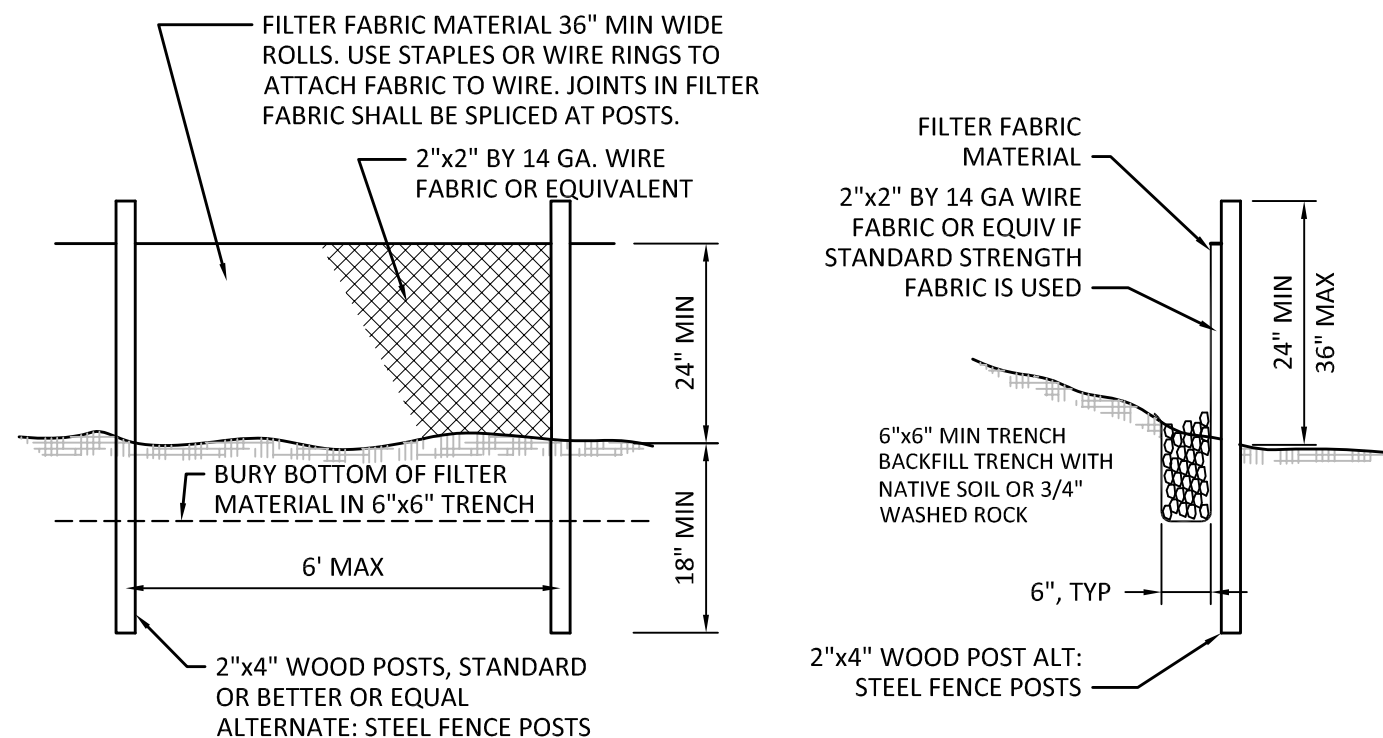
NOTE:
 SEE 3/C2.2 FOR TREE INVENTORY
 INCLUDING SPECIES, CONDITIONS,
 AND ARBORIST NOTES.

1 TEMPORARY EROSION CONTROL PLAN
 SCALE: 1" = 10'

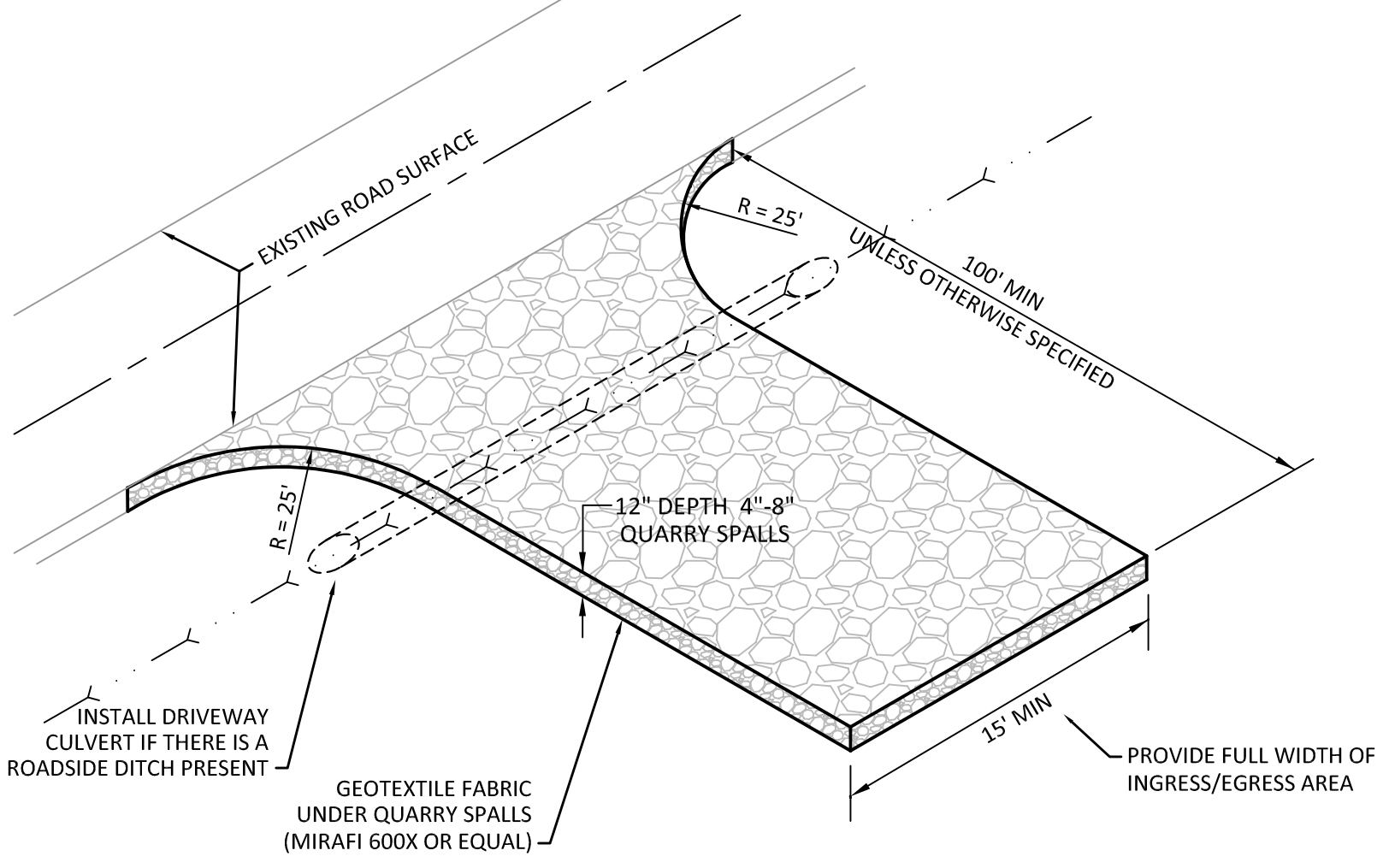
- TEMPORARY EROSION CONTROL PLAN NOTES:**
- EXISTING OVERALL HARD SURFACE COVERAGE (PER ARCH) IS 3,776 SF. SEE ARCH EXHIBIT 4.
 - BEFORE BEGINNING LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRADING, CLEARLY MARK ALL CLEARING LIMITS AND SENSITIVE AREAS AND THEIR BUFFERS.
 - ALL DISTURBED LANDSCAPED SURFACES SHALL BE AMENDED TO MEET DOE BMP T5.13.
 - SOILS MUST BE STABILIZED AT THE END OF THE SHIFT BEFORE A HOLIDAY OR WEEKEND IF NEEDED BASED ON THE WEATHER FORECAST.
 - CONCRETE TRUCKS MUST NOT BE WASHED OUT ONTO THE GROUND, OR INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS. EXCESS CONCRETE MUST NOT BE DUMPED ON-SITE.
 - ADDITIONAL BMPs MAY BE REQUIRED DURING CONSTRUCTION.

