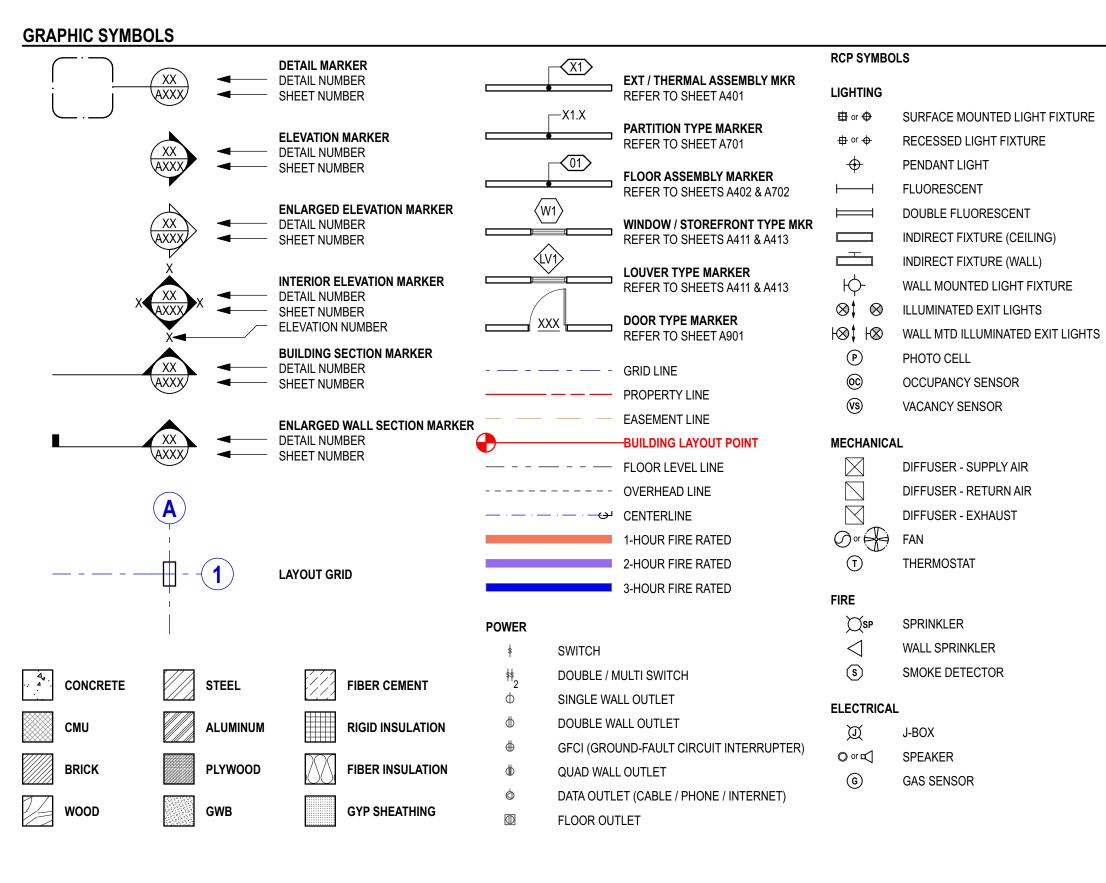
|           | AT<br>DIAMETER / ROUND  | FRP<br>FRDT      | FIBERGLASS REINFORCED PANEL<br>FIRE RETARDANT                       | PTN            |  |
|-----------|---|------------------|---|----------------|--|
|           | A   | FRZR             | FREEZER   | QTR            | <b>Q</b><br>QUARTER                            |
| 3         | AIR BARRIER   | FSD<br>FT        | FIRE SEPARATION DISTANCE<br>FOOT OR FEET                            | QTY            | QUANTITY                                       |
| BE<br>BV  | AVERAGE BUILDING ELEVATION<br>ABOVE   | FTG              | FOOTING   | Р              | <b>R</b><br>RISER / RADIUS / RANGE             |
| C         | ACCESSIBLE  | ~                | G   | R<br>RB        | RUBBER BASE                                    |
| ;Р<br>:T  | ACOUSTIC CEILING PANEL<br>ACOUSTIC CEILING TILE                                       | GA<br>GAL        | GAUGE<br>GALLON   | RD             |  |
| W         | ALUMINUM-CLAD WOOD  | GALV             | GALVANIZED  | REC<br>REF     | RECEIVER / RECYCLE<br>REFERENCE / REFRIGERATOR |
| A         | AREA DRAIN<br>AMERICANS WITH DISABILITIES ACT   | GEN<br>GFI       | GENERAL<br>GROUND FAULT INTERRUPTER                                 | REINF          | REINFORCED                                     |
| J         | ADJUSTABLE / ADJACENT   | GFRC             | GLASS FIBER REINFORCED  | REQ<br>RESI    | REQUIRED<br>RESIDENTIAL                        |
| F<br>IJ   | ABOVE FINISH FLOOR<br>AUTHORITY HAVING  | GL               | CONCRETE<br>GLASS   | RET            | RETURN   |
|           | JURISDICTION  | GND              | GROUND  | REV<br>RF      | REVERSE / REVISED / REVISION<br>ROOF           |
| iu<br>T   | AIR HANDLING UNIT<br>ALTERNATE  | GOVT<br>GR       | GOVERNMENT<br>GRADE   | RFG            | ROOFING  |
| UM        | ALUMINUM  | GSM              | GALVANIZED SHEET METAL  | RH<br>RIGID    | RIGHT HAND<br>RIGID INSULATION                 |
| PD        | ACCESS PANEL<br>APPROVED  | GWB<br>GYP       | GYPSUM WALL BOARD<br>GYPSUM   | RM             | ROOM   |
| PROX      | APPROXIMATE   | on               | H   | RND<br>RO      | Round<br>Rough opening                         |
| CH<br>G   | ARCHITECTURAL<br>AVERAGE  | НВ               | HOSE BIB  | ROW            | RIGHT-OF-WAY                                   |
| 0         | B   | HC<br>HD         | HANDICAP / HOLLOW CORE<br>HEAD / HEAVY DUTY                         | RUB<br>RWL     | RUBBER<br>RAINWATER LEADER (INTERIOR)          |
|           | BOARD / BED / BEDROOM   | HDR              | HEADER  | NWL            | S  |
| L         | BUILDING ENVELOPE<br>BELOW  | HDWD<br>HDWR     | HARDWOOD<br>HARDWARE  | S              | SOUTH  |
| -<br>(    | BEYOND  | HDWK             | HARDWARE<br>HOLLOW METAL  | SALV<br>SAM    | SALVAGE (D)<br>SELF-ADHESIVE MEMBRANE          |
| )G        | BUILDING  | HOL              | HOLLOW  | SBC            | IBC w/ SEATTLE AMENDMENTS                      |
| (         | BLOCK, BLOCKING<br>BOTTOM OF  | horiz<br>Hp      | HORIZONTAL<br>HIGH POINT  | SC             | SOLID CORE                                     |
| D         | BASIS OF DESIGN   | HR               | HOUR  | SCHED<br>SCW   | SCHEDULE<br>SOLID CORE WOOD                    |
| Т         | BOTTOM<br>BACKER ROD  | HT<br>HWH        | HEIGHT<br>HOT WATER HEATER  | SD             | SMOKE DETECTOR / SOAP DISPEN                   |
| K MTL     | BRAKE METAL   |                  |   | SEC<br>SECT    | SEATTLE ENERGY CODE<br>SECTION                 |
| N         | BETWEEN   | IBC              | INTERNATIONAL BUILDING CODE   | SF             | SQUARE FEET / STOREFRONT                       |
| 3         | <b>C</b><br>CABINET   | ID<br>IN         | INSIDE DIAMETER<br>INCHES   | SH<br>SHT      | SHELF<br>SHEET                                 |
|           | CORNER GUARD  | INCL             | INCLUDE / INCLUDED / INCLUDING                                      | SHTG           | SHEATHING                                      |
|           | CAST-IN-PLACE CONCRETE  | INSUL            | INSULATION  | SID            | SIDING   |
|           | CONTROL JOINT<br>CENTERLINE / CLOSET  | INT<br>INTM      | INTERIOR<br>INTERMEDIATE  | SIM<br>SL      | SIMILAR<br>SLOPE                               |
| 3         | CEILING   | INTUM            | INTUMESCENT   | SLNT           | SEALANT  |
| (G<br>)   | CAULKING<br>CLOSET  |                  | J   | SM<br>SPEC     | SHEET METAL<br>SPECIFICATIONS                  |
| R         | CLEAR   | JST<br>JT        | JOIST<br>JOINT  | SQ             | SQUARE   |
| U         | CONCRETE MASONRY UNIT<br>COLUMN   | J-BOX            | JUNCTION BOX  | SS<br>STC      | STAINLESS STEEL<br>SOUND TRANSMISSION CLASS    |
| -<br>MM   | COMMUNICATION   |                  | L   | STD            | SOUND TRANSMISSION CLASS<br>STANDARD / STUD    |
| NC        | CONCRETE  | L                |   | STIFF          | STIFFENER                                      |
| ND<br>NN  | CONDITION<br>CONNECTION   | LA<br>LAM        | LANDSCAPE<br>LAMINATE   | STL<br>STOR    | STEEL<br>STORAGE                               |
| NST       | CONSTRUCTION  | LAV              | LAVATORY  | STU            | STUDIO   |
| NT<br>NTR | CONTINUOUS<br>CONTRACTOR  | LB<br>LH         | POUND<br>LEFT HAND  | STRUCT<br>SUB  | STRUCTURAL<br>SUBSTITUTE / SUBMITTAL           |
| RR        | CORRIDOR / CORRUGATED / CORRECTION  | LIN              | LINEAR/LINEAL   | SUSP           | SUSPENDED                                      |
| Г         | CARPET  | LOC<br>LP        | LOCATION<br>LOW POINT   | SYM            | SYMMETRICALSYMBOL                              |
| ર         | CERAMIC TILE<br>CENTER  | LF               | LIGHT   | SYS            | SYSTEM<br><b>T</b>                             |
| ST        | CUSTOM  | LTG              | LIGHTING  | т              | TOP / TREAD / TEMPERED                         |
|           | D   | LVL              | LEVEL<br>M  | ТВ             | TOWEL BAR                                      |
| РТ        | DEPTH / DRYER<br>DEPARTMENT   | MATL             | MATERIAL  | TG<br>T-STAT   | TONGUE & GROOVE<br>THERMOSTAT                  |
| T         | DETAIL  | MAX              | MAXIMUM   | TD             | TRENCH DRAIN                                   |
|           | DRINKING FOUNTAIN<br>DIAMETER   | MC<br>MDF        | MEDICINE CABINET<br>MEDIUM DENSITY FIBERBOARD                       | TEMP<br>THK    | TEMPORARY / TEMPERATURE<br>THICK(NESS)         |
| G         | DIAGONAL  | MECH             | MECHANICAL  | THRU           | THROÙGH  |
|           | DIMENSION   | MEMB<br>MFR      | MEMBRANE<br>MANUFACTURER  | Т.О.<br>ТОС    | TOP OF<br>TOP OF CONCRETE                      |
|           | DIRECTION<br>DIVISION   | MI               | MIRROR  | TOP            | TOPPING  |
| -         | DOWN  | MIN              | MINIMUM<br>MISCELLANEOUS  | TOW            | TOP OF WALL                                    |
| M         | DOMESTIC<br>DOOR  | MISC<br>MO       | MISCELLANEOUS<br>MASONRY OPENING                                    | TPH<br>TR      | TOILET PAPER HOLDER<br>TRASH / TRASH ROOM      |
|           | DOWNSPOUT (EXTERIOR)  | МОТ              | MOTORIZED   | TRANSL         | TRANSLUCENT                                    |
| G         | DISHWASHER<br>DRAWING   | MTD<br>MTL       | MOUNTED<br>METAL  | TRANSP<br>TRTD | TRANSPARENT / TRANSPARENCY<br>TREATED          |
| 0         | E   |                  | N   | T/S            | TOPSIDE  |
|           | EXISTING  | Ν                | NORTH   |                |  |
|           | EAST  | (N)<br>NAT       | NEW<br>NATURAL  | TWP<br>TYP     | TRANSLUCENT WALL PANEL<br>TYPICAL              |
|           | EACH<br>EXPANSION JOINT   | NEG              | NEGATIVE  |                | U  |
| <b>.</b>  | ELEVATION (GRADE)   | NIC<br>No. or #  | NOT IN CONTRACT<br>NUMBER   | UL             | UNDERWRITERS' LABORATORY                       |
| C<br>V    | ELECTRICAL<br>ELEVATOR  | NOM              | NOMINAL   | UNFIN<br>UNO   | UNFINISHED<br>UNLESS NOTED OTHERWISE           |
| R         | EMERGENCY   | NTS              | NOT TO SCALE  | U/S            | UNDERSIDE                                      |
| र<br>/    | ELEVATOR MACHINE ROOM<br>ENVELOPE / ENVIRONMENT(AL)                                   | 04               | O<br>OVEDALL  | 1/4 5          |  |
|           | EQUAL   | OA<br>OC         | OVERALL<br>ON CENTER  | VAP<br>VAR     | VAPOR BARRIER<br>VARIES / VARIABLE             |
| JIP       | EQUIPMENT<br>ESTIMATE / ESTIMATED   | 000              | OCCUPANCY / OCCUPANT  | VB             | VINYL BASE                                     |
| ;         | EXCAVATED   | OD<br>OFD        | OUTSIDE DIAMETER<br>OVERFLOW DRAIN                                  | VCT<br>VENT    | VINYL COMPOSITION TILE<br>VENTILATION          |
| 1         | EXHAUST   | ОН               | OVERHEAD  | VERT           | VERTICAL                                       |
| •         | EXPOSED / EXPANDED<br>EXTERIOR  | opng<br>opp      | OPENING<br>OPPOSITE   | VEST           | VESTIBULE                                      |
|           | F   | OWSJ             | OPEN-WEB STEEL JOIST  | VFY<br>VIF     | VERIFY<br>VERIFY IN FIELD                      |
|           | FABRICATED  | ΟZ               | OUNCE   | VG             | VERTICAL GRAIN                                 |
| Р         | FIRE ACCESS CONTROL PANEL<br>FIBER CEMENT COMPOSITE                                   | (P)              |   | VOC<br>VOL     | VOLATILE ORGANIC COMPOUNDS<br>VOLUME           |
|           | FLOOR DRAIN   | (P)<br>PAR       | PROPOSED<br>PARALLEL  | VS             | VINYL SHEET / SHEET VINYL                      |
| ;         | FIRE EXTINGUISHER<br>FE CABINET   | PART             | PARTITION   | _              | W  |
|           | FINISH FLOOR / FACTORY FINISHED   | PC<br>PERF       | PRECAST<br>PERFORATED   | W<br>W/        | WEST / WIDE / WASHER<br>WITH                   |
| E         | FURNITURE, FIXTURES & EQUIPMENT   | PERP             | PERPENDICULAR   | W/D            | WASHER/DRYER                                   |
|           | FINISH GRADE<br>FINISH(ED)  | PKG<br>PL        | PARKING / PACKAGE<br>PLATE / PROPERTY LINE / PLASTIC                | W/O            | WITHOUT  |
| SH        | FLASHING  | PLAM             | PLATE / PROPERTY LINE / PLASTIC<br>PLASTIC LAMINATE                 | WAIN<br>WC     | WAINSCOT<br>WATER CLOSET                       |
| X         | FLEXIBLE<br>FLOOR   | PLY              | PLYWOOD   | WD             | WOOD   |
| ;         | FACE OF CONCRETE  | PNL<br>POL       | PANEL<br>POLISH / POLISHED  | WIN<br>WSEC    | WINDOW<br>WASHINGTON STATE ENERGY COE          |
|           | FACE OF FINISH  | PR               | PAIR  | WSEC           | WALL HUNG                                      |
| C<br>0    | FURNISHED BY OWNER, INSTALLED BY CONTRACTOR<br>FURNISHED BY OWNER, INSTALLED BY OWNER | PREFAB<br>PRELIM | PREFABRICATE(D)<br>PRELIMINARY                                      | WRB            | WEATHER RESISTANT BARRIER                      |
| Λ         | FACE OF MASONRY   | PRELIM<br>PROJ   | PRELIMINARY<br>PROJECT / PROJECTION                                 | WS<br>WT       | WEATHERSTRIP<br>WEIGHT                         |
| 6         | FACE OF STUD<br>FIREPROOF/FIRE PROTECTION   | PROP             | PROPERTY  | WWM            | WELDED WIRE MESH                               |
|           | FROST PROOF HOSE BIB  | PSI<br>PT        | POUNDS PER SQUARE INCH<br>POINT / PRESSURE TREATED / POST-TENSIONED |                | Y  |
| IB        |   |                  | . SINT / I NEODONE INERIED / I ODIFILINDIUNED                       | YD             | YARD DRAIN                                     |