SILT FENCE NOTES:

- THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6 INCH OVERLAP, AND BOTH ENDS SECURELY FASTENED TO THE POST.
- THE SILT FENCE SHALL BE INSTALLED TO FOLLOW THE CONTOURS (WHERE FEASIBLE). THE FENCE POSTS SHALL BE SPACED A MAXIMUM OF 6 FEET APART AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 18 INCHES).
- A SHALLOW TRENCH SHALL BE EXCAVATED, ROUGHLY 6 INCHES WIDE AND 6 INCHES DEEP, UPSLOPE AND ADJACENT TO THE WOOD POSTS TO ALLOW THE LOWER EDGE OF THE FILTER FABRIC TO BE SECURED WITH GRAVEL.
- WHEN FILTER FABRIC NOT AS STRONG AS MIRAFI 700X IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY-DUTY WIRE STAPLES AT LEAST 1 INCH LONG, THE WIRES OR HOG RINGS. THE WIRE MESH SHALL EXTEND INTO THE SHALLOW TRENCH A MINIMUM OF 4 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- THE MIRAFI 700X FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND AT LEAST 18 INCHES OF THE FABRIC SHALL BE BURIED IN THE SHALLOW TRENCH. THE FILTER FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE AND SHALL NOT BE STAPLED TO TREES.
- WHEN EXTRA-STRENGTH FILTER FABRIC (MIRAFI 700X OR EQUAL) AND FOUR (4') POST SPACING IS USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS WITH ALL OTHER PROVISIONS OF NOTE 5 APPLYING.
- THE TRENCH SHALL BE BACKFILLED WITH NATIVE SOIL OR 3/4" - 1.5" WASHED ROCK.
- FILTER FABRIC FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED. THE NEWLY DISTURBED AREAS RESULTING FROM SILT FENCE REMOVAL SHALL BE IMMEDIATELY SEEDED AND MULCHED, OR OTHERWISE PERMANENTLY STABILIZED TO THE SATISFACTION OF THE CIVIL INSPECTOR.
- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- MAINTENANCE: ANY DAMAGED OR CLOGGED FENCE SHALL BE REPAIRED/REPLACED IMMEDIATELY. SEDIMENT MUST BE REMOVED WHEN THE SEDIMENT DEPTH IS 6 INCHES OR GREATER. IF CONCENTRATED FLOWS ARE EVIDENT UPHILL OF THE FENCE, THEY MUST BE INTERCEPTED AND CONVEYED TO A SEDIMENT TRAP OR POND.



2 SILT FENCE
 SCALE: 1/2" = 1'-0"



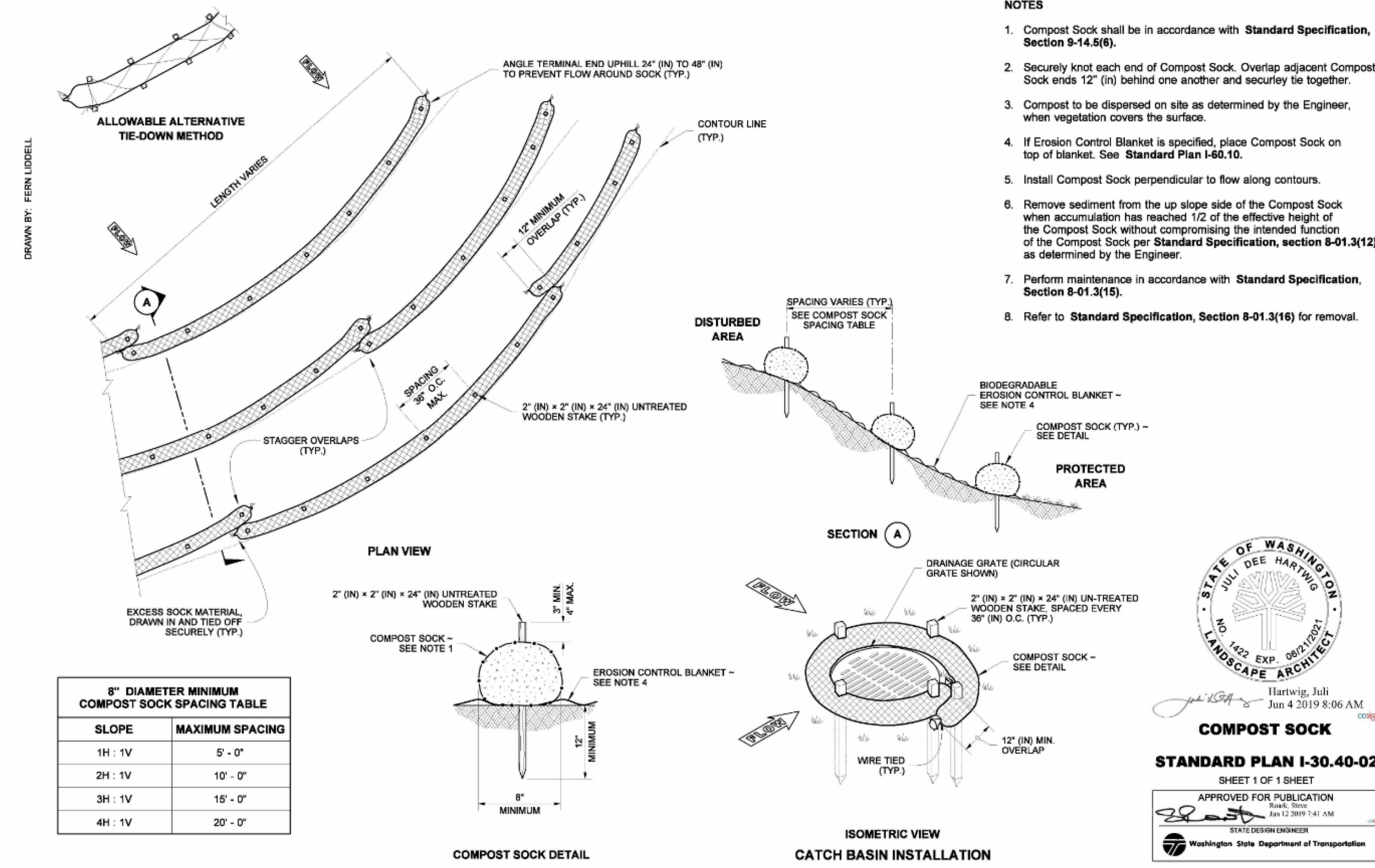
STABILIZED CONSTRUCTION ENTRANCE NOTES:

- INSTALLATION: THE AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL. THE QUARRY SPALLS SHALL BE PLACED TO THE SPECIFIED DIMENSIONS. ANY DRAINAGE FACILITIES REQUIRED BECAUSE OF WASHING SHOULD BE CONSTRUCTED ACCORDING TO SPECIFICATIONS IN THE PLAN. IF WASH RACKS ARE USED, THEY SHOULD BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- AGGREGATE: 4" TO 8" QUARRY SPALLS PER WSDOT STD. SPECS. SEC. 9-13.6.
- ENTRANCE DIMENSIONS: THE AGGREGATE LAYER MUST BE AT LEAST 12" THICK. IT MUST EXTEND THE FULL WIDTH OF THE VEHICULAR INGRESS AND EGRESS AREA. THE LENGTH OF THE ENTRANCE MUST BE AT LEAST 100 FEET (UNLESS OTHERWISE APPROVED BY CIVIL INSPECTOR).
- WASHING: IF CONDITIONS ON THE SITE ARE SUCH THAT MOST OF THE MUD IS NOT REMOVED FROM VEHICLE TIRES BY CONTACT WITH THE ROCK ENTRANCE, THEN THE TIRES MUST BE WASHED BEFORE VEHICLES ENTER A PUBLIC ROAD. WASH WATER MUST BE CARRIED AWAY FROM THE ENTRANCE TO A SETTLING AREA TO REMOVE SEDIMENT. A WASH RACK MAY ALSO BE USED TO MAKE WASHING MORE CONVENIENT AND EFFECTIVE.
- MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 2" STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAY OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY BY SWEEPING. THE PAVEMENT SHALL NOT BE CLEANED BY WASHING DOWN THE STREET, EXCEPT WHEN SWEEPING IS INEFFECTIVE AND THERE IS A THREAT TO PUBLIC SAFETY.

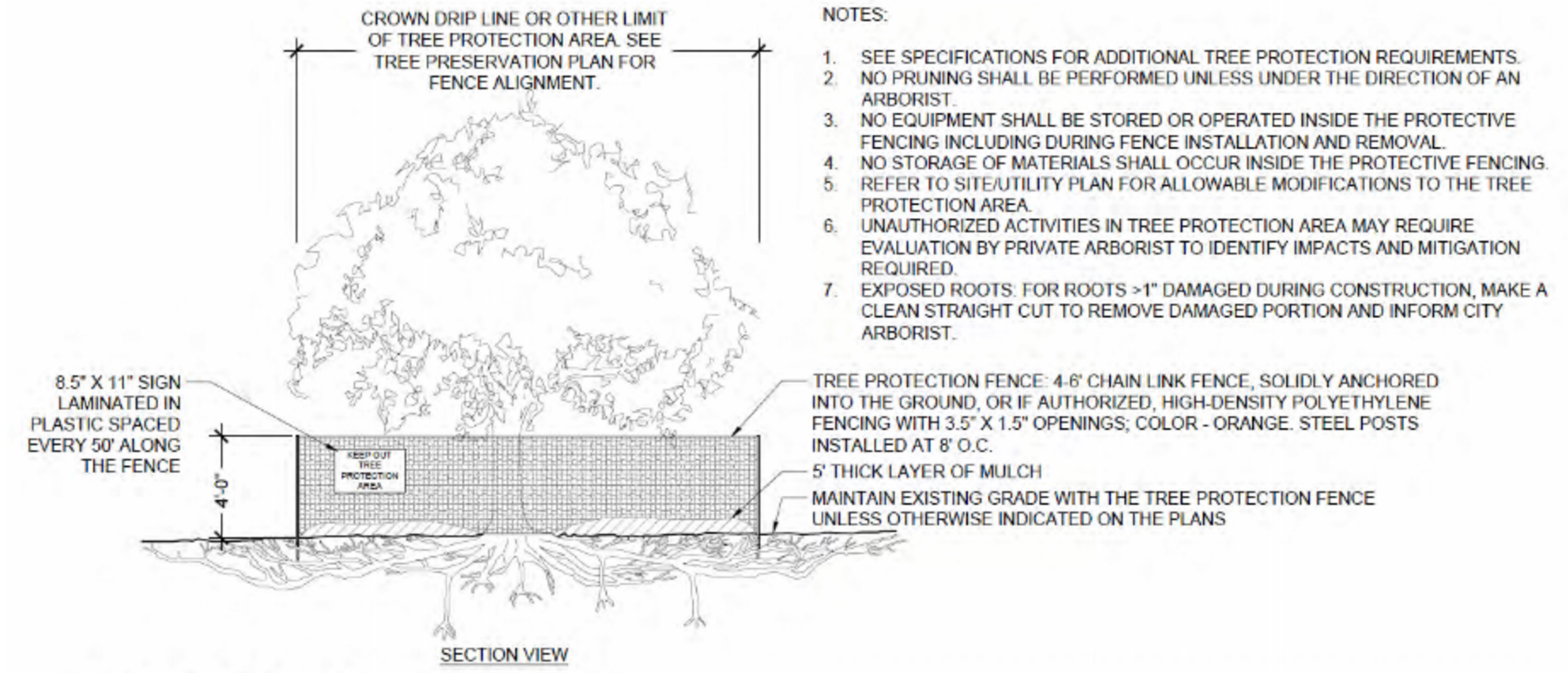
3 STABILIZED CONSTRUCTION ENTRANCE
 SCALE: NTS

KORPELA RESIDENCE
 8441 SE 33RD PL
 MERCER ISLAND, WA 98040
 TEMPORARY EROSION
 CONTROL PLAN

SHEET:



1 COMPOST STONE WSDOT STANDARD DETAIL
SCALE: NTS



2 TREE PROTECTION FENCE
SCALE: NTS

Salish Restoration Associates
For: Korpela Project
At: 8441 SE 33rd Pl Mercer Island, WA

Tree Summary Table
Date: 8/29/2023
Inspector: Benjamin Mark

Regulated (Large) Trees: Greater than 10".
Exceptional trees: Per attached list. Trees on neighboring properties - Drip-line and Limits of Disturbance measurements from property lines
ISA TRAQ Risk Assessments were not carried out for any tree in this report.

Tree/ Tag #	Evergreen/Deciduous	Common Name	Genus species	DBH Inches (Multistem calc.)	Healthy	Fair	Dead/Dying	Dripline				Limits of Disturbance	Photo #	REGULATED?	Exceptional?	Comments
								N	S	E	W					
1	Evergreen	Japanese black pine	<i>Pinus thunbergii</i>	10.8	✓	■	■	10	8	10	12	8nsew	1, 2	Yes	No	Codominant stems forked at 10 feet 17 feet from the corner of the garage.
2	Evergreen	Scot's pine	<i>Pinus sylvestris</i>	10.7	✓	■	■	7	10	8	7	8nsew	2	Yes	No	4.5 feet from the corner of the garage.
3	Deciduous	Florida dogwood	<i>Cornus florida</i>	6.8	■	■	✓	9	10	5	9	8nsew	3	No	No	Poor condition from extensive infection of anthracnose. 5 feet west of house
4	Evergreen	Western hemlock	<i>Tsuga heterophylla</i>	18.1	✓	■	■	16	12	11	11	13nsew		Yes	YES	Dominated by old growth Douglas fir to the south.
5	Evergreen	Douglas fir	<i>Pseudotsuga menziesii</i>	63	✓	■	■	20	25	28	20	25nsew	4	Yes	YES	Remnant old growth. Top blown out. On steep slope. Good flare and taper
6	Deciduous	Big leaf maple	<i>Acer macrophyllum</i>	32.8	✓	■	■	46	28	25	21	20nsew	5	Yes	YES	Very large crown. Corrugated drain pipe from house was found just north of its root flare.
7	Deciduous	Big leaf maple	<i>Acer macrophyllum</i>	13	■	✓	■	18	19	22	26	20nsew	6	Yes	YES	Dominated by adjacent trees. Crown is mostly lost. Codominant leader is dead.
8	Deciduous	Big leaf maple	<i>Acer macrophyllum</i>	24	■	✓	■	20	18	23	15	20nsew	7	Yes	YES	Large, dead, broken stems on the east side. Decay is present. Crown is off-balance to the east
9	Deciduous	Big leaf maple	<i>Acer macrophyllum</i>	19	■	✓	■	24	20	11	20	18nsew	8, 12	Yes	YES	Will not be affected by the planned construction.

Tree/ Tag #	Evergreen/Deciduous	Common Name	Genus species	DBH Inches (Multistem calc.)	Healthy	Fair	Dead/Dying	Dripline				Limits of Disturbance	Photo #	REGULATED?	Exceptional?	Comments	
								N	S	E	W						
A	Evergreen	Portuguese laurel	<i>Prunus lusitanica</i>	8, 8, 8 (13.8)	✓	■	■	8				4n	9	Yes	No	4' stone retaining wall just to the north and west. Rock retaining wall on subject property 6' to the north of this tree. It's lowest branch slightly overhangs the existing house 6' above the south gutter line.	
B	Deciduous	Japanese maple	<i>Acer palmatum</i>	8, 8, 8, 6 (15)	✓	■	■	10				19	6n	10	Yes	No	Root flare buried by falling wood retaining wall. Corner of house is 12 feet to the southwest.
C	Evergreen	Western red cedar	<i>Thuja plicata</i>	21.7	✓	■	■	17				17	12s, 20e, 12w	Yes	YES	Low live crown ratio, top blown out. Girdling stem at 80 feet. Trunk is under rolled on the east side.	
D	Evergreen	Douglas fir	<i>Pseudotsuga menziesii</i>	45.4	✓	■	■	23				17	20nsew	11	Yes	YES	Top blown out at 55 feet. Canopy mostly extends to the east and west.
E	Evergreen	Douglas fir	<i>Pseudotsuga menziesii</i>	19	✓	■	■	8				10n	12	Yes	YES		