#### PROJECT DATA

DIRECTORY

| PROJECT LOCATION  | OWNER   | ENVELOPE CONSULTANT   |                 |              |
|---|---|---|-----------------|--------------|
| 3003 77th Ave. SE   | Ryan Companies US, Inc.                           | 4EA Building Science  | GENERAL         |              |
| Mercer Island, WA 98040                                     | 110 110th Ave NE, Suite 100                       | 12721 30th Ave NE, 2nd Floor  | <u>OENELWIE</u> | 0004         |
| Microel Island, WA 30040                                    | Bellevue, WA 98004                                | Seattle, WA 98125   |                 | G001<br>G101 |
| KING COUNTY ASSESSOR'S PARCEL NUMBERS                       | Kate Suski  | Jeff Speert   |                 | G101<br>G102 |
| 531510-1015   | T: (425)577-1098                                  | T: (206)728-2358  |                 | 6102         |
|   | E: Kate.Suski@RyanCompanies.com                   | E: Email Address  | SURVEY          |              |
| LEGAL DESCRIPTIONS  |   | E. Email Address  | GOILLEI         | 4 60         |
| PARCEL 1: LOTS 7 THROUGH 12, BLOCK 11, MCGILVRA'S ISLAND    | ARCHITECT   | INTERIOR DESIGNER   |                 | 1 of 3       |
| ADDITION, ACCORDING TO THE PLAT RECORDED IN VOLUME 16 OF    | Weinstein A+U                                     | <pre></pre> <pre>&lt;</pre> |                 | 2 of 3       |
| PLATS, PAGE 58, IN KING COUNTY, WASHINGTON. EXCEPT THE EAST | Architects + Urban Designers LLC                  | Address Line 1  |                 | 3 of 3       |
| 10 FEET CONVEYED FOR ROAD NBY DEED RECPORDED DECEMBER 1,    | 2200 Western Avenue, Suite 301                    | Address Line 2  | CIVIL           |              |
| 1958 UNDER RECORDING NO.                                    | Seattle, WA 98121                                 | Contact Name  | CIVIL           |              |
| PARCEL 2: AN EASEMENT FOR STORM DRAIN AND INCIDENTAL        | Your Name   | T: Phone Number   |                 | C100         |
| PURPOSES AS SET FORTH IN DOCUMENT RECORDED JULY 26, 1979    | T: 206.443.8606                                   | E: Email Address  |                 | C200         |
| AS RECORDING NO. 7907260876 OF OFFICIAL RECORDS.            | E: yourname@weinsteinau.com                       |   |                 | C210         |
|   |   | CIVIL ENGINEER  |                 | C300         |
| KING COUNTY ZONING  | GENERAL CONTRACTOR                                | Coughlin Porter Lundeen   |                 | C310<br>C320 |
| TC (TOWN CENTER)  | <contractor company=""></contractor>              | 801 2nd Ave, Suite 900  |                 | C320<br>C321 |
| IO (IOWITOERTER)  | Address Line 1                                    | Seattle, WA 98104   |                 | C400         |
| CITY OF MI PROJECT #  | Address Line 2                                    | Aaron Fjelstad  |                 | C400<br>C401 |
| #MI PROJECT #   | Contact Name                                      | T:(206)343-0460   |                 | C401         |
|   | T: Phone Number                                   | E: AaronF@cplinc.com  |                 | C403         |
| PROJECT DESCRIPTION   | E: Email Address                                  | L. Aaroni @cplinc.com   |                 | C410         |
| 40-UNIT CONDOMINIUM DEVELOPMENT                             | L. Email Address                                  | LANDSCAPE ARCHITECT   |                 | C420         |
|   | STRUCTURAL ENGINEER                               | JETT Landscape Architecture + Design  |                 | 0.20         |
|   | Coughlin Porter Lundeen                           | 95 S. Jackson St, Suite 100   | LANDSCAPE       |              |
|   | 801 2nd Ave, Suite 900                            | Seattle, WA 98104   |                 | L0.01        |
|   | Seattle, WA 98104                                 | Todd Bronk  |                 | L0.01        |
|   | Ben Barlow  | T: (206)947-6869  |                 | L0.02        |
|   | T: (206)343-0460                                  | E: Toddb@jett.land  |                 | L0.05        |
|   | E: BenB@cplinc.com                                |   |                 | L1.01        |
|   |   | ACOUSTIC CONSULTANT   |                 | L8.01        |
|   | MECHANICAL ENGINEER                               | A3 Acoustics  |                 | L10.01       |
|   | PAE Engineers                                     | 241 S Lander St, Suite 200  |                 | L10.02       |
|   | 1501 E Madison Street, Suite 300                  | Seattle, WA 98134   |                 | L10.03       |
|   | Seattle, WA 98122                                 | Mohamed Ait Allaoua   |                 |              |
|   | Tony Marino                                       | T: (206)792-7796  | SITE-PLAN       |              |
|   | T: (206)596-8606                                  | E: info@a3acoustics.com   |                 | A001         |
|   | E: tony.marino@pae-engineers.com                  |   |                 | A002         |
|   |   |   |                 |              |
|   | PLUMBING ENGINEER                                 |   | OVERVIEW-PLANS  | ;            |
|   | PAE Engineers                                     |   |                 | A100         |
|   | 1501 E Madison Street, Suite 300                  |   |                 |              |
|   | Seattle, WA 98122                                 |   | EXTERIOR-ELEVAT | TIONS        |
|   | John Lansing                                      |   |                 | A301         |
|   | T: (206)596-8606                                  |   |                 | A302         |
|   | E: john.lansing@pae-engineers.com                 |   |                 | A303         |
|   |   |   |                 | A304         |
|   | ELECTRICAL ENGINEER                               |   |                 | A305         |
|   | PAE Engineers                                     |   |                 | A310         |
|   | 1501 E Madison Street, Suite 300                  |   |                 |              |
|   | Seattle, WA 98122                                 |   |                 |              |
|   | Jeremy Galvin                                     |   |                 |              |
|   | T: (206)596-8606                                  |   |                 |              |
|   | E: jeremy.galvin@pae-engineers.com                |   |                 |              |
|   |   |   |                 |              |
|   | LIGHTING CONSULTANT<br>LUMA                       |   |                 |              |
|   |   |   |                 |              |
|   | 1501 E Madison St, Suite 300<br>Seattle, WA 98122 |   |                 |              |
|   | Brock Soderberg                                   |   |                 |              |
|   | T: (206)596-8606                                  |   |                 |              |
|   | I. (200)090-0000<br>F: brocks@lumald.com          |   |                 |              |

#### **GENERAL NOTES**

1. ALL WORK SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF THE 2018 INTERNATIONAL BUILDING CODE (IBC), 2018 WASHINGTON STATE ENERGY CODE, (WCEC) AND ALL OTHER APPLICABLE CODES CONTRACTOR SHALL FIELD CHECK ALL DIMENSIONS AND VERIFY LOCATION OF WORK WITH THE ARCHITECTS. NO SCALE MEASUREMENTS

E: brocks@lumald.com

- SHALL BE USED AS DIMENSIONS FOR WORK. LARGER SCALED DETAILS AND DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER. NOTIFY THE ARCHITECT WHENEVER DIMENSION DISCREPANCIES ARISE.
- 3. CONTRACTOR IS SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITION OF THE JOB SITE, INCLUDING SAFETY, PROTECTION OF THE PROPERTY, AND THE LIKE DURING PERFORMANCE OF THE WORK
- 4. CONTRACTOR SHALL PROVIDED METHODS, MEANS, AND FACILITIES REQUIRED TO PREVENT CONTAMINATION OF SOIL, WATER OR ATMOSPHERE.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE OWNER'S WORK AND/OR SUPPLIED ITEMS THAT ARE FURNISHED 5. BY OWNER AND INSTALLED BY CONTRACTS OR ARE NOT IN CONTRACT, BUT ARE ATTACHED TO THE CONTRACTOR'S WORK.
- 6. BUILDING IS TO BE FULLY SPRINKLERED.
- 7. ALL FURRED WALLS SHALL HAVE VERTICAL AND LATERAL DRAFTSTOPS PER IBC.
- A DRY SEASON GRADING EXTENSION APPROVAL MAY BE REQUIRED BY THE AHJ IF EXCAVATION WILL OCCUR DURING CERTAIN MONTHS OF 8. THE YEAR. REFER TO THE PERMIT CONDITIONS ISSUED BY THE AHJ.
- 9. DESTINATION OF EXCAVATION SOILS TO BE DETERMINED. SDCI WILL BE NOTIFIED OF DISPOSAL SITE AFTER CONFIRMATION BY EARTHWORK
- SUBCONTRACTOR.
- DRAWINGS ISSUED FOR CONSTRUCTION PRIOR TO FINAL PERMITTING APPROVAL ARE SUBJECT TO REVISIONS. VERIFY CONSTRUCTION 10. DOCUMENTS CONFORM TO PERMIT DRAWINGS BEFORE PROCEEDING WITH WORK. NOTIFY ARCHITECT WHENEVER DISCREPANCIES ARISE.
- 11. DIMENSIONS ARE TO: FACE OF MASONRY (FOM),
  - FACE OF CONCRETE (FOC), OR FACE OR STUD (FOS)
  - UNLESS NOTED OTHERWISE (UNO) DIMENSIONS INDICATED AS CLEAR (CLR) OR FINISH (FIN) ARE TO FINISH FACE.

# VICINITY MAP





#### COVER-SHEET LAND-USE-CODE-ANALYSIS LAND-USE-CODE-DIAGRAMS

DEMOLITION PLAN

ROADWAY SECTIONS

G101 G102

1 of 3 2 of 3

3 of 3

C100 C200 C210 C300 C310 C320 C321

C400 C401 C402 C403 C410

C420

L0.02 L0.04 L0.05 L1.01 L8.01

L10.01 L10.02

L10.03

A001

A002

A302

A303 A304 A305

A310

#### BOUNDARY AND TOPOGRAPHIC SURVEY BOUNDARY AND TOPOGRAPHIC SURVEY BOUNDARY AND TOPOGRAPHIC SURVEY

#### TESC AND EXCAVATION PLAN EXCAVATION SECTIONS AND DETAILS STORM DRAINAGE AND UTILITY PLAN STORM DRAINAGE AND UTILITY DETIALS

UTILITY PROFILES STORMWATER MANAGEMENT DETAILS PAVING, GRADING AND HORIZONTAL CONTROL PLAN ROADWAY PLAN AND PROFILE - SE 29TH ST. ROADWAY PLAN AND PROFILE - 77TH AVE SE ROADWAY PLAN AND PROFILE - 77TH AVE SE, CONT. ROADWAY AND PAVING DETAILS

**GENERAL NOTES & LEGENDS** MATERIAL SCHEDULE TREE REMOVAL & MITIGATION PLAN TREE REMOVAL AND MITIGATION PLAN LANDSCAPE CONSTRUCTION PLAN PRECEDENT & MATERIAL IMAGES PLANTING PLAN PLANTING DETAILS IRRIGATION PLAN

ARCHITECTURAL SITE PLAN (N) ARCHITECTURAL SITE PLAN (S)

#### OVERVIEW-PLAN-P1

OVERALL-ELEVATIONS ENLARGED ELEVATIONS-NORTH ENLARGED ELEVATIONS-EAST ENLARGED ELEVATIONS-SOUTH ENLARGED ELEVATIONS-WEST EXTERIOR RENDERINGS

#### OFFICE GARAGE

PK100 PARKING GARAGE OFFICE BUILDING LOWER LEVEL PK101 PARKING GARAGE OFFICE BUILDING UPPER LEVEL FIRE

FP0.10 SITE PLAN

LIGHTING

EL0.01 LUMINAIRE SCHEDULE EL0.10 SITE PLAN - LIGHTING EL0.11 SITE PLAN - PHOTOMETRIC





| Rev | Date | Issue |
|-----|------|-------|

S ĽĹ S **COWHOU** ХŢ ת ת 4 Ъ <u>ନ ର</u>  $\Xi \supset$ ND ME

| -         |                                  | IAL Real Estate<br>r SE 29th St & 77th Ave SE, Mercer Island, WA 98040 (3003 77th Ave SE)   |                    |
|-----------|----------------------------------|---|--------------------|
|           | Parcel Nos.                      | 531510-1015   |                    |
|           | Lot Area                         | No<br>TC (Town Center), TC-3 (3 storles / 39 feet)<br>255,974 sf (5.88 acres)   |                    |
|           | Overlays<br>ECAs<br>Street Class | None<br>s 77th Avenue SE: Secondary Arterial<br>SE 29th Street: Collector Arterial  |                    |
| 19.07.110 | CRITI<br>A                       | CAL AREA STUDY<br>A critical area study shall be required when a development proposal will<br>result in an alteration to one or more crital areas or critical area buffers  |                    |
| 19.09.040 | PRIV/<br>B                       | or when required to determine the potential impact to a critical area.<br>ATE ACCESS ROADS AND DRIVEWAYS<br>All private access roads serving three or more single-family dwellings sh   |                    |
|           | F                                | be at least 20 feet in width"<br>Driveways providing vehicle access to parking for regulated improvement<br>shall comply with the parking lot dimensions of Appendix A.   |                    |
|           |                                  | Gradient<br>No access road or driveway shall have a gradient of greater than 20%<br>For all access roads and driveways with a gradient exceeding 15%, the<br>road surface shall be cement concrete pavement with a brushed surface<br>for tracting the statement of the surface for the statement with a brushed surface  | WII<br>WII         |
| APPENDIX  | A                                | for traction.<br>All parking areas shall conform to the following design standards unless<br>alternative design standards are approved by the design commission and<br>coty engineer.   | Alt                |
|           |                                  | ? Two-way traffic drive alsies are required to be 24' wide  |                    |
| 19.10.060 | В                                | REMOVAL<br>- Associated with a development proposal<br>Commercial or Multifamily Zoning Designations - Tree Removal<br>A tree premit is required and will be granted if it meets any of the followi   |                    |
|           |                                  | <ul> <li>b. It is necessary to enable construction work on the property to proceed and the owner has used reasonable best efforts to design an locate any improvements and perform the construction work in a manner consistent with the purposes set forth in MICC 19.109.005.</li> <li>Posign Commission Review is required</li> </ul>  | wiii               |
| 19.10.070 | TREE                             | REPLACEMENT<br>Trees that are cut pursuant to a tree permit shall be replaced as specifi<br>In subsections A and B of this section, or a fee in lieu shall be paid as   |                    |
|           | A                                | specified in subsection C of this section, O a tee in field shall be paid as<br>specified in subsection C of this section<br>Tree Replacement Ratio<br>Less than 10 inches = 1 replacement tree<br>10 inches up to 24 inches = 2 replacement trees<br>24 inches up to 36 inches = 3 replacement trees<br>more than 36 inches and any exceptional trees = 6 replacement trees  |                    |
| 19.11.010 | GENE                             |   |                    |
| 19.11.015 | TOWN<br>B<br>4                   | I CENTER SUBAREAS<br>Subareas established<br>TC-3 Subarea. Purpose of the TC-3 subarea is to create an area of  |                    |
| 19.11.020 |                                  | transition between the Town Center and adjacent residential<br>neighborhoods. Buildings may be up to three stories in height.<br>USES   | 1                  |
|           | A<br>B<br>Fla 2                  | Permitted and Conditional Uses - Residential dwelling permitted Required Ground Floor Uses Petall Street Frontage is not required at the project site   | Will               |
|           | Fig. 2<br>3                      | 2 Retail Street Frontage is not required at the project site. 3 No use shall occupy a continuous linear street frontage exceeding 60 feet in length. The design commission may approve up to an additional 6 feet in length if the use incorporates a feature to promote pedestriar activity, including but not limited to: an additional pedestrian entrance ointo a sidewalk or through block connection, or additional 10% transparency beyond the requirement of MICC 19.11.100(B)(1)(b). |                    |
| 19.11.030 | Α                                | REGULATIONS<br>Bulk Regulations by Subarea (TC-3)<br>Base Building Helght Allowed : 27 feet   | WII                |
|           | I                                | Base Building Height Allowed : 27 feet<br>Base Building Stories Allowed: 2<br>Max. Allowable Building Height: 39 feet (+ 5-feet for parapetand/or<br>sloped roof)<br>Max. Allowable Building Stories: 3   |                    |
|           | з                                | Ground Floor Height Adjacent to Streets: 15 feet min, 27 feet max.<br>Setback from Property Lines: No min. setback req.<br>Required Upper Story Setback (Avg Daylight Plane): see 19.11.030(A)(7)   |                    |
|           | -                                | b. The max. allowable building height shall be caluclated as the vertical distance measured from the base of a building façade to the highest point of the roof structure excluding apputenances. The base. shall be measured from the adjacent public sidewalk if applicable, or   |                    |
|           |                                  | from the lower of existing or finished grade along facades that are not<br>adjacent to a public sidewalk.<br>c. If the bases of the opposite building facades are not at  |                    |
|           |                                  | approximately the same elevation, the building must be configurted to<br>go down in height between the higher and lowefacades such that the<br>average of the building heights calculated between facades is approx.<br>equal to or less than the max. [permitted building height.  |                    |
|           | 5                                | Rooftop Appurtenances<br>Rooftop apputenances may extend up to 10 feet above the max.<br>building height apprtenances should be located at least 10 feet from<br>the exterior edge of any building and together with screening shall not  |                    |
|           |                                  | cover more than 20% of the rooftop area<br>a. Screening of Rooftop Apputenances. Appurtenances shall not be<br>located on the roof of a structure unless they are hidden or<br>camouflaged by building elements that were designed for that purpos  |                    |
|           |                                  | as an integral part of the building design. All appurtenances located<br>on the roof should be grouped together and incorporated into the roof<br>design and thoroughly screened. The screening should be sight-  |                    |
|           | 6                                | obscuring, located at least 10 feet from the exterior edge of any<br>building; and effective in obscuring the view of the appurtenances from<br>public streets or sidewalks or residential areas located on the hillside<br><i>Setbacks</i><br>b. All structures shall be set back so that space is provided for at leas  |                    |
|           |                                  | 12 feet of sidewalk between the structure and the face of the street ci   |                    |
|           | 7                                | <ul> <li>Average Daylight Plane</li> <li>a. Block frontages along streets must integrate average minimum upper<br/>level building stepbacks</li> <li>b. The average minimum upper level building stepbacks shall comply</li> </ul>  |                    |
|           |                                  | with the following:<br>i. From a height of 25 feet at the front property line, buildings shall<br>step back at a 45-degree angle up to the maximum height limit.<br>ii. Calculations for determining compliance with the average daylight   |                    |
| 10.11.010 |                                  | plane standards shall utilize cubic volume (cubic feet) and shall consider only the first 30 feet of depth along block frontages.   |                    |
| 19.11.040 | AFF0<br>B                        | RDABLE HOUSING<br>Affordable Housing Ratio. In order to qualify as significant affordable<br>housing and in order to qualify for bonus building height over two stories<br>a development that contains dwelling units must provide affordable<br>housing units equal to at least 10 percent of the total units in the<br>development. The number of required affordable units shall be rounded  | WII                |
|           | С                                | Affordability Level. For a three-story building the required affordable<br>housing units must be affordable at 90 percent of median income leve   |                    |
|           | F                                | for ownership housing.<br><i>Agreement</i> . Prior to issuance of a building permit, an agreement in form<br>and substance acceptable to the city attorney shall be executed providir<br>and substance acceptable to the city attorney shall be executed providir   |                    |
|           |                                  | price restrictions, homebuyer or tenant qualifications and long-term<br>affordability. The agreement shall be recorded with King County<br>department of records and elections and shall constitute a covenant<br>running with the land. Affordable housing units shall remain as affordable  |                    |
|           |                                  | housing for a minimum of 50 years from the date of initial owner<br>occupancy for owner affordable units At the sole discretion of the codu<br>official, the city may approve a shorter affordability time period for owner-<br>occupied affordable housing, not to be less than 30 years, in order to  |                    |
| 19.11.050 | GREE                             | N BUILDING STANDARDS<br>Any major new construction shall meet the LEED Gold standard. Project:<br>that are primarily residential (at least 50 percent of the gross floor area is<br>composed of residential uses) may instead meet the Built Green 4 Star<br>standard. The applicant shall provide proof of LEED or Built Green   | WII                |
| 19.11.060 | SITE                             | certification within 180 days of issuance of a final certificate of occupanc  |                    |
|           | A<br>1<br>2                      | Minor Site Features At least three minor site features required:<br>Decorative Landmarks<br>Kiosks  |                    |
|           | 3<br>4                           |   |                    |
|           | В                                | below the minimum area required<br><i>Major Site Features</i> . Any major new construction in the TC-3 subarea<br>which exceeds the two-story base height and that includes or abuts a<br>preferred through-block connection location shown on Figure 7 shall   |                    |
|           | 1                                | include a through-block connection subject to design commission<br>determination that such connection is feasible and achievable.<br><i>Through-Block Connection</i>  | Site               |
|           | 2                                | 2 Public Open Space   | thro<br>con<br>Not |
|           | С                                | Other Site Features. The design commission may approve other major or minor site features in place of those listed above consistent with the provisions of this chapter.  |                    |
| 19.11.070 | GREE<br>A                        | provisions of this chapter.           NERY AND OUTDOOR SPACES           Objectives  |                    |
|           | А<br>В<br>1                      | Development and Design Standards  | Will               |
|           |                                  | a. Ground level planting beds qualify as landscaped surfaces at a<br>100% rate. Ground level planting area that supports trees (which will<br>require deeper soil depths) may qualify for bonus credit. Specifically,<br>planting areas that support a large tree (height greater than 30 feet at   |                    |
|           |                                  | planting areas that support a large tree (height greater than 30 feet at<br>maturity) may be counted at a 200% rate (includes planting area under<br>projected dripline at maturity) and planting areas that support a mediu<br>sized tree (height greater than 15 feet at maturity) may be counted at  |                    |
|           |                                  | 150% rate. Terraced or other raised planting surfaces qualify as<br>landscaped surfaces at the same rates as ground level planting beds<br>depending on the soli depth (shallow soli depths capable of supporting   |                    |
|           |                                  | only ground cover plants qualify at a 50% rate).<br>b. <i>Green Roof</i> . Qualify at a 50% rate, Green roof areas supporting<br>large shrubs and trees may qualify for bonus credit (uo to 100% rate) a  | App<br>over        |

visibility LAND USE CODE ANALYSIS

determnined by the design commission depending on the planting's

#### Updated: July 21, 2021 Notes / comments

c. Green Walls/Trellises/Arbors I. Artistic green walls adjacent to ground level publically accessible space with decorative patterns qualify as a landscaped surface at il. Standard green walls qualify as landscaped surfaces at a 75% rate ili. Vine trellis/arbors/walls qualify as landscaped surfaces at 50% rate may apply to 2 Landscaping Standards pment proposal will No critical areas known b. Trees and Ground Cover critical area buffers i. Prominent trees should be preserved to the extent feasible o a critical area. 19.11.080 SCREENING Project is not "single-family", per e-family dwellings sh B Development and Design Standards Appendix A, driveways are treated as 1 On-Site Service Areas. All on-site service areas, loading zones, Will comply gulated improvement Applies - project is a "regulated outdoor storage areas, garbage collection and recycling areas and ndix A. improvement" similar activities should be located in an area not visible from public

greater than 20% Will comply Residential garage will have 20% exceeding 15%, the Will comply Applies n standards unless Alt Requested Alternative design requested for 20' wide driveway into reidential parking garage (no parking at either side, and shorter curb-cut in response to MICC 19.11.130(A): "emphasis toward the needs of pedestrians" 20' wide driveway requested Applies Applies to TC Zone

> Applies Will comply Effort will be made to replace on-site, bu fee in lieu may be required

Will comply

Will comply Max. building height will be used: bonus

> Inclusion of Attordable Housing Reference MICC 19.11.030 Figure 4

building height over two stories with

Robin Proebsting confirmed that sidewall Improvement must occur from the existing curb alignment (see 2/26/21 email to Kate Suski)

10% of 40 units = 4 units. Robin Proebsting indicated that the percentage applies to the full project, not just the three-story units. Reference 2/26/21email from Robin to Kate Suski.

LEED 4.1 Residential, Gold certification

"String of Pearls" is proposed

will be pursued

Site is not ideal for Review w/ Design Commission: propose through-block that such a connection is not feasible connection and achievable Not required Applies to major new construction exceeding three stories in height in the TC-5, TC-4 or TC-4 Plus subarea Will alternates to through-block

connection be required? ces equal to 25% of Will comply Per Pre-App Mtg, "development site" is defined as the full site

planting area under at support a mediu apable of supporting b. Green Roof. Qualify at a 50% rate, Green roof areas supporting Applies to green roof large shrubs and trees may qualify for bonus credit (uo to 100% rate) a over garage (mews)

or wire fencing is prohibited. 19.11.090 LIGHTING A Objectives B Development and Design Standards 1 Pedestrian-Scale Light Fixtures Pedestrian-scale light fixtures should Will comply be incorporated into the site design... and should blend with the architectural style. 2 Light Type. Lighting should use LED or similar minimum wattage light Will comply sources, which give more "natural" light. Non-color corrected lowpressure sodium and mercury vapor light sources are prohibited. 3 Building Entrances. All building entrances should be well lit to provide Will comply inviting access and safety. 4 Building-Mounted and Display Window Lights Building-mounted lights Will comply and display window lights should contribute to lighting of walkways in pedestrian areas. 5 Parking Areas. Parking area light fixtures should be designed to confine emitted light to the parking area. The height of the light fixtures should not exceed 16 feet. The design commission shall review and determine the adequacy of lighting in parking areas based on best practices. 6 Neon Lighting. 7 Shielding. All lighting fixtures should be shielded or located to confine Will comply light spread within the site boundaries, to the extent possible, especia when adjacent to residential uses. 19.11.100 BUILDING DESIGN

2 Garbage, Recycling Collection, Composting and Utility Areas. ... shall

be enclosed and screened around their perimeter by a wall or fence at

least seven feet high, concealed on the top and must have self-closing

doors. If the area is adjacent to a public street or pedestrian alley, a

landscaped planting strip, minimum three feet wide, shall be located o three sides of such facility. Any emissions of noise, vapor, heat or

meters, ground-mounted mechanical units and any other similar

structures should be hidden from public view or screened.

3 Meters and Mechanical Units. Water meters, gas meters, electric Will comply

4 Fences. Fences should be made of masonry, ornamental metal or Will comply

wood, or some combination of the three. The use of chain link, plastic

fumes should be mitigated.

A Objectives

screening at commercial parking

> Standards apply, only those standards for which there are questions are noted

> Intent is to locate on-site service areas i

Existing fixtures will be maintained

Length of buildings is less than 120 feet

Wheelchair ramp will be provided from

MICC 19.11.060(E)(2)(e) pertains to

public/private space transitions. Riased ground floor w/ 4 feet of landscaped

Intent is to present our frontal townhous

Required at retail frontage, not at

residential

Will comply

design to the Design Commission; corne

29th to access units from the courtyard

the garage

Applies

B Development and Design Standards 1 Fenestration a. Transparent Facades. Articulated, transparent facades should be Privacy desired for "Stoops" are proposed to provide created along pedestrian rights-of-way. Highly tinted or mirrored glass dwelling units pedestrian interest windows shall not be allowed. Shades, blinds or screens that prevent pedestrian view into building spaces shall not be allowed, except whe required or desired for privacy in dwelling units, hotel rooms and simile b.Ground Floor Windows and Doors. Major new construction... within NA the TC-5, TC-4 and TC-4 Plus subareas, shall have at least 75 percer of the length of the ground floor facade between the height of two feet and seven feet devoted to windows and doors affording views into reta office, or lobby space. c. Upper Story Facades. Upper stories of buildings above two stories Setback provided should maintain an expression line along the facade such as a setback, change of material, or a projection to reduce the perceived building mass. Upper story windows should be divided into individual units and not consist of a "ribbon" of glass. Upper story features such as balconies, roof decks, bay windows or upper story commercial

activities should be used to visually connect upper story activity with 2 Street-Facing Facade Elements All major new construction shall include Selected elements at least seven of the following elements on the street-facing facades, bc listed on the ground floor level and on other levels, as may be deemed desirable by the design commission taking into account the nature of the a.Window and door treatments which embellish the facade. b.Decorative light fixtures. d.Decorative paving.

e.Trellises, railings, gates, grill work, or unique landscaping. g.Recessed entrances. k.Decorative masonry and/or tilework. n.Projecting metal and glass canopy. p.Other elements as approved by the design commission. 3 Major Facade Modulation. Block frontages shall include at least one of Will comply the following features at intervals no greater than 120 feet...

4 Minor Facade Modulation. All buildings shall include articulation Selected elements features to reduce the perceived scale of large buildings and add listed visual interest to facades. See examples on Figure 13. At least three the following features shall be employed at intervals no greater than 50 feet subject to design commission approval taking into account the nature of the development and the site: a.Window fenestration patterns and/or entries; c.Change in roofline; e.Vertical elements such as a trellis with plants, green wall, art element;

5 Walls. Untreated blank walls are prohibited. A blank wall is a wall If treatment is (including building facades and retaining walls) over six feet in height, required, selected with a horizontal length greater than 15 feet that does not include a elements are listed transparent window or door. Methods to treat blank walls can include b. A landscape planting bed at least five feet wide or a raised planter c.A vertical trellis in front of the wall with climbing vines or plant e.Special building detailing that adds visual interest at a pedestrian

6 Entrances. Building entrances should concentrate along the sidewalk Will comply and should be physically and visually inviting. Entrance doors shall be recessed from the facade surface to emphasize the entrance and provide a sheltered transition to the interior of the building. Special paving treatments and/or landscaping should be used to enhance the entrance. Pedestrian walkways with wheelchair ramps at least eight fe wide should be constructed between the sidewalk and building 7 Roofs. Roofs shall relate to the building façade articulations. A variety Will comply

8 Residential Uses on Ground Floor. Where permitted, residential uses on the ground floor shall comply with the standards in MICC 19.11.060(E)(2)(e). 9 Identity Emphasis 10 Corner Lots. Buildings on corner lots should be oriented to the corner ?

Corner entries and/or architectural treatment should be used to 11 Franchise Design 12 Harmony Will comply 13 Weather Protection NA

14 Courtyards. Courtyards are an outdoor covered or uncovered area Will comply easily accessible to the public at the same level as the public sidewal or pedestrian connections... Courtyards (not provided for purposes of meeting public open space requirement) should: a. Be at least 10 feet in width, with a building facade on at least one Will comply b. Be covered with trees, ground cover, or other landscaping over at Will comply least 50 percent of its area; c. Include seating, special paving material, pedestrian-scale lighting Will comply and other pedestrian furnishings; d. Manage runoff from courtyard pavement with low impact

development techniques when allowed by the code official; and e. Not be covered by a roof, story or skybridge; except that portions of Will comply the courtyard may be covered for weather protection, but not enclosed 19.11.110 MATERIALS AND COLOR

> A Objectives B Development and Design Standards 1 Building Exteriors. Building exteriors should be constructed from high Will comply

quality and durable materials. 2 Regional Focus. Materials and colors should reflect the city's regional Will comply 3 Attention to All Sides. Materials and colors should be used with Will comply

cohesiveness and compatibility on all sides of a building. 4 Concrete Walls. Concrete walls should be architecturally treated. The Will comply treatment may include textured concrete such as exposed aggregate, sand blasting, stamping or color coating.

- 5 Harmonious Range of Colors. A harmonious range of colors should be Will comply used within the Town Center. Neon or very bright colors... should not 6 Bright Colors. Bright colors should be used only for trim and accents i Will comply
- the use is consistent with the building design and other design 7 Undesired Materials. Beveled metal siding, mirrored glass, and vinyl Will comply
- siding should not be used. EFS, stucco and similar materials should t limited to use as a minor building facade element. 8 Variation of Materials. A variation of building materials should be used Will comply to assist in the creation of a visually interesting experience.

19.11.120 STREET STANDARDS All major new construction abutting 77th Avenue SE or 78th Avenue SE Will comply shall improve the right-of-way adjacent to the property as required in - Figure 14 shows (2) 12' sidewalks, (2) 7' parking lanes & (2) 11' travel lanes (total of 60')

19.11.130 PARKING, VEHICULAR AND PEDESTRIAN CIRCULATION A Objectives. The Town Center should be accessible for vehicles but have an emphasis toward the needs of pedestrians.

> B Development and Design Standards 1 Parking Requirements (Residential) a. Table: 1 to 1.4 per unit. Site specific deviations to allow less than ' Will comply (2 per unit) stall per unit may be allowed based on a detailed parking analysis and with approval of the code official b. Underground or Structured parking required. If the applicant... for a Will comply

residential project provides more parking than one and one-quarter (underground parking spaces per dwelling unit for any part of a project consisting of residential unit.... Then all such additional parking shall either be underground or on the second or higher story of structured parking. 19.11.150 ADMINISTRATION

A Design Review 1 Authority. Design review shall be conducted by the city's design commission or code official consistent with the procedure set forth in MICC 19.15.220(C)

DESIGN REVIEW AND THE DESIGN COMMISSION Design Review Procedure 1 General

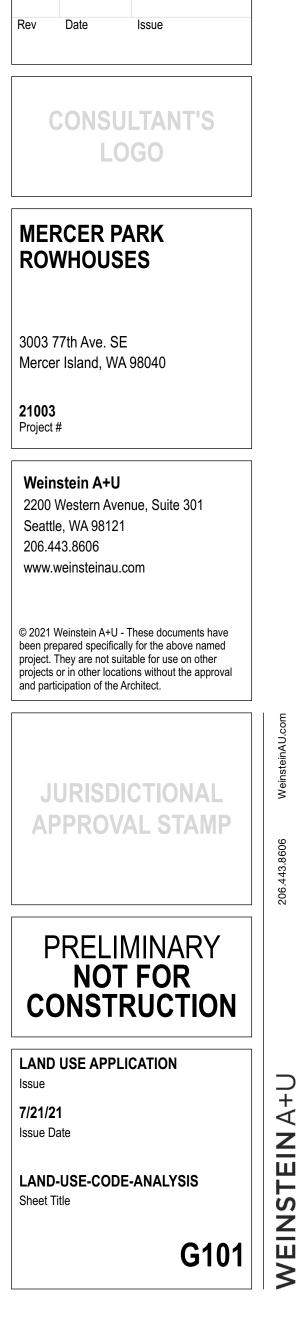
19.15.220

c. Review Authority

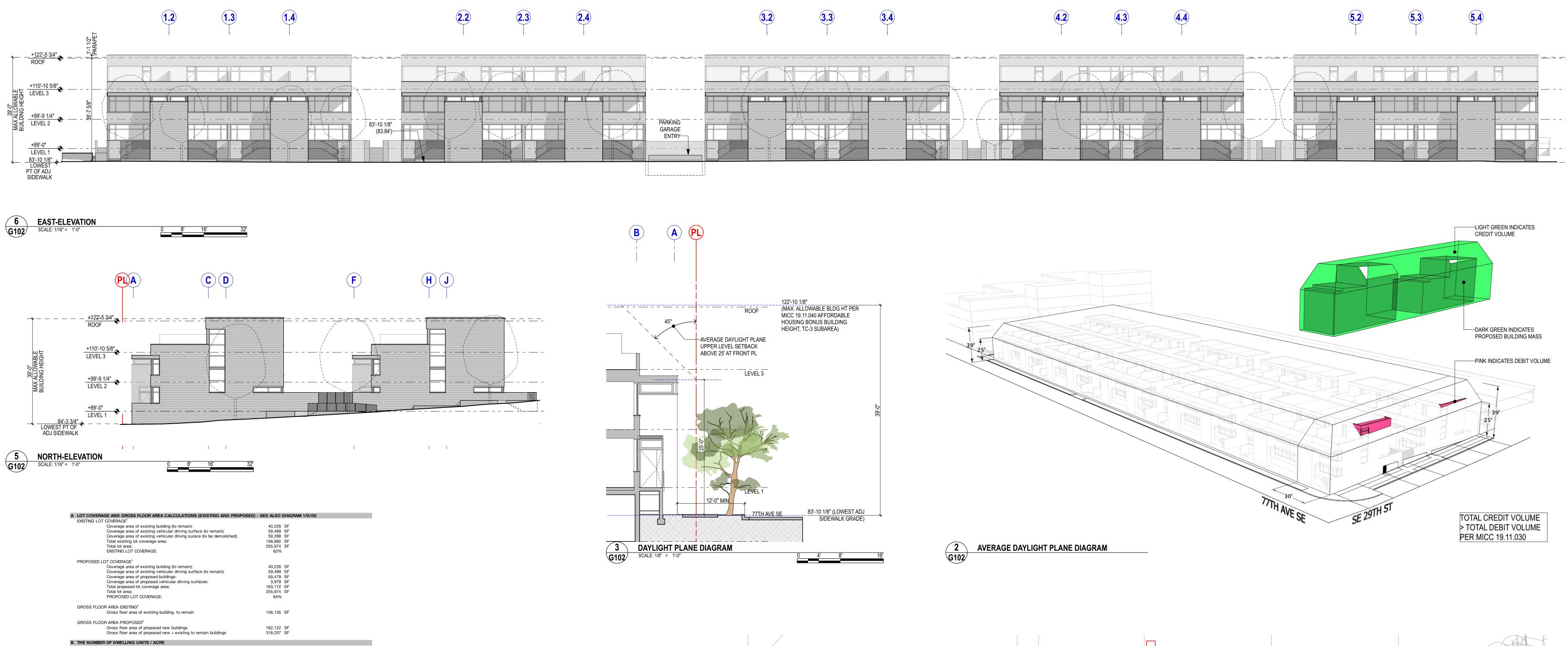
I. The followdevelopment proposals shall required design commissio Design Commission review: (a) New buildings

review req.