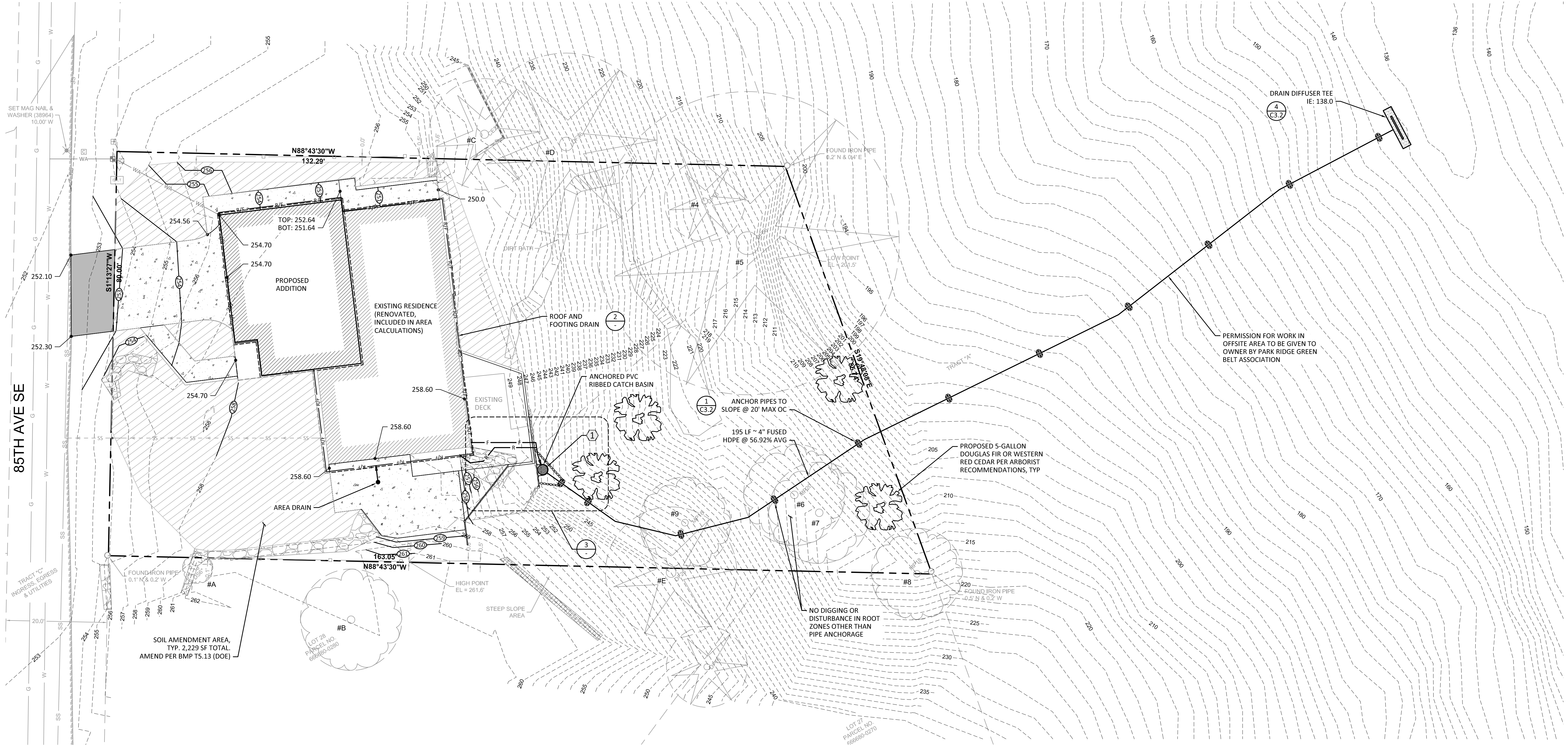
3 TREE INVENTORY (PER SALISH RESTORATION ASSOCIATES)
SCALE: NTS



MARK	DATE	DESCRIPTION
	06/27/24	PERMIT SUBMITTAL

DESIGN: JCO
DRAWN: JCP
CHECK: JPU
JOB NO: 23354.20
DATE: 06/27/24

KORPELA RESIDENCE
8441 SE 33RD PL
MERCER ISLAND, WA 98040
TEMPORARY EROSION CONTROL DETAILS



1 GRADING AND DRAINAGE PLAN
 SCALE: 1" = 10'

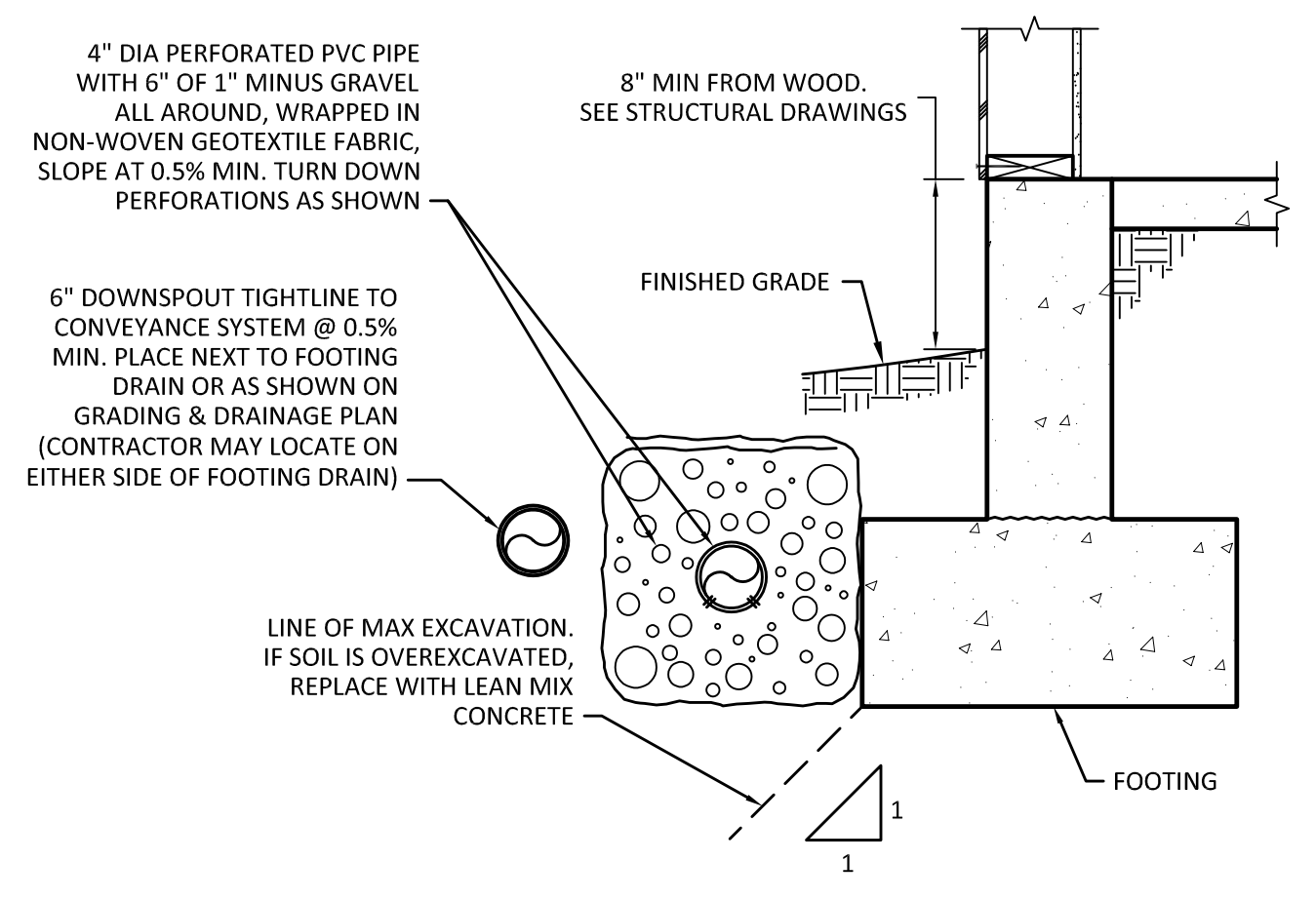
- GRADING AND DRAINAGE PLAN NOTES:**
- SOILS REPORT
 REPORT NUMBER: 2727.01
 PREPARED BY: ZIPPERGEO
 DATED: 11/28/23
 - TOW AND BOW REFER TO FINISHED GRADE AT THE TOP AND BOTTOM OF THE WALLS, RESPECTIVELY.
 - A MINIMUM OF 3' HORIZONTAL SEPARATION AND 1' VERTICAL SEPARATION IS REQUIRED BETWEEN DRY UTILITY (POWER, GAS, PHONE, CABLE, ETC) AND SEWER, WATER AND STORM, AND A MINIMUM OF 5' HORIZONTAL SEPARATION AND 1' VERTICAL SEPARATION FROM ANY CITY-OWNED LINES.
 - A MINIMUM OF 2" OF COVER IS REQUIRED FOR ALL PIPES LOCATED UNDER DRIVABLE SURFACES AND 1" OF COVER UNDER LANDSCAPE SURFACES.
 - CONTRACTOR SHALL INVESTIGATE THE FUNCTIONALITY OF PIPES AND TIGHTLINE THESE TO THE NEW CATCH BASIN AT THE SE PER DETAIL 3/C3.1 END OF THE WALL ALONG WITH DRAINAGE FROM RESIDENCE.
 - REROUTE DRAINS TO NEW CATCH BASIN AT SE AND TIE INTO HDPE DRAINAGE SYSTEM.
 - NEW/REPLACED IMPERVIOUS SURFACE (INCLUDING ROW): 3,150 SF
 -- NEW RESIDENCE: 2,054 SF ROOF AREA DIRECTED TO DRAIN DIFFUSER TEE.
 -- NEW WALKWAY: 255 SF DIRECTED TO DRAIN DIFFUSER TEE.
 -- NEW PATIO: 343 SF DIRECTED TO DRAIN DIFFUSER TEE.
 -- NEW DRIVEWAY: 498 SF SHEET FLOWS TO 85TH AVE SE.