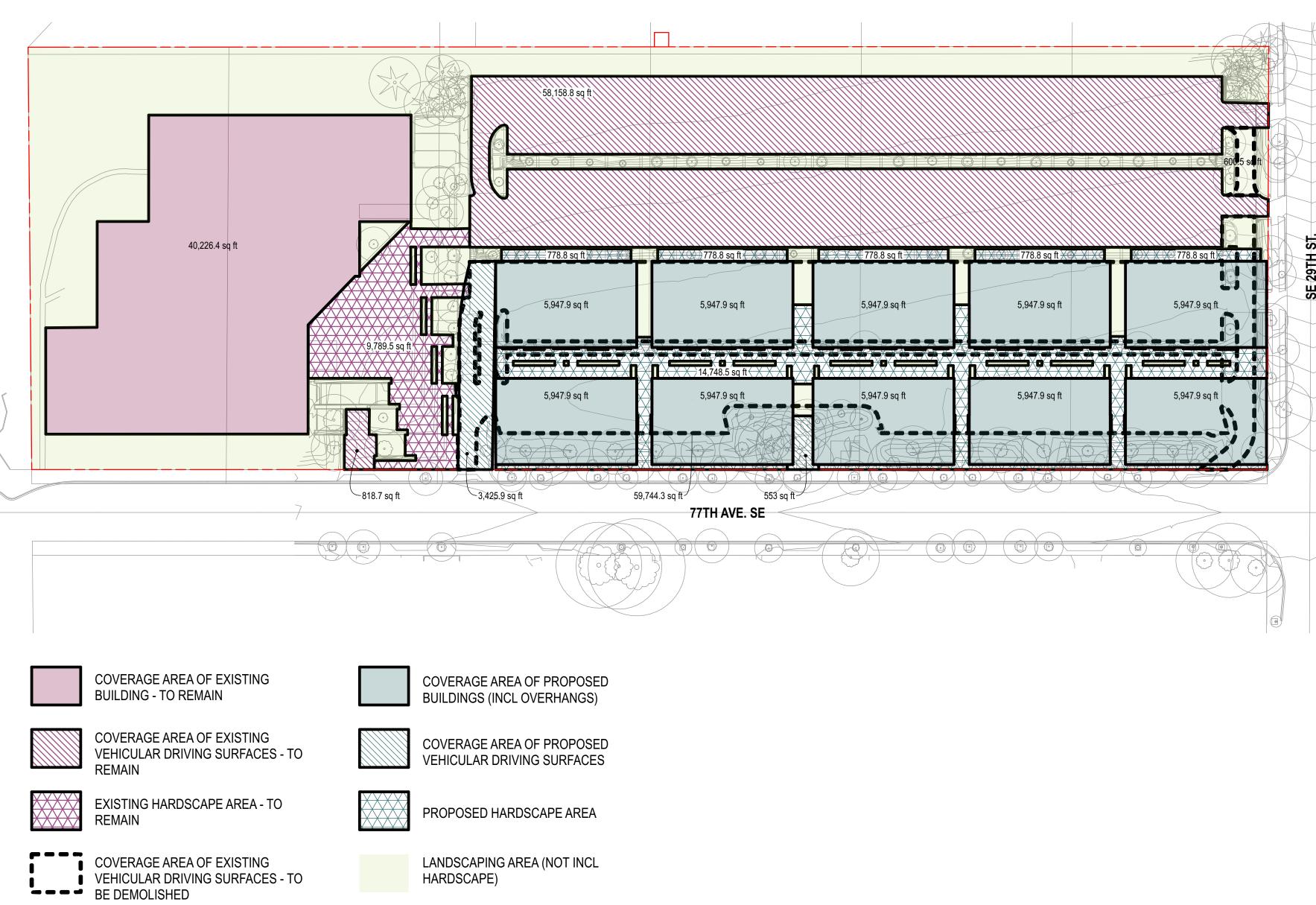
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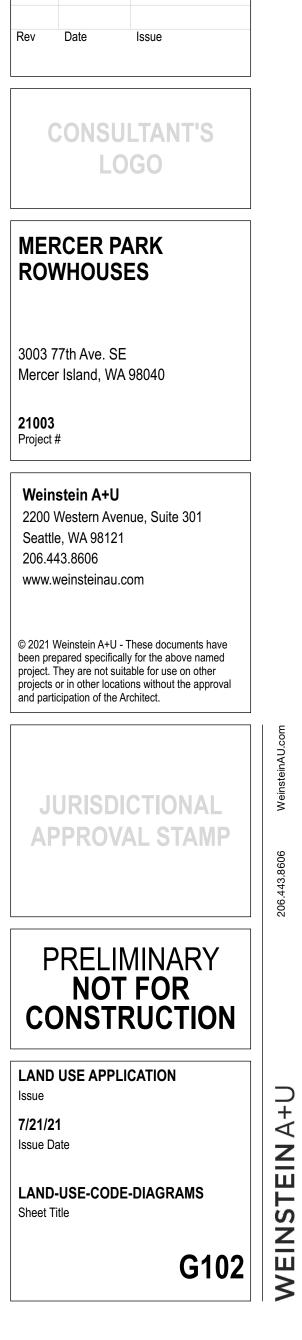


|               |  | GROSS FLOOR AREA PROPOSED <sup>2</sup><br>Gross floor area of proposed new buildings<br>Gross floor area of proposed new + existing to remain buildings   | 162,122<br>318,257   |                                   |  |  |  |  |  |  |
|---------------|--|---|--|-----------------------------------|--|--|--|--|--|--|
|               | в  | THE NUMBER OF DWELLING UNITS / ACRE   | ,  | -                                 |  |  |  |  |  |  |
|               | С  | 40 UNITS / 5.88 ACRES = 6.9 DU / ACRE<br>THE AREA OF PROPOSED STRUCTURE IN SQUARE FEET  |  |                                   |  |  |  |  |  |  |
|               |  | GROSS FLOOR AREA OF PROPOSED NEW STRUCTURES <sup>2</sup>  | 162,122  | SF                                |  |  |  |  |  |  |
|               | D  | THE PROPOSED AND EXISTING LOT COVERAGE (BLDG AND VEHICLE DRIVING SUF<br>(Note: lot coverage data repeated from section A)   | RFACES) AND HAF  | RDSCAPE - SEE ALSO DIAGRAM 1/G102 |  |  |  |  |  |  |
|               |  | EXISTING LOT COVERAGE <sup>1</sup><br>Coverage area of existing building (to remain):<br>Coverage area of existing vehicular driving surface (to remain):<br>Coverage area of existing vehicular driving surace (to be demolished):<br>Total existing lot coverage area:<br>Total lot area:<br>EXISTING LOT COVERAGE % (lot coverage / lot area):   | 40,226<br>59,489<br>59,268<br>158,982<br>255,974<br>62%                    | SF<br>SF<br>SF                    |  |  |  |  |  |  |
|               |  | EXISTING HARDSCAPE AREA <sup>3</sup><br>Existing hardscape area, not including driving surfaces or buildings<br>EXISTING HARDSCAPE % (hardscape / lot area):  | 9,790<br>4%  | SF                                |  |  |  |  |  |  |
|               |  | PROPOSED LOT COVERAGE <sup>1</sup><br>Coverage area of existing building (to remain):<br>Coverage area of existing vehicular driving surface (to remain):<br>Coverage area of proposed buildings:<br>Coverage area of proposed vehicular driving surfaces:<br>Total proposed lot coverage area:<br>Total lot area:<br>PROPOSED LOT COVERAGE:<br>PROPOSED HARDSCAPE AREA <sup>3</sup><br>Proposed hardscape area, not including driving surfaces or building   | 40,226<br>59,489<br>59,479<br>3,979<br>163,172<br>255,974<br>64%<br>18,643 | SF<br>SF<br>SF<br>SF<br>SF        |  |  |  |  |  |  |
|               |  | Existing hardscape area to remain, not incl driving surfaces or buildings<br>Total proposed hardscape area:<br>PROPOSED HARDSCAPE % (hardscape / lot area):   | 9,790<br>28,432<br>11%   |                                   |  |  |  |  |  |  |
|               | Ε  | IMPERVIOUS SURFACE AREA (IN BOTH SQ FT AND A PERCENTAGE) <sup>4</sup><br>IMPERVIOUS SURFACE AREA IS THE COMBINATION OF LOT COVERAGE AND HARDSCAP  | PE. SEE SECTION D  | ABOVE FOR THOSE CALCULATIONS.     |  |  |  |  |  |  |
|               |  | EXISTING IMPERVIOUS SURFACE AREA<br>Existing lot coverage area:<br>Existing hardscape area:<br>Total existing impervious surface area:<br>Total lot area:<br>Existing impervious surface area %:  | 158,982<br>9,790<br>168,772<br>255,974<br>66%                              | SF<br>SF                          |  |  |  |  |  |  |
|               |  | PROPOSED IMPERVIOUS SURFACE AREA<br>Proposed lot coverage area (incl existing to remain):<br>Proposed hardscape area (incl existing to remain):<br>Total proposed impervious surface area:<br>Total lot area:<br>Existing impervious surface area %:  | 163,172<br>28,432<br>191,604<br>255,974<br>75%                             | SF<br>SF                          |  |  |  |  |  |  |
|               |  | <ul> <li>PROPOSED BUILDING HEIGHT - SEE ALSO 2, 3, 5, 6/G102</li> <li>Per MICC 19.11.030.A.1: TC-3 sub area, the maximum allowable building height is 39 feet</li> <li>Per MICC 19.11.030.A.3.b: Building height is measured from the base of the building façace</li> <li>highest point of the roof structure, excluding appurtenances.</li> <li>PROPOSED MAXIMUM BUILDING HEIGHT = 38'-7 5/8"</li> <li>See also diagrams 5,6/G102 for building elevations</li> <li>For Average Daylight Plane per 19.11.030.A.7.b, see 2, 3/G102</li> <li>AVERAGE BUILDING ELEVATION CALCULATION</li> </ul> |  |                                   |  |  |  |  |  |  |
|               |  | NOT COMPLETED: Per MICC, Appendix G "CALCULATING AVERAGE BUILDING ELEVATION   | N (ABE)" was repeal  | ed by Ord. 17C-15                 |  |  |  |  |  |  |
|               | п  | THE NUMBER OF PARKING SPACES (BOTH COMPACT AND STANDARD)<br>2 STANDARD-SIZE STALLS PER UNIT ARE PROPOSED, 80 STALLS TOTAL. SEE A100.  |  |                                   |  |  |  |  |  |  |
|               | I  | THE AREA OF EXISTING AND PROPOSED LANDSCAPING IN SQ FT <sup>5</sup><br>LANDSCAPING IS CALCULATED AS THE REMAINING AREA OF THE SITE AFTER LOT COVE   | ERAGE. LANDSCAP  | E INCLUDES HARDSCAPE.             |  |  |  |  |  |  |
|               |  | EXISTING LANDSCAPE AREA<br>Existing lot coverage area<br>Total lot area<br>Existing landscape area<br>Existing landscape area %   | 159,548<br>255,974<br>96,426<br>38%  | SF                                |  |  |  |  |  |  |
|               |  | PROPOSED LANDSCAPE AREA<br>Proposed lot coverage area<br>Total lot area<br>Proposed landscape area<br>Proposed landscape area %   | 162,661<br>255,974<br>93,313<br>36%  | SF                                |  |  |  |  |  |  |
|               | <ul> <li>Notes:</li> <li>1. Per MICC 19.16.010: "Lot Coverage, Maximum: The maximum area of a residentially zoned lot that may be covered by a combination buildings, including eaves and roof overhangs, and vehicular driving surfaces." Although the subject lot is not residentially zoned, we use this definition to interpret that lot coverage should include all building areas, overhangs, and vehicular driving surfaces.</li> <li>2. Per MICC 19.16.010: "Gross Floor Area: the total square footage of floor area bounded by the exterior faces of the buildingIn the To Center, gross floor area is the area included within the surrounding exterior finish wall surfaces of a building, excluding courtyards and parking surfaces." We understood this to mean all building floors, including structured below grade parking, should be included in the GF.</li> <li>3. Per MICC 19.16.010: "Hardscape: The solid, hard elements or structures that are incorporated into landscaping. The hardscape includ but is not limited to, structures other than buildings, paved areas other than driving surfaces, stairs, walkways, decks, patios, and similar constructed elements. The hardscape within landscaping is usually made up of materials. Hardscape does not include solid, hard elements or structures that are covered by a minimum of two feet of soil intended for softscape (for example, a septic tank or detention tank covered with at least two feet of soil and planted shrubs is not hardscape. I hardscape areas do not include driving surfaces or buildings. Note: where area is both covered by building overhangs and contains hardscape area that either prevents or retards the entry of water into soil mantle as under natural conditions prior to development. A nonvegetated surface area which causes water to run off the surface in greater quantities or at an increased rate of flow from the flow present under natural conditions prior to development. Common imperviou surfaces include, but are not limited to, rooftops, walkways, patios, driveways, parking lots</li></ul> |   |  |                                   |  |  |  |  |  |  |
| (7)<br>(G102) | D  | DEVELOPMENT PLAN SET NOTES & TEXT   | _  |                                   |  |  |  |  |  |  |

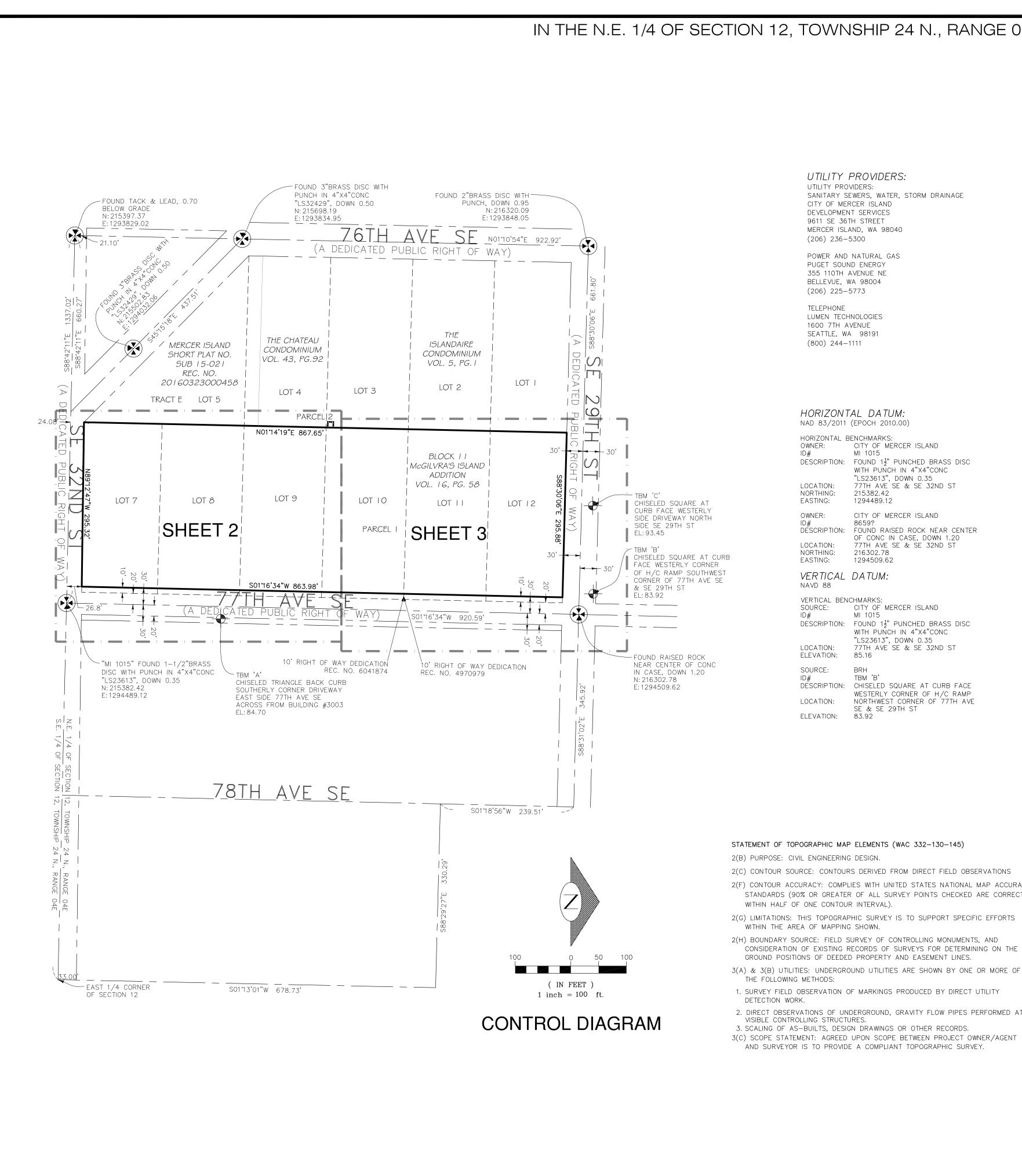


1 LOT COVERAGE AND HARDSCAPE G102 SCALE: 1" = 50'

HARDSCAPE)



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# IN THE N.E. 1/4 OF SECTION 12, TOWNSHIP 24 N., RANGE 04 E., W.M.

SANITARY SEWERS, WATER, STORM DRAINAGE

CITY OF MERCER ISLAND DESCRIPTION: FOUND 1<sup>1</sup>/<sub>2</sub>" PUNCHED BRASS DISC WITH PUNCH IN 4"X4"CONC "LS23613", DOWN 0.35 77TH AVE SE & SE 32ND ST 215382.42

CITY OF MERCER ISLAND DÉSCRIPTION: FOUND RAISED ROCK NEAR CENTER OF CONC IN CASE, DOWN 1.20 77TH AVE SE & SE 32ND ST

CITY OF MERCER ISLAND

DESCRIPTION: FOUND  $1\frac{1}{2}^{"}$  PUNCHED BRASS DISC WITH PUNCH IN 4"X4"CONC "LS23613", DOWN 0.35 77TH AVE SE & SE 32ND ST

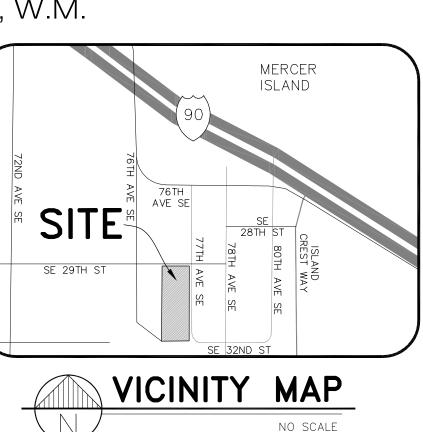
DESCRIPTION: CHISELED SQUARE AT CURB FACE WESTERLY CORNER OF H/C RAMP NORTHWEST CORNER OF 77TH AVE SE & SE 29TH ST

2(C) CONTOUR SOURCE: CONTOURS DERIVED FROM DIRECT FIELD OBSERVATIONS 2(F) CONTOUR ACCURACY: COMPLIES WITH UNITED STATES NATIONAL MAP ACCURACY STANDARDS (90% OR GREATER OF ALL SURVEY POINTS CHECKED ARE CORRECT

2(H) BOUNDARY SOURCE: FIELD SURVEY OF CONTROLLING MONUMENTS, AND CONSIDERATION OF EXISTING RECORDS OF SURVEYS FOR DETERMINING ON THE

3(A) & 3(B) UTILITIES: UNDERGROUND UTILITIES ARE SHOWN BY ONE OR MORE OF 1. SURVEY FIELD OBSERVATION OF MARKINGS PRODUCED BY DIRECT UTILITY

2. DIRECT OBSERVATIONS OF UNDERGROUND, GRAVITY FLOW PIPES PERFORMED AT



#### LEGEND $\oplus$

BLRD

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COL

€/M

CS/WS

CON

DEC

СМР

C.O.C.

DWY

ECD

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ev/et

FΟ

FOMH

GB

GV

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P.S.

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TOP

WV

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WM

 $\bowtie$ 

✓ YARD LIGHT

FFE

AREA DRAIN ABAN/RET ABANDONED/RETIRED ASPHALT (ASPH) BOLLARD BRICK SURFACE BUILDING LINE BUILDING CORNER BIKE RACK CATCH BASIN (CB) CONCRETE SURFACE CW/BW CONCRETE/BRICK WALK CRW/WRW CONCRETE/WOOD RETAINING WALL CC/XC CONCRETE/EXTRUDED CURB CP/IP CONCRETE/IRON PIPE  $- \times \times -$  Chain Link Fence (CLF) CTV CABLE TV COLUMN CENTERLINE/MONUMENT LINE CONCRETE/WOOD STAIRS H/C PARKING SPACE CONIFEROUS TREE DECIDUOUS TREE CORRUGATED METAL PIPE CENTER OF CHANNEL DRIVEWAY ELECTRICAL CONDUIT ELECTRICAL DUCT ELECTRICAL HANDHOLE ELECTRICAL MANHOLE ELECTRICAL METER ELECTRICAL VAULT/TRANSFORMER FOUND SURVEY MONUMENT (AS NOTED) FIRE HYDRANT FIRE DEPT. CONNECTION (FDC) FIBER OPTICS FIBER OPTIC MANHOLE FINISH FLOOR ELEVATION grade break GAS MAIN GAS METER gas valve GAS VAULT ∆ SP STRAIN POLE 🖒 ICB IRRIGATION CONTROL BOX M IV IRRIGATION VALVE ------ IRON FENCE (WIF) INVERT ELEVATION LIGHT POLE (DECORATIVE) LSCAPE/PA LANDSCAPE/PLANTER  $(\circ)(\circ)$  MANHOLE US - MAILBOX (FEDERAL/PRIVATE) O MW MONITOR WELL PARKING SPACE(S) PROPERTY LINE (PL) PAINTED UTILITY LOCATION PIPE FLOW DIRECTION POLYETHYLENE PARKING PAY STATION PS/PSS COMBINED/SANITARY SEWER STORM DRAIN PRIVATE CATCH BASIN RECORD DATA ROCKERY ROOF ELEVATION SERVICE DRAIN (STORM) CLEANOUT SANITARY SIDE SEWER (RECORD) イ \_ \_ SIGN/STREET NAME SIGN TC/SL TRAFFIC CONTROL/STREET LIGHT HANDHOLE TRENCH DRAIN TEMPORARY BENCHMARK (TBM) TELEPHONE CONDUIT (BURIED) TELEPHONE DUCT TELEPHONE VAULT TELEPHONE MANHOLE TELEPHONE SENTRY TRAFFIC FLOW DIRECTION TOE OF SLOPE TOP OF BANK O UP UTILITY POLE (WOOD) WATER VAULT WATER MAIN WATER METER WATER VALVE WATER GATE VALVE/CHAMBER vo/co vacation/condemnation ordinance <u> ₩ ₩ </u> WOOD FENCE (WF)

# SITE NOTES

SITE ADDRESS: 3003 77TH AVENUE SE MERCER ISLAND, WA 98040

TAX ACCOUNT NO .: 531510-1015-08

ZONING: TC – TOWN CENTER ZONING AGENCY:

CITY OF MERCER ISLAND DEVELOPMENT SERVICES 9611 SE 36TH STREET MERCER ISLAND, WA 98040

#### (206) 236-3600 SETBACKS:

CURRENT SETBACK REQUIREMENTS SUBJECT TO SITE PLAN REVIEW. CURRENT SETBACKS MAY DIFFER FROM THOSE IN EFFECT DURING DESIGN/CONSTRUCTION EXISTING IMPROVEMENTS. THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE GOVERNING JURISDICTI INDICATES THAT STRUCTURES ON THIS PROPERTY COMPLIED WITH MINIMUM SETBA AND HEIGHT REQUIREMENTS FOLLOWING CONSTRUCTION.

FLOOD ZONE: THIS SITE APPEARS ON NATIONAL FLOOD INSURANCE RATE MAP, DATED AUGUS 19.2020, COMMUNITY PANEL NO. 53033C0675G, AND IS SITUATED IN ZONE "X". AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

AREA: SITE AS SHOWN CONTAINS 255,928 SQUARE FEET OR 5.8753 ACRES, MORE OR PARKING SPACE COUNT:

#### PARKING SPACES TOTAL IS 706. SUBSTRUCTURES:

BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORDS MAPS FURNISHED BY OTHERS AND VERIFIED WHERE POSSIBLE BY FEATURES LOCATED IN THE FIELD. ASSUME NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS. FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO DESIGN CONTACT THE U OWNER/AGENCY.

TELECOMMUNICATIONS/FIBER OPTIC DISCLAIMER: RECORDS OF UNDERGROUND TELECOMMUNICATIONS AND/OR FIBER OPTIC LINES NOT ALWAYS AVAILABLE TO THE PUBLIC. BRH HAS NOT CONTACTED EACH OF MANY COMPANIES, IN THE COURSE OF THIS SURVEY, WHICH COULD HAVE UNDERGROUND LINES WITHIN ADJACENT RIGHTS-OF-WAY. THEREFORE, BRH DOE NOT ACCEPT RESPONSIBILITY FOR THE EXISTENCE OF UNDERGROUND TELECOMMUNICATIONS/FIBER OPTIC LINES WHICH ARE NOT MADE PUBLIC RECORD WITH THE LOCAL JURISDICTION. AS ALWAYS, CALL 1-800-424-5555 BEFORE CONSTRUCTION.

DESCRIPTION:

PARCEL 1: LOTS 7 THROUGH 12, BLOCK 11, MCGILVRA'S ISLAND ADDITION, ACCORDING TO PLAT RECORDED IN VOLUME 16 OF PLATS, PAGE 58, IN KING COUNTY, WASHING EXCEPT THE EAST 10 FEET CONVEYED FOR ROAD BY DEED RECORDED DECEMBER

1958 UNDER RECORDING NO. 4970979 AND JUNE 15, 1966 UNDER RECORDING N 6041874, IN KING COUNTY, WASHINGTON. PARCEL 2:

AN EASEMENT FOR STORM DRAIN AND INCIDENTAL PURPOSES AS SET FORTH IN DOCUMENT RECORDED JULY 26, 1979 AS RECORDING NO. 7907260876 OF OFFICI RECORDS. TITLE REPORT REFERENCE:

THIS SURVEY WAS CONDUCTED ACCORDING TO THE DESCRIPTION SHOWN, FURNISH BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. NCS-990723A-PHX1, DATED MAY 28, 2020. THE EASEMENTS SHOWN OR NOTED HEREON RELATE TO THIS COMMITMENT.

NOTE: EASEMENTS CREATED OR RESCINDED AFTER THIS DATE ARE NOT SHOWN NOTED HEREON.

#### TITLE REPORT SCHEDULE B EXCEPTIONS: ITEMS CIRCLED ARE SHOWN ON MAP. 11. RIGHT TO MAKE NECESSARY SLOPES FOR CUTS OR FILLS UPON SAID PREMISE FOR 77TH AVE. SE. AS GRANTED BY DEED RECORDED DECEMBER 1, 1958 UN RECORDING NO. 4970979.

(AFFECTS LOTS 7-10) SURVEYOR'S NOTE: ALLOWS FOR SLOPES FOR CUTS AND FILLS ALONG 77TH AVENUE SE. 12. RIGHT TO MAKE NECESSARY SLOPES FOR CUTS OR FILLS UPON SAID PREMISE FOR 77TH AVE. SE. AS GRANTED BY DEED RECORDED JUNE 15, 1966 UNDER RECORDING NO. 6041874.

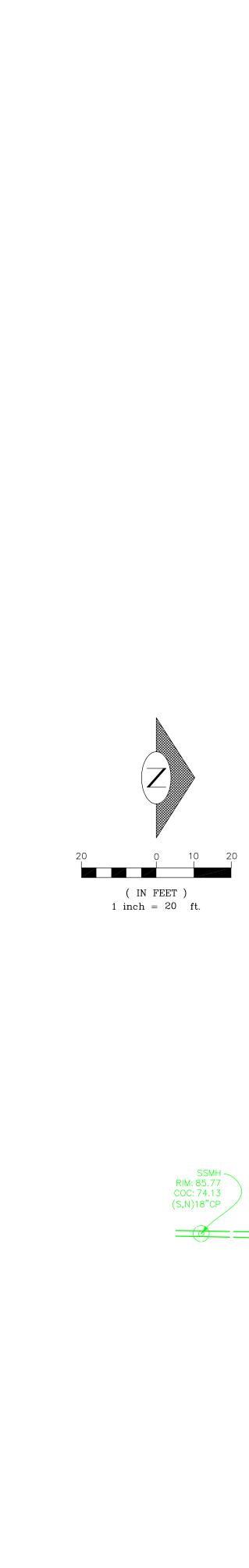
(AFFECTS LOTS 11-12) SURVEYOR'S NOTE: ALLOWS FOR SLOPES FOR CUTS AND FILLS ALONG 77<sup>TH</sup> AVENUE SE.

| AVENUE SE.   |  |
|--|--|
| <ul> <li>EASEMENT, INCLUDING<br/>RECORDING DATE:<br/>RECORDING INFORMATION<br/>IN FAVOR OF:<br/>FOR:<br/>AFFECTS:</li> </ul> |  |
| ()   | TERMS AND PROVISIONS CONTAINED THEREIN:<br>ON: JULY 26, 1979 UNDER RECORDING NO. 7907260876<br>STORM DRAIN<br>(LOTS 7–10) AS DESCRIBED THEREIN   |
| (5.) EASEMENT, INCLUDING<br>RECORDING DATE:<br>RECORDING INFORMATION<br>IN FAVOR OF:<br>FOR:<br>AFFECTS:                     | TERMS AND PROVISIONS CONTAINED THEREIN:<br>NOVEMBER 07, 1980<br>ON: 8011070693<br>PUGET SOUND POWER & LIGHT COMPANY<br>UTILITY SYSTEM<br>THE NORTH 20 FEET OF THE EAST 20 FEET OF THE<br>ABOVE DESCRIBED LOT 10 AND DESCRIBED CENTERLINE<br>WITH LOTS 7–12 |
|  | TERMS AND PROVISIONS CONTAINED THEREIN:<br>ON: JUNE 17, 1980 UNDER RECORDING NO. 8006170280<br>SEWER<br>THE WEST 5 FEET OF LOTS 11 AND 12  |
|  | TERMS AND PROVISIONS CONTAINED THEREIN:<br>ON: JUNE 17, 1980 UNDER RECORDING NO. 8006170281<br>BEAUTIFICATION<br>PORTION OF LOT 8 FOR THE BENEFIT OF LOTS 7—10   |
| (18) EASEMENT, INCLUDING   | TERMS AND PROVISIONS CONTAINED THEREIN:  |

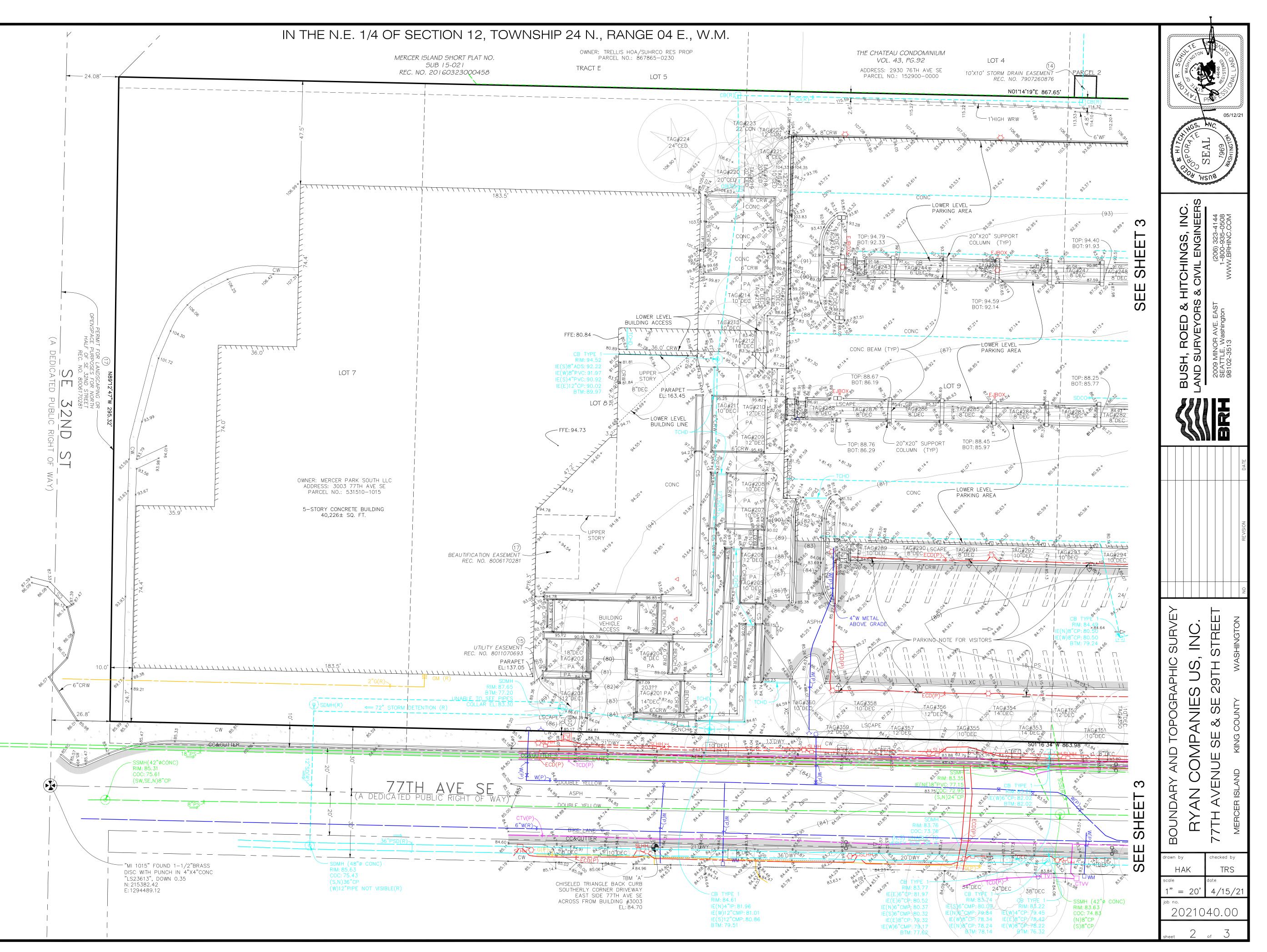
RECORDING INFORMATION: JUNE 17, 1980 UNDER RECORDING NO. 800617028 FOR: SEWER PORTION OF LOTS 7 - 10 AFFECTS:

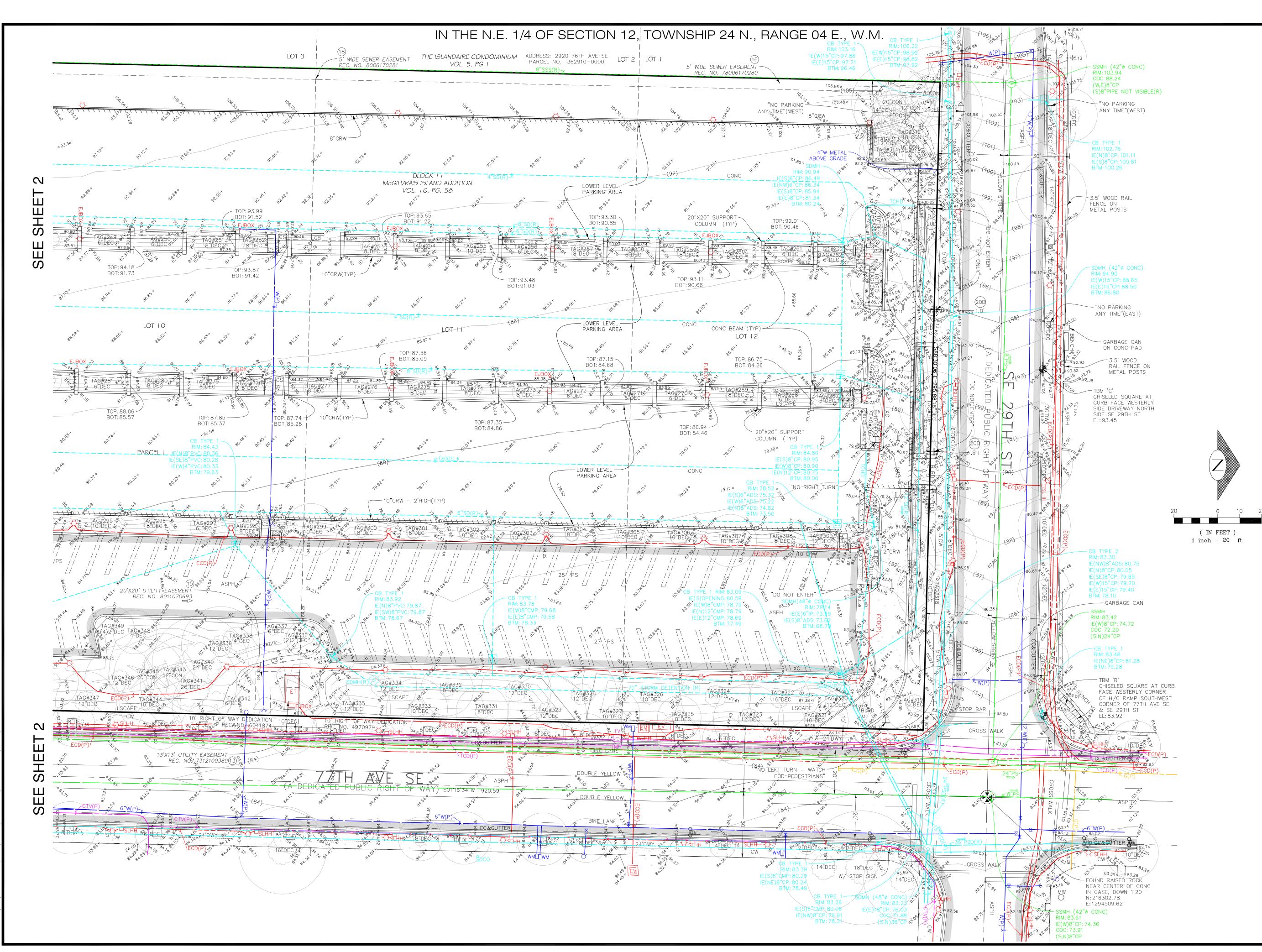
- (20) SURVEY PREPARED BY CENTRE POINTE, DATED DECEMBER 5, 2019 AND LAS  $^{\prime}$  revised march 18, 2020, under job no. 2493, shows the following: A) ENCROACHMENT OF FENCE OVER WESTERLY PROPERTY LINE. (B) ENCROACHMENT OF POWER VAULTS OVER EASTERLY PROPERTY LINE.
- C) ENCROACHMENT OF RETAINING OVER EASTERLY PROPERTY LINE. (D) ENCROACHMENT OF SIGNS OVER NORTHERLY PROPERTY LINE.