GRADING QUANTITIES	
TOTAL EXCAVATION (CUT) -	150 CU YDS TOTAL
EMBANKMENT (FILL) -	35 CU YDS
TOTAL	185 CU YDS

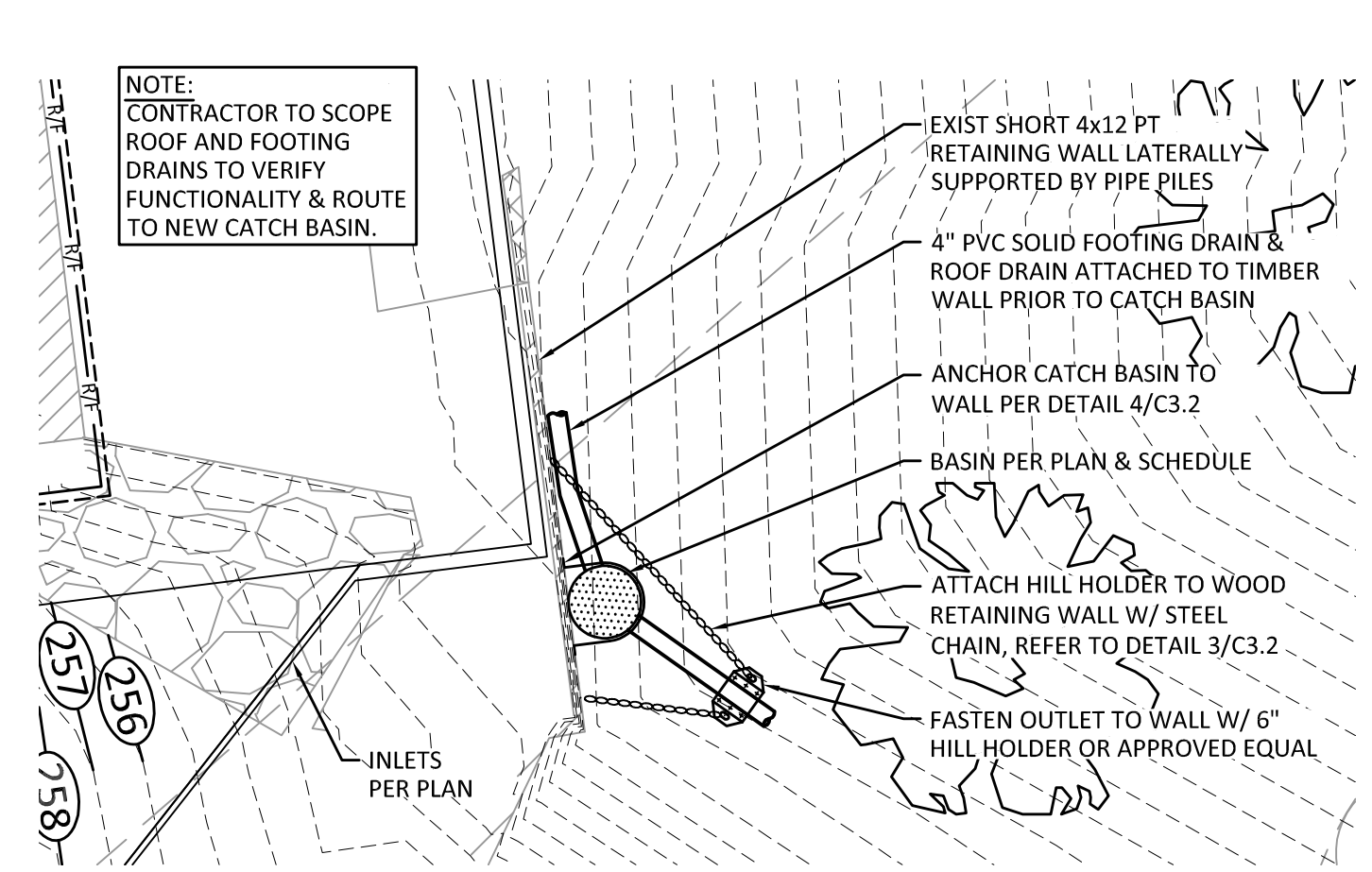
THE QUANTITIES SHOWN ABOVE ARE FOR THE PERMIT PROCESS ONLY. THESE VALUES ARE APPROXIMATE. DO NOT USE FOR BIDDING, PAYMENT, OR ESTIMATING PURPOSES.