| CURRENT<br>NSTRUCTION<br>ANIMUM SETBACK<br>ATED AUGUST<br>NO JURNSDICTION<br>ANIMUM SETBACK<br>ATED AUGUST<br>IN 20NE "X".<br>DOOPLAN.<br>S, MORE OR LESS.<br>IRNSHED BY<br>THE FIRLD. WE<br>R THE FINAL<br>NTACT THE LITLITY<br>R:<br>DECOMMON TO THE<br>THE FIRLD. WE<br>R THE FINAL<br>NTACT THE LITLITY<br>R:<br>DECOMMON TO THE<br>THE FIRLD. WE<br>R THE FINAL<br>NACT THE LITLITY<br>R:<br>DECOMMON TO THE<br>THE FIRLD. WE<br>R THE FINAL<br>NUM SETBACK<br>COMMON TO THE<br>THE FIRLD. WE<br>R THE FINAL<br>NUM SETBACK<br>ISSUE FORCE<br>DECOMONG TO THE<br>THE FIRLD. WE<br>R THE FINAL<br>NON, FURNISHED<br>NON OR NOTED<br>E NOT SHOWN OR<br>SAID PREMISES<br>R 1, 1956 UNDER<br>ALONG 77 <sup>TH</sup><br>SAID PREMISES<br>R 1, 1956 UNDER<br>ALONG 77 <sup>TH</sup><br>SAID PREMISES<br>R 1, 1956 UNDER<br>ALONG 77 <sup>TH</sup><br>REIN:<br>O 8006170280<br>REIN:<br>O 8006170281<br>TUTS 7-10<br>REIN:<br>O 8006170281  | COVAL LAND SU    | 9. 24646<br>7. 26/STERED & | THE TOWN SO THE  | OR R. SCHI      |  |
|---|------------------|----------------------------|------------------|-----------------|--|
| ANDUMUM SETBACK<br>ATED AUGUST<br>NOTOFILIAN.<br>IS, MORE OR LESS.<br>IRMISHED BY<br>THE FIELD. WE<br>RT HE FIN.<br>OPTIC LINES ARE<br>DE ACH OF THE<br>HAVE<br>DE CORDING TO THE<br>HAVE<br>SAID PREMISES<br>1966 UNDER<br>ALONG 77 <sup>TH</sup><br>REIN:<br>DE CORDITO281<br>CONTONER<br>DE CORDITO281<br>CONTONE<br>DE CORDITO281<br>CONTONE<br>DE CORDITO281<br>CONTONE<br>DE CORDITO281<br>CONTONE<br>THE FINC<br>DE ACCITO281<br>CONTONE<br>DE CONTONE<br>DE CORDITO281<br>CONTONE<br>CONTONE<br>DE CONTONE<br>DE CON  | VI2/21           | C. 6961                    | N H C            | ⊥ \$<br>& ⊅     |  |
| REINISHED BY<br>THE FIELD. WE<br>RT HE FINAL<br>ATACT THE UTILITY<br>TR:<br>TR:<br>TR:<br>TR:<br>TR:<br>TR:<br>TR:<br>TR:   |                  |                            | SHI              | (               |  |
| REINISHED BY<br>THE FIELD. WE<br>RT HE FINAL<br>ATACT THE UTILITY<br>TR:<br>TR:<br>TR:<br>TR:<br>TR:<br>TR:<br>TR:<br>TR:   | RHINC.CON        | ) 323-4144<br>0-935-0508   | ao, in<br>Nginee | ע<br>ט<br>יי    | N ZONE "X",  |
| REINISHED BY<br>THE FIELD. WE<br>RT HE FINAL<br>ATACT THE UTILITY<br>TR:<br>TR:<br>TR:<br>TR:<br>TR:<br>TR:<br>TR:<br>TR:   | WWW BF           | 1-806                      |                  |                 | S, MORE OR LESS.   |
| CORDING TO THE<br>ITY, WASHINGTON.<br>DED DECEMBER 1,<br>RECORDING NO.<br>EET FORTH IN<br>B76 OF OFFICIAL<br>HOWN, FURNISHED<br>WIN OR NOTED<br>E NOT SHOWN OR<br>SAID PREMISES<br>R 1, 1958 UNDER<br>ALONG 77 <sup>TH</sup><br>SAID PREMISES<br>R 1, 1958 UNDER<br>ALONG 77 <sup>TH</sup><br>SAID PREMISES<br>1, 1966 UNDER<br>ALONG 77 <sup>TH</sup><br>REIN:<br>O. 7907260876<br>REIN:<br>O. 8006170280<br>REIN:<br>O. 8006170281<br>T LOTS 7–10<br>REIN:<br>O. 8006170280<br>REIN:<br>O. 8006  |                  | R AVE. EAST<br>/ashington  |                  |                 | THE FIELD. WE<br>R THE FINAL<br>NTACT THE UTILITY                              |
| CORDING TO THE<br>ITY, WASHINGTON.<br>DED DECEMBER 1,<br>RECORDING NO.<br>EET FORTH IN<br>B76 OF OFFICIAL<br>HOWN, FURNISHED<br>WIN OR NOTED<br>E NOT SHOWN OR<br>SAID PREMISES<br>R 1, 1958 UNDER<br>ALONG 77 <sup>TH</sup><br>SAID PREMISES<br>R 1, 1958 UNDER<br>ALONG 77 <sup>TH</sup><br>SAID PREMISES<br>1, 1966 UNDER<br>ALONG 77 <sup>TH</sup><br>REIN:<br>O. 7907260876<br>REIN:<br>O. 8006170280<br>REIN:<br>O. 8006170281<br>T LOTS 7–10<br>REIN:<br>O. 8006170280<br>REIN:<br>O. 8006  | 98102-3513       | 2009 MINOF<br>SEATTLE, W   |                  | ם<br>שוטר<br>שו | DPTIC LINES ARE<br>ID EACH OF THE<br>HAVE<br>RE, BRH DOES<br>D<br>IBLIC RECORD |
| ET FORTH IN<br>B76 OF OFFICIAL<br>HOWN, FURNISHED<br>WIN OR NOTED<br>E NOT SHOWN OR<br>SAID PREMISES<br>R 1, 1958 UNDER<br>ALONG 77 <sup>TH</sup><br>SAID PREMISES<br>1966 UNDER<br>ALONG 77 <sup>TH</sup><br>SAID PREMISES<br>1966 UNDER<br>ALONG 77 <sup>TH</sup><br>REIN:<br>0. 7907260876<br>REIN:<br>0. 8006170280<br>REIN:<br>0. 8006170281<br>T LOTS 7–10<br>REIN:<br>0. 8006170280<br>REIN:<br>1 3 3<br>REIN:<br>1 3 4/16/<br>1 3 4/16/  |                  |                            |                  |                 | ORDING TO THE<br>TY, WASHINGTON.   |
| HOWN, FURNISHED<br>WIN OR NOTED<br>E NOT SHOWN OR<br>SAID PREMISES<br>TAIL, 1958 UNDER<br>ALONG 77 <sup>TH</sup><br>SAID PREMISES<br>, 1966 UNDER<br>ALONG 77 <sup>TH</sup><br>SAID PREMISES<br>, 1966 UNDER<br>ALONG 77 <sup>TH</sup><br>REIN:<br>OF LOT 10<br>REIN:<br>O, 7907260876<br>REIN:<br>O, 8006170280<br>REIN:<br>O, 8006170281<br>T LOTS 7–10<br>REIN:<br>O, 8006170280<br>T LOTS 7–10<br>REIN:<br>O, 8006170281<br>T LOTS 7–10<br>REIN:<br>O, 8006170280<br>T LOTS 7–10<br>T  | RIGHT 5/12/21    |                            |                  |                 | RECORDING NO.<br>ET FORTH IN   |
| SAID PREMISES<br>R 1, 1958 UNDER<br>ALONG 77 <sup>TH</sup><br>SAID PREMISES<br>1966 UNDER<br>ALONG 77 <sup>TH</sup><br>SAID PREMISES<br>1966 UNDER<br>ALONG 77 <sup>TH</sup><br>REIN:<br>0. 7907260876<br>REIN:<br>0. 8006170280<br>REIN:<br>0. 8006170281<br>T LOTS 7–10<br>REIN:<br>0. 8006170281<br>T LOTS 7–10<br>REIN:<br>1 T Z Z Z Z Z Z Z Z Z Z Z Z Z Z Z Z Z Z   | 10               |                            |                  |                 |  |
| SAID PREMISES<br>R 1, 1958 UNDER<br>ALONG 77 <sup>TH</sup><br>SAID PREMISES<br>1966 UNDER<br>ALONG 77 <sup>TH</sup><br>REIN:<br>OF LOT 10<br>REIN:<br>O. 7907260876<br>REIN:<br>O. 8006170280<br>REIN:<br>O. 8006170281<br>LOTS 7-10<br>REIN:<br>O. 8007<br>LOTS 7-10<br>REIN:<br>O. 8007<br>LOTS 7-10<br>REIN:<br>O. 8007<br>LOTS 7-10<br>REIN:<br>O. 8007<br>LOTS 7-10<br>REIN:<br>O. 8007<br>LOTS 7-10<br>REIN:<br>O. 8007<br>LOTS 7-10<br>REIN:<br>O. 8007<br>REIN:<br>O. 8007<br>REIN:<br>REIN:<br>O. 8007<br>REIN:<br>O. 8007<br>REIN:  | VISED PLAN NORTH |                            |                  |                 | NOT SHOWN OR   |
| SAID PREMISES<br>1966  UNDER<br>ALONG 77 <sup>TH</sup><br>REIN:<br>OF LOT 10<br>REIN:<br>O. 7907260876<br>REIN:<br>O. 8006170280<br>REIN:<br>O. 8006170281<br>T LOTS 7-10<br>REIN:<br>O. 8006170280<br>T LOTS 7-10<br>REIN:<br>O. 8006170281<br>T LOTS 7-10<br>REIN:<br>O. 8007<br>T LOTS 7-10<br>REIN:<br>O. 8007<br>T LOTS 7-10<br>REIN:<br>O. 8007<br>T LOTS 7-10<br>REIN:<br>T LOTS 7-10<br>REIN:<br>O.  | 1 REV            |                            |                  |                 |  |
| CLOTS 7-10drawn bychecked byREIN:<br>0. 8006170281HAKTRS0. 8006170281HAKTRSscaledate019 AND LAST<br>FOLLOWING:<br>RTY LINE.1" = 20' 4/16/intermodejob no.RTY LINE. $2021040.00$ intermode1< 3   | Z                |                            |                  | ΈΥ              |  |
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| CLOTS 7-10drawn bychecked byREIN:<br>0. 8006170281HAKTRS0. 8006170281HAKTRSscaledate019 AND LAST<br>FOLLOWING:<br>RTY LINE.1" = 20' 4/16/intermodejob no.RTY LINE. $2021040.00$ intermode1< 3   | VASH             | ်<br>T                     | <u> </u>         | S<br>0          | along 77 <sup>TH</sup>   |
| CLOTS 7-10drawn bychecked byREIN:<br>0. 8006170281HAKTRS0. 8006170281HAKTRSscaledate019 AND LAST<br>FOLLOWING:<br>RTY LINE.1" = 20' 4/16/intermodejob no.RTY LINE. $2021040.00$ intermode1< 3   |                  | 291                        | С<br>S           | RAPH            | REIN:  |
| CLOTS 7-10drawn bychecked byREIN:<br>0. 8006170281HAKTRS0. 8006170281HAKTRSscaledate019 AND LAST<br>FOLLOWING:<br>RTY LINE.1" = 20' 4/16/intermodejob no.RTY LINE. $2021040.00$ intermode1< 3   | KING COUNTY      | М<br>М                     | ANI              | 0040 <u>-</u>   | REIN:  |
| CLOTS 7-10drawn bychecked byREIN:<br>0. 8006170281HAKTRS0. 8006170281HAKTRSscaledate019 AND LAST<br>FOLLOWING:<br>RTY LINE.1" = 20' 4/16/intermodejob no.RTY LINE. $2021040.00$ intermode1< 3   | XIX              | С<br>С                     | MF               |                 | REIN:  |
| CLOTS 7-10drawn bychecked byREIN:<br>0. 8006170281HAKTRS0. 8006170281HAKTRSscaledate019 AND LAST<br>FOLLOWING:<br>RTY LINE.1" = 20' 4/16/intermodejob no.RTY LINE. $2021040.00$ intermode1< 3   | QN               | NU                         | $\bigcirc$       | Y AN            | ,  |
| CLOTS 7-10drawn bychecked byREIN:<br>0. 8006170281HAKTRS0. 8006170281HAKTRSscaledate019 AND LAST<br>FOLLOWING:<br>RTY LINE.1" = 20' 4/16/intermodejob no.RTY LINE. $2021040.00$ intermode1< 3   | R ISLA           | T<br>V<br>L<br>V<br>L      | Z                | AR,             | D CENTERLINE   |
| CLOTS 7-10drawn bychecked byREIN:<br>0. 8006170281HAKTRS0. 8006170281HAKTRSscaledate019 AND LAST<br>FOLLOWING:<br>RTY LINE.1" = 20' 4/16/intermodejob no.RTY LINE. $2021040.00$ intermode1< 3   | MERCER ISLAND    | ZTH A                      | ВҮА              |                 | D. 8006170280  |
| REIN:<br>O. 8006170281<br>HAK TRS<br>scale<br>1'' = 20' 4/16/<br>Job no.<br>RTY LINE.<br>INE.<br>1'' = 20' 4/16/<br>JOD NO.<br>2021040.00   | d by             |                            |                  |                 |  |
| $\begin{array}{c} \text{O19 AND LAST} \\ \text{FOLLOWING:} \\ \text{INE.} \\ \text{INE.} \\ \\ \text{INE.} \\ \end{array} \\ \begin{array}{c} 1 \\ 1 \\ 3 \end{array} \\ \begin{array}{c} 1 \\ 3 \end{array} \\ \end{array} \\ \begin{array}{c} 1 \\ \end{array} \\ \begin{array}{c} 1 \\ \end{array} \\ \end{array} \\ \end{array} $ | -                | TR                         | ٨K               | ΗA              |  |
| 1 3   | 6/2              | _                          |                  | 1" =            |  |
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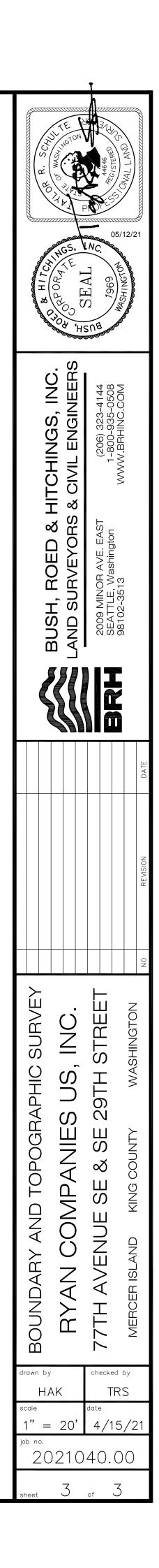


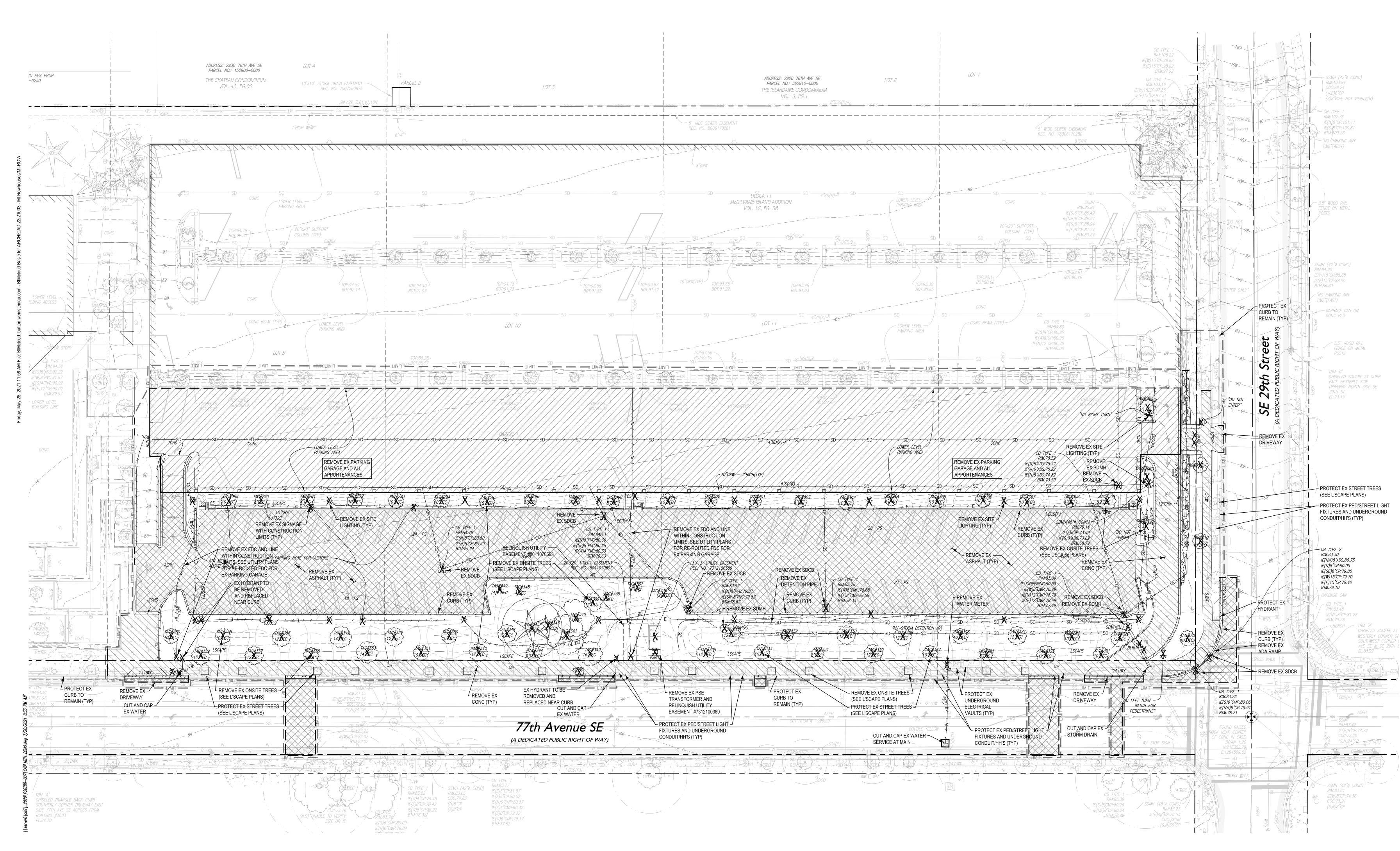
"x34" 5/12/2021 U: \C3D\2021\2021040\SURVEYING\DWG\XS-SUR-00.DWG