PAVING LEGEND	
	NEW ASPHALT
	NEW CONCRETE

CATCH BASIN SCHEDULE				
MARK	TYPE	RIM ELEV	INV ELEV	NOTES
1	24" NYLOPLAST DRAIN BASIN	250.33	(SE): 249.0	2, 3 C3.2 C3.7



2 FOOTING AND ROOF DRAIN SECTION
 SCALE: NTS



3 GRADING AND DRAINAGE PLAN
 SCALE: 1" = 5'

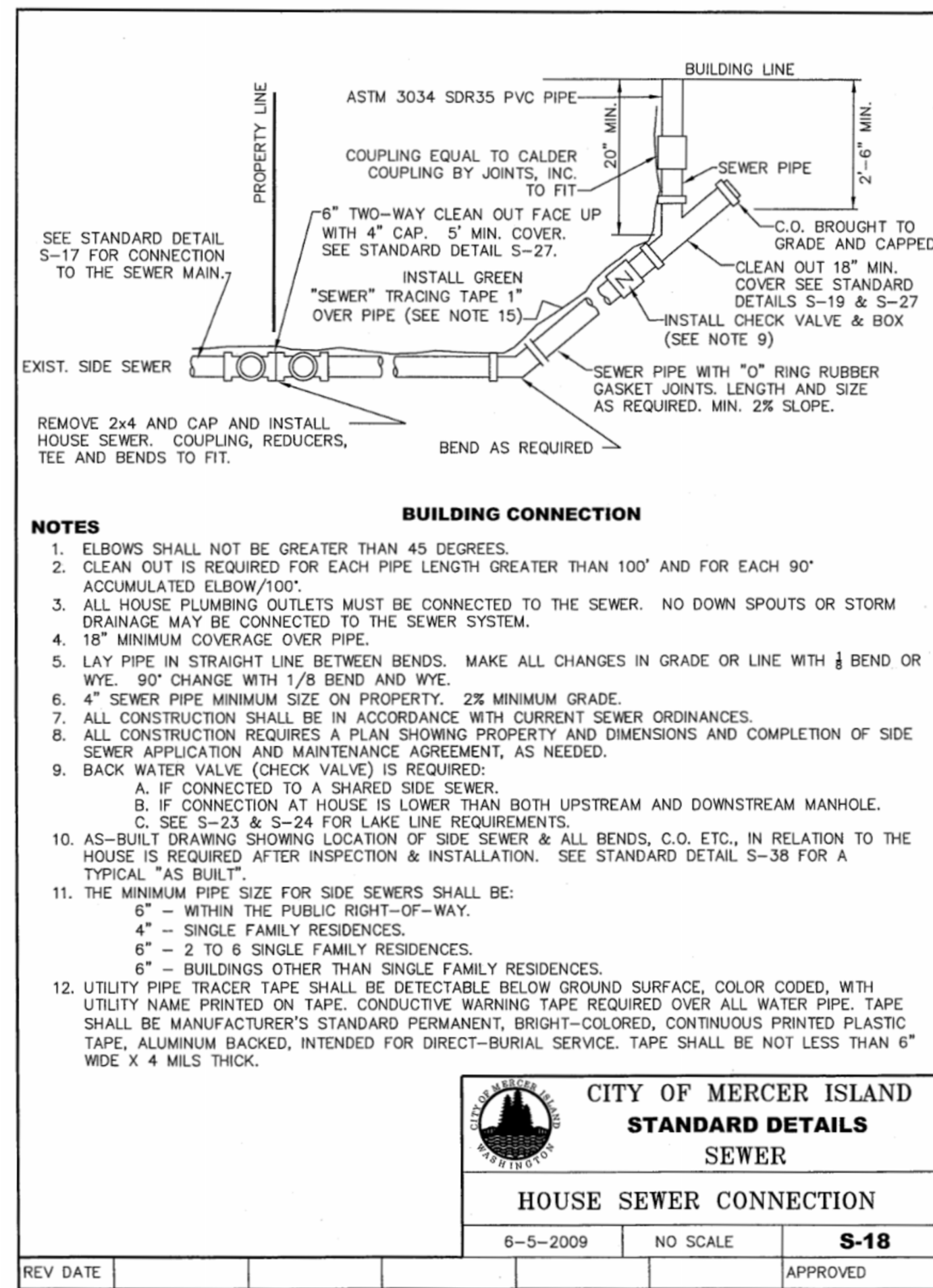
MARK	DATE	DESCRIPTION
	06/27/24	PERMIT SUBMITTAL

DESIGN: JCO
 DRAWN: JCP
 CHECK: JPU
 JOB NO: 23354.20
 DATE: 06/27/24

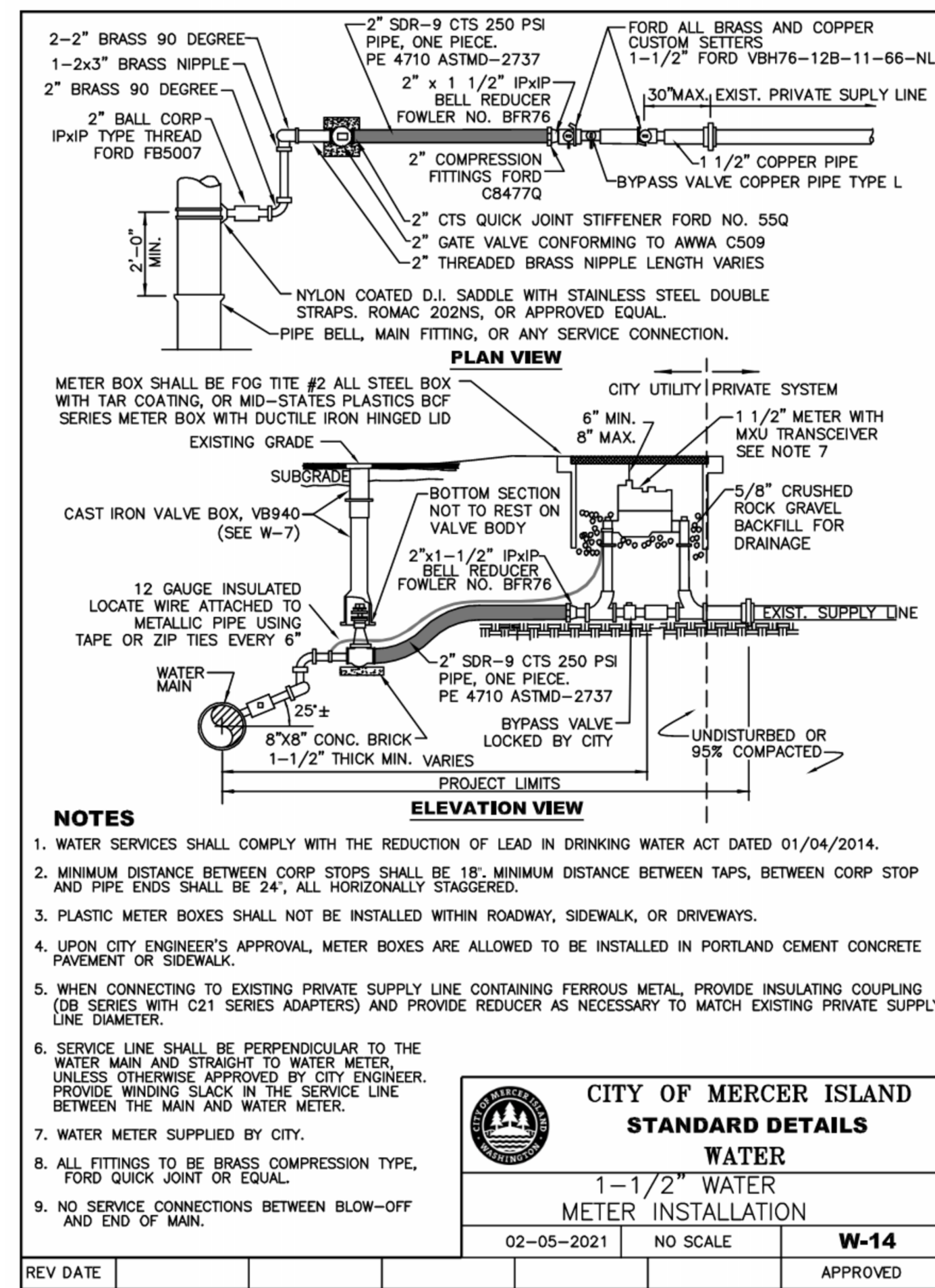
KORPELA RESIDENCE
 8441 SE 33RD PL
 MERCER ISLAND, WA 98040

GRADING AND DRAINAGE PLAN

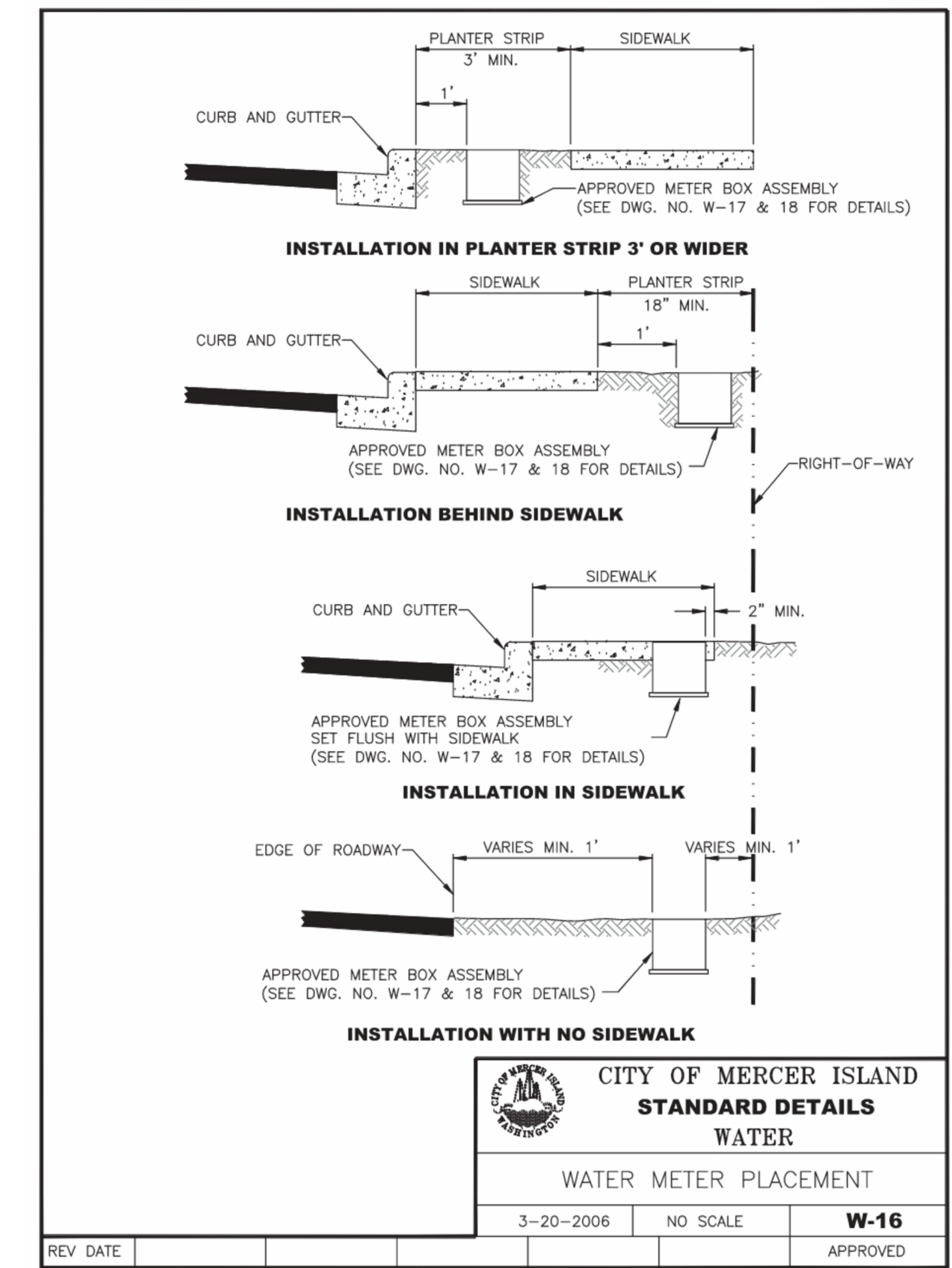
SHEET:
C3.1



1 CITY OF MERCER ISLAND STANDARD DETAIL
SCALE: NTS



2 CITY OF MERCER ISLAND STANDARD DETAIL
SCALE: NTS



3 CITY OF MERCER ISLAND STANDARD DETAIL
SCALE: NTS



MARK	DATE	DESCRIPTION
	06/27/24	PERMIT SUBMITTAL

DESIGN:	JCO
DRAWN:	JCP
CHECK:	JPU
JOB NO:	23354.20
DATE:	06/27/24

KORPELA RESIDENCE
 8441 SE 33RD PL
 MERCER ISLAND, WA 98040

WATER AND SEWER DETAILS

SHEET:
C4.2