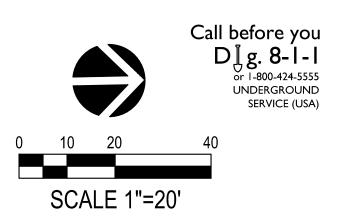




"x34" 5/12/2021 U:\C3D\2021\2021\2021040\SURVEYING\DWG\XS-SUR-00.D







#### Legend

|   | SAWCUT LINE              |   | —/-(P)/-/-(P)//¥                       | OVERHEAD POWER    |
|---|--------------------------|---|--|-------------------|
|   | REMOVE CURBING           |   |  | FIBER OPTIC LINE  |
|   | REMOVE ASPHALT PAVEMENT  | <u> </u>  |  | SANITARY SEWER    |
|   | REMOVE CONCRETE PAVEMENT | ⊖ <sup>SSMH</sup> o <sup>SSCO</sup>   | $X^{SSMH} X^{SSCO}$                    | SANITARY MH/CO    |
|   | DEMOLISH BUILDING        | <u> </u>  |  | STEAM LINE        |
| **  | REMOVE TREE(S)           |   |  | STORM DRAINAGE P  |
| — / /X/ / /X/ / /X/ / /X/ / /X/ /                               | FENCING                  |   | XX X X X                               | YD/CO/CB/CB 2/W   |
| TVTV  | CABLE TV SERVICE         | <u>_2" TELE</u> T   | тт <i>2"_,теце</i>                     | TELEPHONE SERVICE |
| ——————————————————————————————————————                          | ELECTRICAL SERVICE       | TR <sub>D</sub> TELE  |  | TELEPHONE BOX     |
| P   | ELECTRICAL JBOX/VAULT    | W   | —————————————————————————————————————— | WATER MAIN        |
| GAS   | GAS MAIN/SERVICE         | $\stackrel{FH}{\to} \stackrel{FDC}{\to} \stackrel{PIV}{\to} \stackrel{WV}{\to}$ | FH★ FD6★ PH★ WV                        | FH/FDC/PIV/VALVE  |
| □ <sup>GM</sup> ⋈ <sup>GV</sup> X <sup>GM</sup> X <sup>GV</sup> | GAS METER/VALVE          |   |  |                   |

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COUGHLINPORTERLUNDEEN STRUCTURAL CIVIL SEISMIC ENGINEERING 801 SECOND AVENUE, SUITE 900 SEATTLE, WA 98104 (206) 343-0460 www.cplinc.com

MERCER PARK ROWHOUSES

3003 77th Ave. SE Mercer Island, WA 98040

**21003** Project #

> Weinstein A+U 2200 Western Avenue, Suite 301 Seattle, WA 98121 206.443.8606 www.weinsteinau.com

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JURISDICTIONAL APPROVAL STAMP



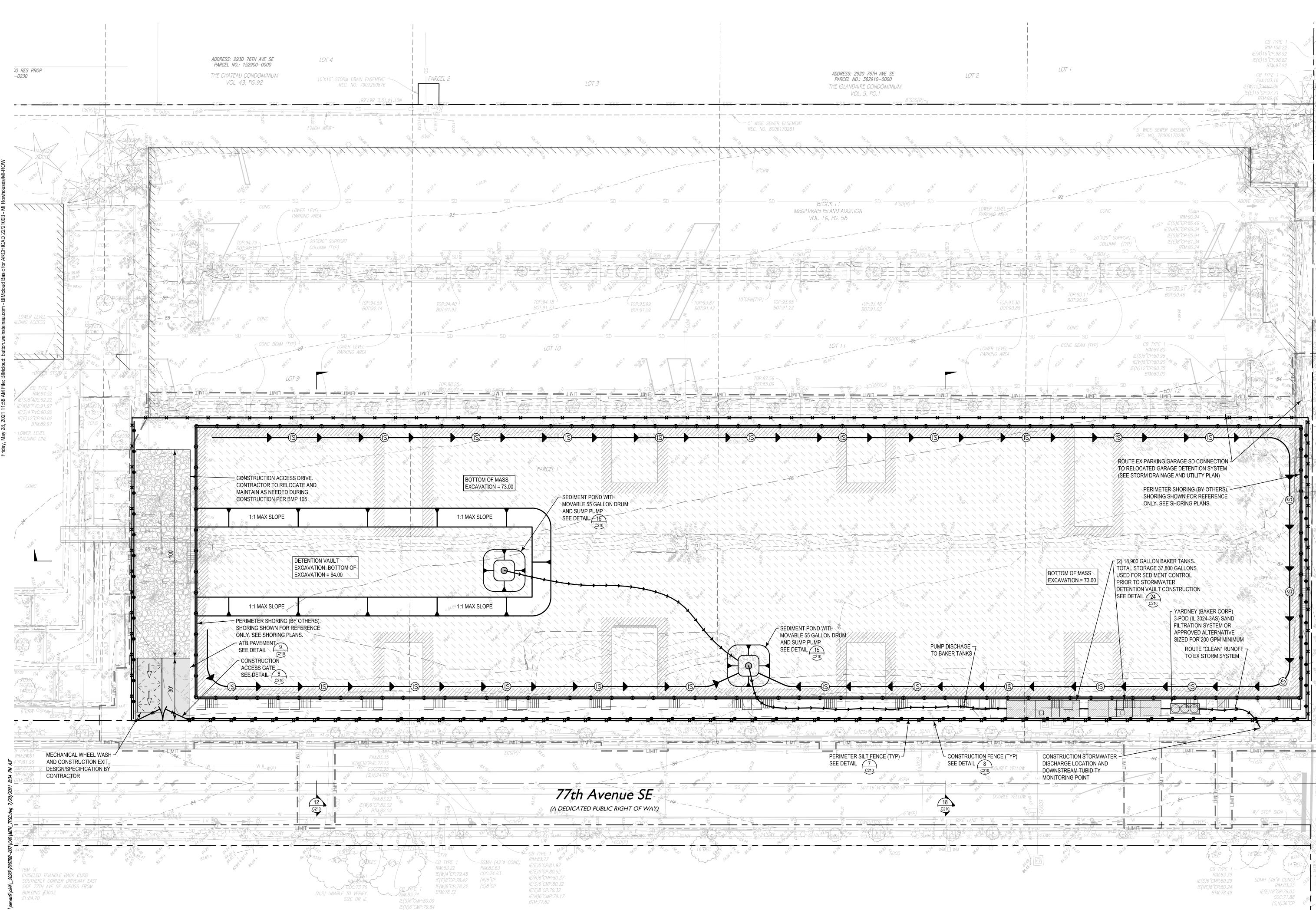
LAND USE APPLICATION Issue

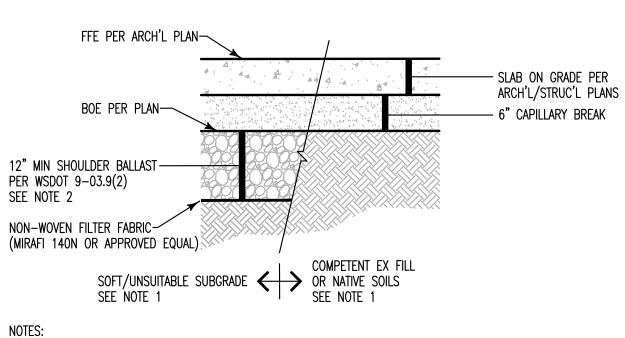
**07/20/21** Issue Date

DEMOLITION PLAN Sheet Title WeinsteinAU.com

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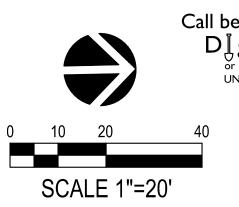




1. SUBGRADES SHALL BE INSPECTED BY ONSITE GEOTECH TO DETERMINE IF OVEREXCAVATION IS REQUIRED.

2. ALTERNATIVE GROUND IMPROVEMENT METHODS MAY BE USED IN LIEU OF OVEREXCAVATION. COORDINATE W/PROJECT GEOTECH AND STRUC'L ENGINEER.

# Bottom of Excavation Section



#### B.M.P. Legend Construction Stormwater Pollution Prevention Plan (CSWPPP) THE TESC SYSTEM SHOWN IS A RECOMMENDATION AND INTENDED TO SHOW MINIMUM REQUIREMENTS. THE CONTRACTOR INTERCEPTOR SWALE PER BMP C200 SHALL UPGRADE, MAINTAIN AND RELOCATED SYSTEM AS REQUIRED DURING CONSTRUCTION TO ENSURE THAT RUNOFF FROM THE SITE IS NO GREATER THAN 25 NTU'S. IF ALLOWED BY KING COUNTY METRO AND THE CITY OF MERCER ISLAND, SILT FABRIC FENCING PER BMP C233 CONSTRUCTION STORMWATER MAY BE DISCHARGED TO THE SANITARY SEWER. CONTRACTOR IS RESPONSIBLE FOR ALL ASSOCIATED APPLICATIONS AND DISCHARGE FEES. THIS PROJECT IS OVER 1 ACRE AND IS REQUIRED TO OBTAIN COVERAGE TEMP CONSTRUCTION FENCING UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT. THE CONTRACTOR WILL OBTAIN COVERAGE PER BMP C103 PRIOR TO CONSTRUCTION AND A COPY OF THE CSWPPP WILL BE KEPT ONSITE AT ALL TIMES. 2-PC-1 PLASTIC COVERING (ON CUT SLOPE) PER BMP C123 Estimated Earthwork Quantities CE CONSTRUCTION ENTRANCE 1,520 (CY) $\bigcirc \mathbb{P}$ EXCAVATION 35,000 (CY) INLET PROTECTION NET EXCAVATION 33,500 (CY) STABILIZED CONSTRUCTION ENTRANCE PER BMP C105 THE QUANTITIES SHOWN ARE PRELIMINARY ESTIMATES ONLY AND INTENDED FOR MUNICIPAL PERMITTING AND REVIEW FEES. STORM DRAIN INLET PROTECTION THE CONTRACTOR SHALL IGNORE THESE QUANTITIES, THEY ARE EXCLUDED FROM THE BID DOCUMENT INFORMATION. THESE PER BMP C220 VOLUMES SHALL NOT BE USED BY THE CONTRACTOR AS A BASIS FOR ANY CONTRACTUAL INFORMATION. THE CONTRACTOR SHALL PREPARE THEIR OWN EARTHWORK QUANTITIES BASED ON THE INFORMATION PROVIDED IN THE CONTRACT DOCUMENTS, SHORING INCLUDING BUT NOT LIMITED TO DRAWINGS, SPECIFICATIONS, AND THE GEOTECHNICAL REPORT. BY OTHERS INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITHIN 500' (DOWNSTREAM) OF SITE IE(W)15"CP:98.92 BTM:97.92 LOT I - SSMH (42"ø CONC) RIM:103.94 RIM:103.16 *COC:88.24* IE(W)15"CP:97.86 (W,E)8"CP 5' WIDE SEWER EASEMENT BTM:100.26 8"CDW TIME"(WEST) S 9th FACE WESTERLY SIDE DRIVEWAY NORTH SIDE SE $\sim$ ROUTE EX PARKING GARAGE SD CONNECTION -TO RELOCATED GARAGE DETENTION SYSTEM SEE STORM DRAINAGE AND UTILITY PLAN) PERIMETER SHORING (BY OTHERS) SHORING SHOWN FOR REFERENCE 2) 18,900 GALLON BAKER TANKS. TOTAL STORAGE 37,800 GALLONS. BOTTOM OF MASS USED FOR SEDIMENT CONTROL EXCAVATION = 73.00 PRIOR TO STORMWATER DETENTION VAULT CONSTRUCTION SEE DETAIL 24 <u>C210</u> YARDNEY (BAKER CORP) 3-POD (IL 3024-3AS) SAND FILTRATION SYSTEM OR APPROVED ALTERNATIVE SIZED FOR 200 GPM MINIMUM ROUTE "CLEAN" RUNOFF TO EX STORM SYSTEM WESTERLY CORNER OF AVE SE & SE 29TH S LIMIT ------ECD(P) G(P) & SV9 CONSTRUCTION STORMWATER -DISCHARGE LOCATION AND DOWNSTREAM TUBIDITY ASPH \$ A Strain MONITORING POINT 8.2 \_\_\_<u>`\_\_</u><u>`\_\_</u>\_\_\_\_ SSX - X \_\_\_\_\_RIM:83.42 IE(W)8"CP:74.72 .84 -83.14 183.13 183.73 1975 W/ STOP SIGN - ? DOWN 1.20 LANE W . . . N:216302.781 -on tROSS WA 8.k. gh.L. -X 26 SSMH (42" & COWD) & St A ζ 14 'ØEC

SDMH (48"ø CONC)-

- 97,\*\* 82.56

IE(NE)8"CP:80.24

BTM:78.49



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COUGHLINPORTERLUNDEE TRUCTURAL CIVIL SEISMIC ENGINEER 01 SECOND AVENUE, SUITE 900 EATTLE, WA 98104

## **MERCER PARK** ROWHOUSES

3003 77th Ave. SE Mercer Island, WA 98040

Proiect #

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JURISDICTIONAI APPROVAL STAM



Issue 07/20/21 Issue Date TESC AND EXCAVATION PLAN Sheet Title

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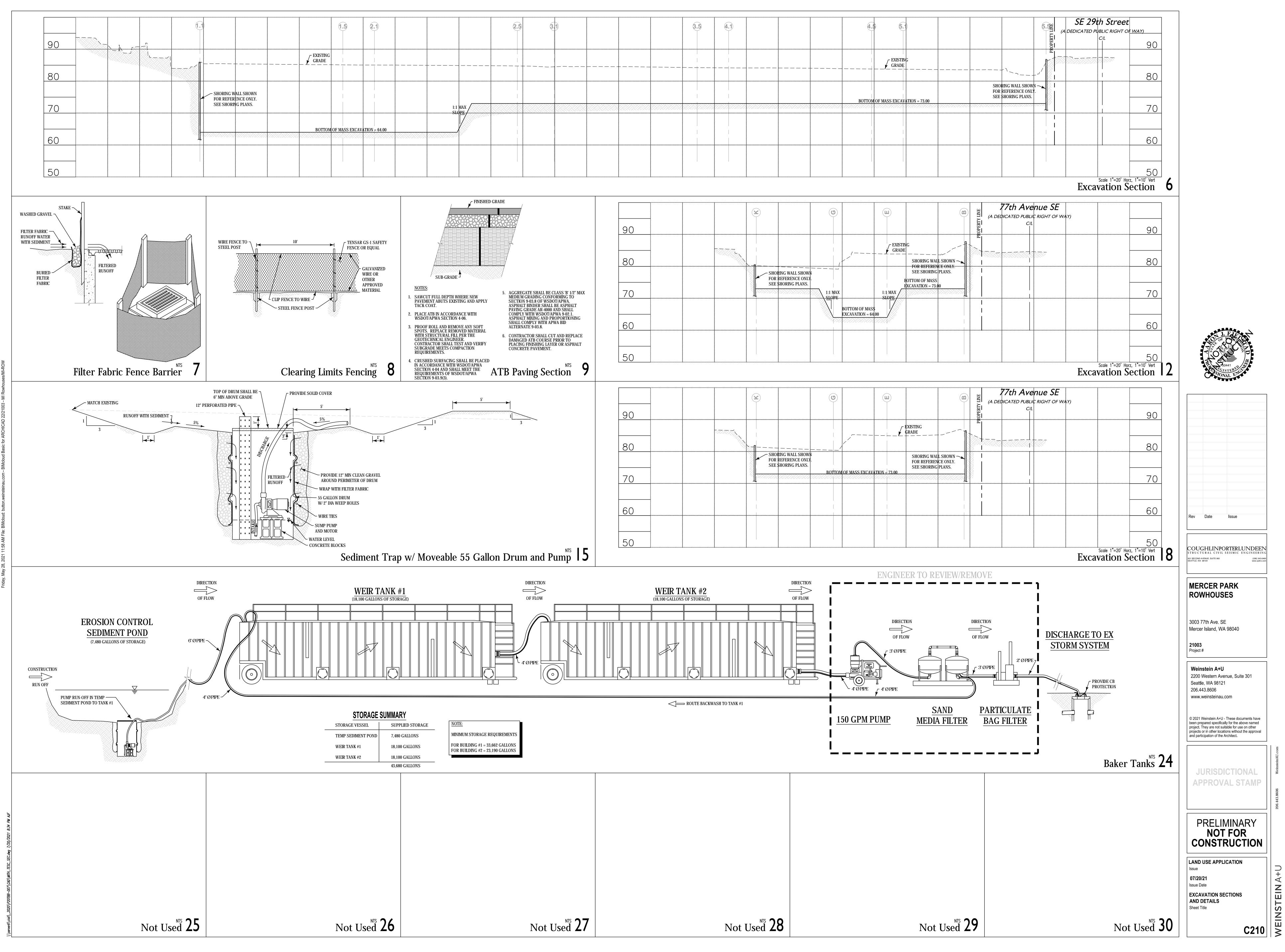
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LAND USE APPLICATION



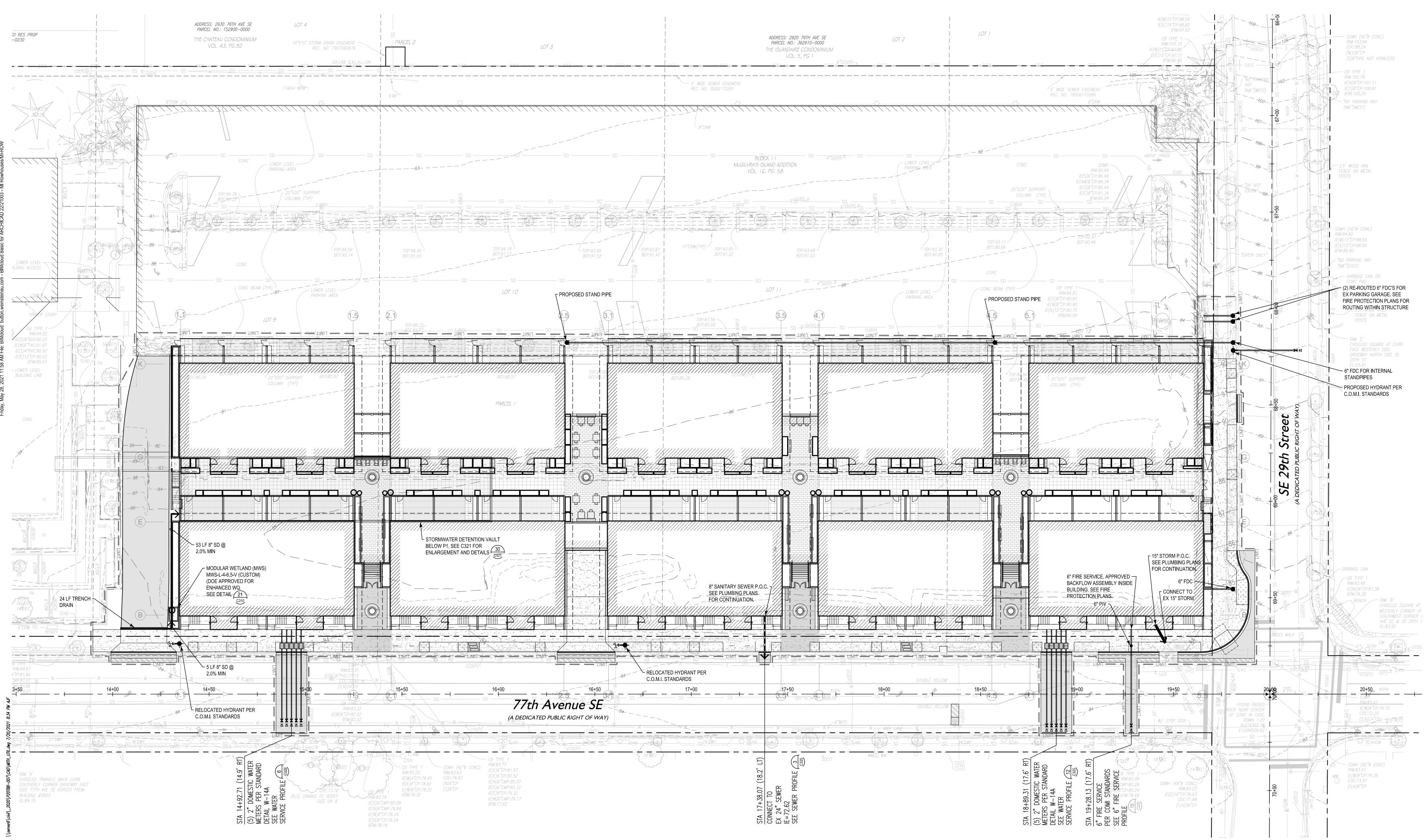


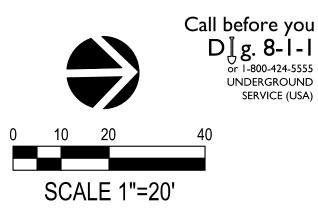
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|        | 2.1           |    | 2.5 | 3. | 1 | 3.5 | 4.1 | 4.     | 5.1               |              |   | 5.5        | (A DEDICATED F | th Street         | NAY)      |
|        |               |    |     |    |   |     |     |        |                   |              |   | COPERT     |                |                   | 90        |
|        |               |    |     |    |   |     |     |        | FEXISTIN<br>GRADE |              |   |            |                |                   |           |
|        |               |    |     |    |   |     |     | <br>   |                   |              | + ` ~ ~ - + ~                           |            |                |                   | 80        |
|        |               |    |     |    |   |     |     |        |                   | SH<br>FO     | DRING WALL SHOWN -<br>R REFERENCE ONLY. | - <b>-</b> |                |                   |           |
|        | 1:1 M<br>SLO  |    |     |    |   |     |     | BOTTOM | OF MASS EXCAV     | TION = 73.00 | E SHORING PLANS.                        |            |                |                   | 70        |
|        | SLO           | PE |     |    |   |     |     |        |                   |              |   |            |                |                   | /0        |
| EXCAV/ | ATION = 64.00 |    |     |    |   |     |     |        |                   |              |   |            |                |                   |           |
|        |               |    |     |    |   |     |     |        |                   |              |   |            |                |                   | 60        |
|        |               |    |     |    |   |     |     |        |                   |              |   |            |                | _                 |           |
|        |               |    |     |    |   |     |     |        |                   |              |   |            |                | Scale 1"=20' Horz | <u>50</u> |

| 43,68 | 0 GALLONS |  |
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| X      |  | C                       | E                                   |                     |                           | (        |  | DEDICATED PUB | <b>enue SE</b><br>Lic right of w,<br>// | 17) |                    | 90          |
|--------|--|-------------------------|-------------------------------------|---------------------|---------------------------|----------|--|---------------|---|-----|--------------------|-------------|
|        |  |                         |                                     | - EXISTING<br>GRADE |                           |          |  |               |   |     |                    |             |
|        | ······································ |                         |                                     | F                   | SHORING WAI<br>OR REFEREN | CE ONLY. |  |               |   |     |                    | 80          |
|        | ING WALL SHOWN<br>REFERENCE ONLY.      |                         |                                     |                     | SEE SHORING<br>OM OF MASS |          |  |               |   |     |                    |             |
| SEE \$ | HORING PLANS.                          | 1:1 MAX<br><u>SLOPE</u> | l:1 M<br>SLO                        | HXCA                | VATION = 73.              | 0        |  |               | <br>                                    |     | -                  | 70          |
|        |  |                         | BOTTOM OF MASS<br>EXCAVATION = 6400 |                     |                           |          |  |               |   |     |                    |             |
|        |  |                         |                                     |                     |                           |          |  |               |   |     |                    | 60          |
|        |  |                         |                                     |                     |                           |          |  |               |   |     |                    |             |
|        |  |                         |                                     |                     |                           |          |  |               |   |     |                    | 50          |
|        |  |                         |                                     |                     |                           |          |  |               |   | г   | Scale 1"=20' Horz, | 1"=10' Vert |

| X  | ٢         | <b>E</b>                   |  | Y LINE       |  | 77th Avenue SE | 17)              |                |
|--|-----------|----------------------------|--|--------------|--|----------------|------------------|----------------|
|  |           |                            |  | ROPERTY LINE |  |                |                  | 90             |
|  |           |                            | EXISTING<br>GRADE  |              |  |                |                  |                |
| <u></u>                                  |           |                            |  |              |  |                |                  | 80             |
| SHORING WA<br>FOR REFEREN<br>SEE SHORING | NCE ONLY. |                            | SHORING WALL SHOW<br>FOR REFERENCE ONI<br>SEE SHORING PLANS. | Y.           |  |                |                  |                |
|  | BOTTOM O  | DF MASS EXCAVATION = 73.00 |  |              |  |                |                  | 70             |
|  |           |                            |  |              |  |                |                  |                |
|  | <br>      |                            |  |              |  |                |                  | 60             |
|  |           |                            |  |              |  |                |                  |                |
|  |           |                            |  |              |  |                |                  | 50             |
|  |           |                            |  |              |  |                | Scale 1"=20' Hor | z, 1"=10' Vert |





## Legend

| <u> </u>                              | PROPERTY LINE           | <u>    12"SS  </u>  | 8" SS @ xx%  | SANITARY SEWE |
|---------------------------------------|-------------------------|---|--------------|---------------|
|                                       | ASPHALT PAVEMENT        | ⊖ <sup>SSMH</sup> o <sup>SSCO</sup>   | <b>`</b> • • | SANITARY MH/( |
| b b b b b b b b b b b b b b b b b b b | CONCRETE PAVEMENT       |   | 8" SD @ xx%  | STORM DRAINA  |
|                                       | GRAVEL                  |   |              | YD/CO/CB/CB   |
|                                       | CONCRETE RETAINING WALL |   | 12"DIW       | WATER MAIN    |
|                                       | CONCRETE CURB           | $\stackrel{FH}{\longrightarrow} \stackrel{FDC}{\longrightarrow} \stackrel{PIV}{\longrightarrow} \stackrel{WV}{\longrightarrow}$ |              | FH/FDC/PIV/V  |
| 5555                                  | CONTOUR (INDEX)         | ₩ ∎   |              | WATER VAULT/I |
| 5454                                  | CONTOUR                 |   |              |               |
|                                       |                         |   |              |               |



SEWER MH/CO DRAINAGE PIPE /CB/CB 2/MH

/PIV/VALVE VAULT/METER



Date Issue

COUGHLINPORTERLUNDEEN FRUCTURAL CIVIL SEISMIC ENGINEER 01 SECOND AVENUE, SUITE 900 EATTLE, WA 98104 (206) 343-www.cplinc

## **MERCER PARK** ROWHOUSES

3003 77th Ave. SE Mercer Island, WA 98040

21003 Project #

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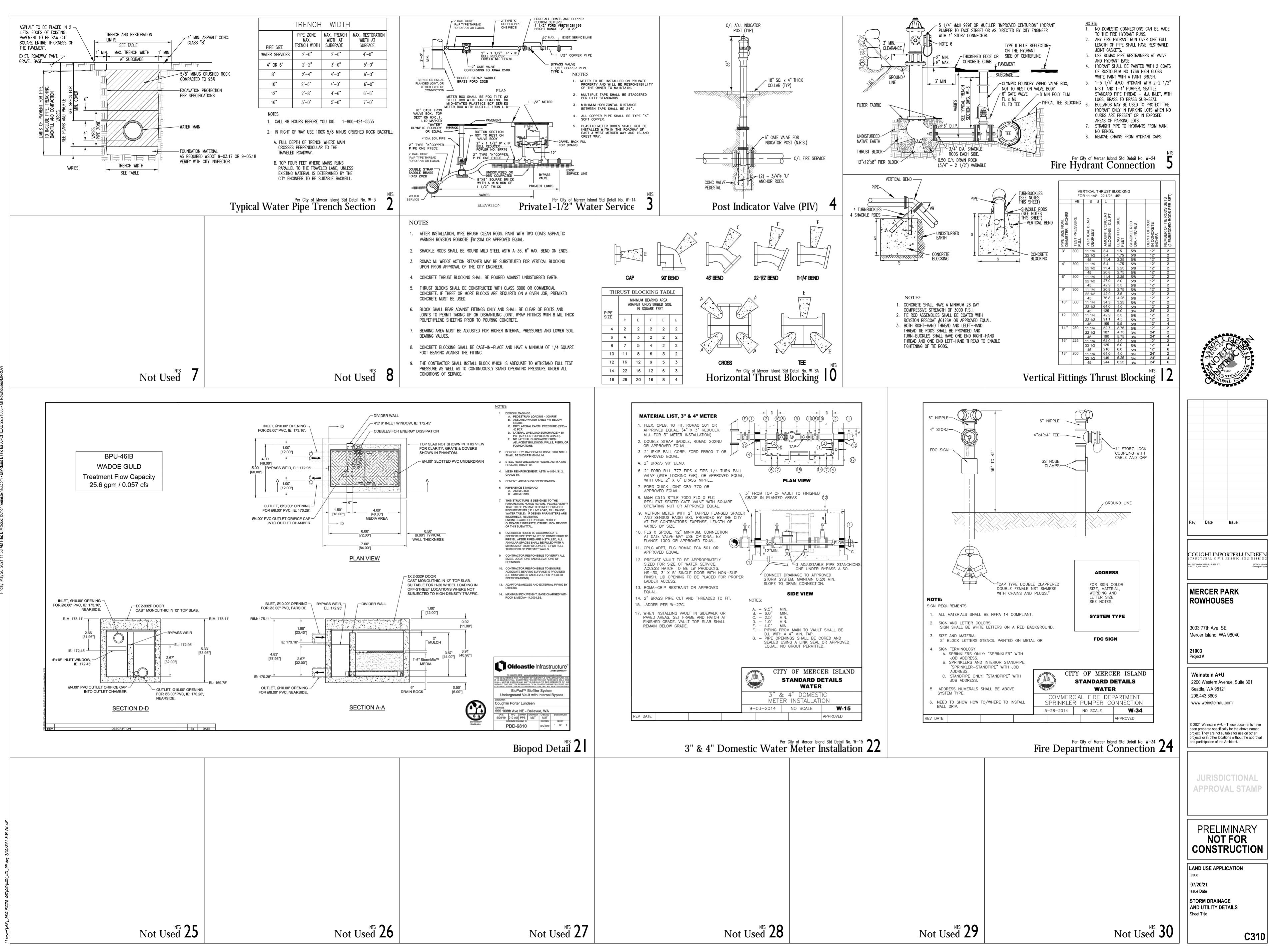
JURISDICTIONAL **APPROVAL STAMF** 



LAND USE APPLICATION Issue 07/20/21 Issue Date STORM DRAINAGE AND UTILITY PLAN

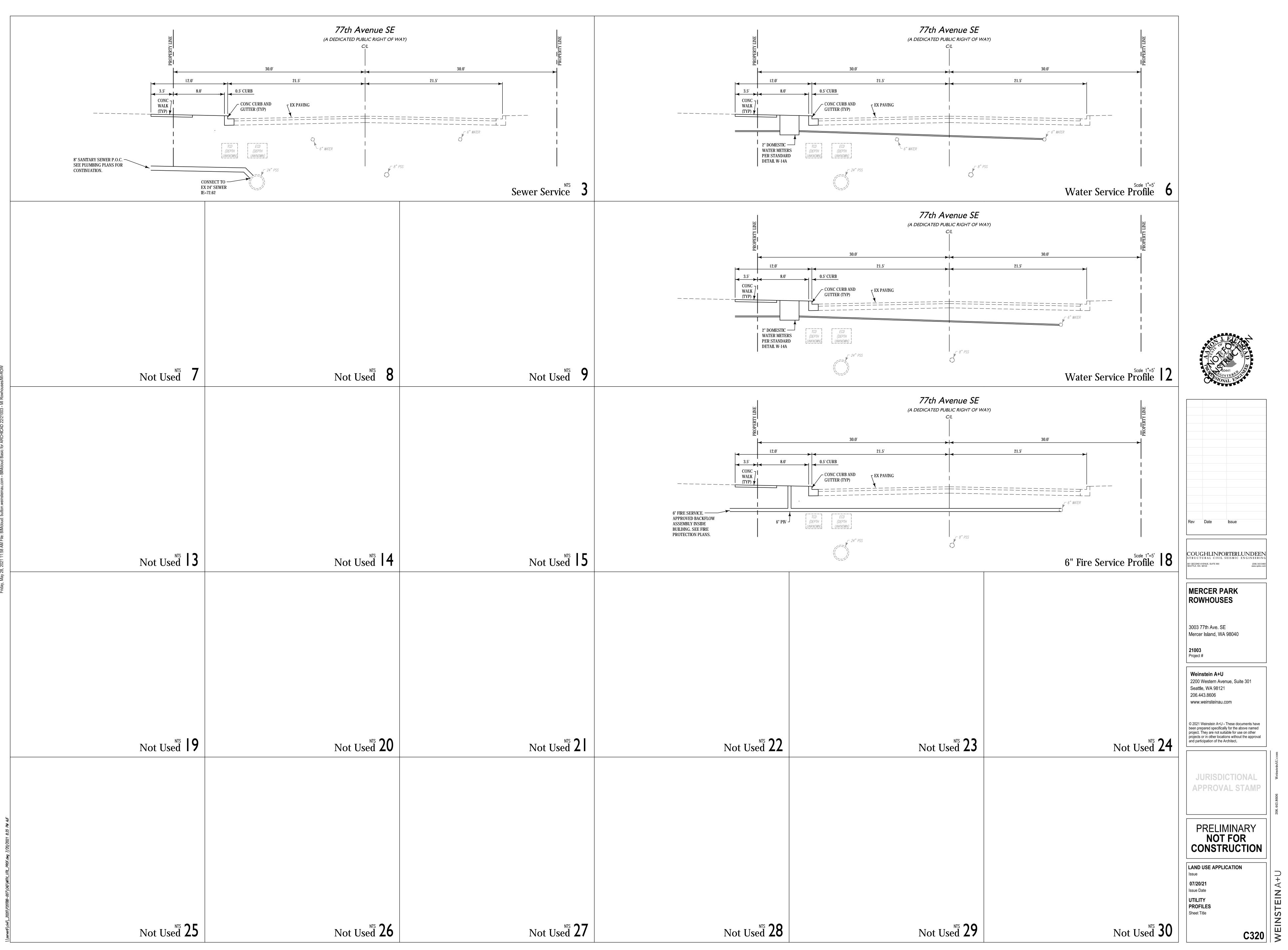
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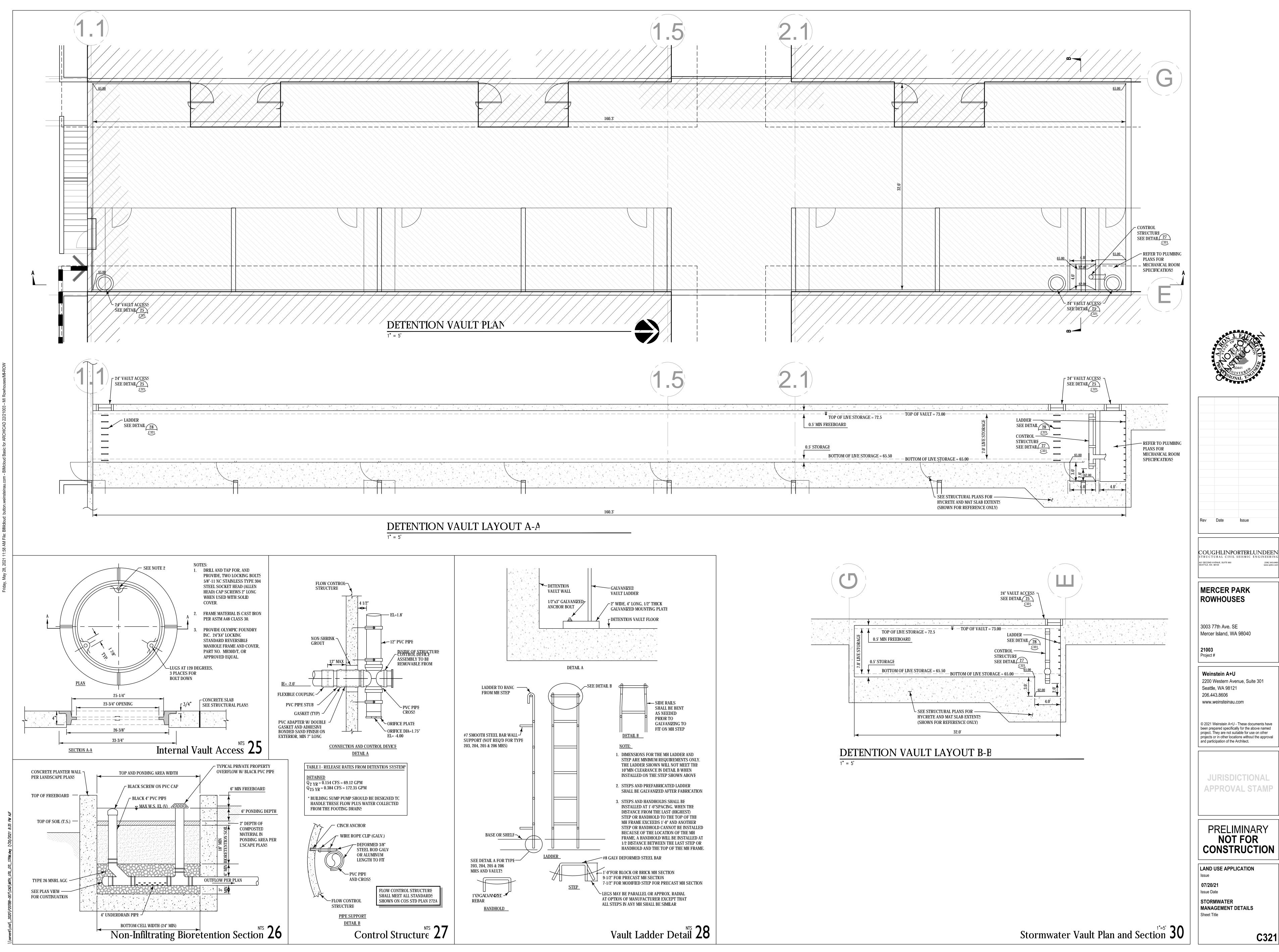
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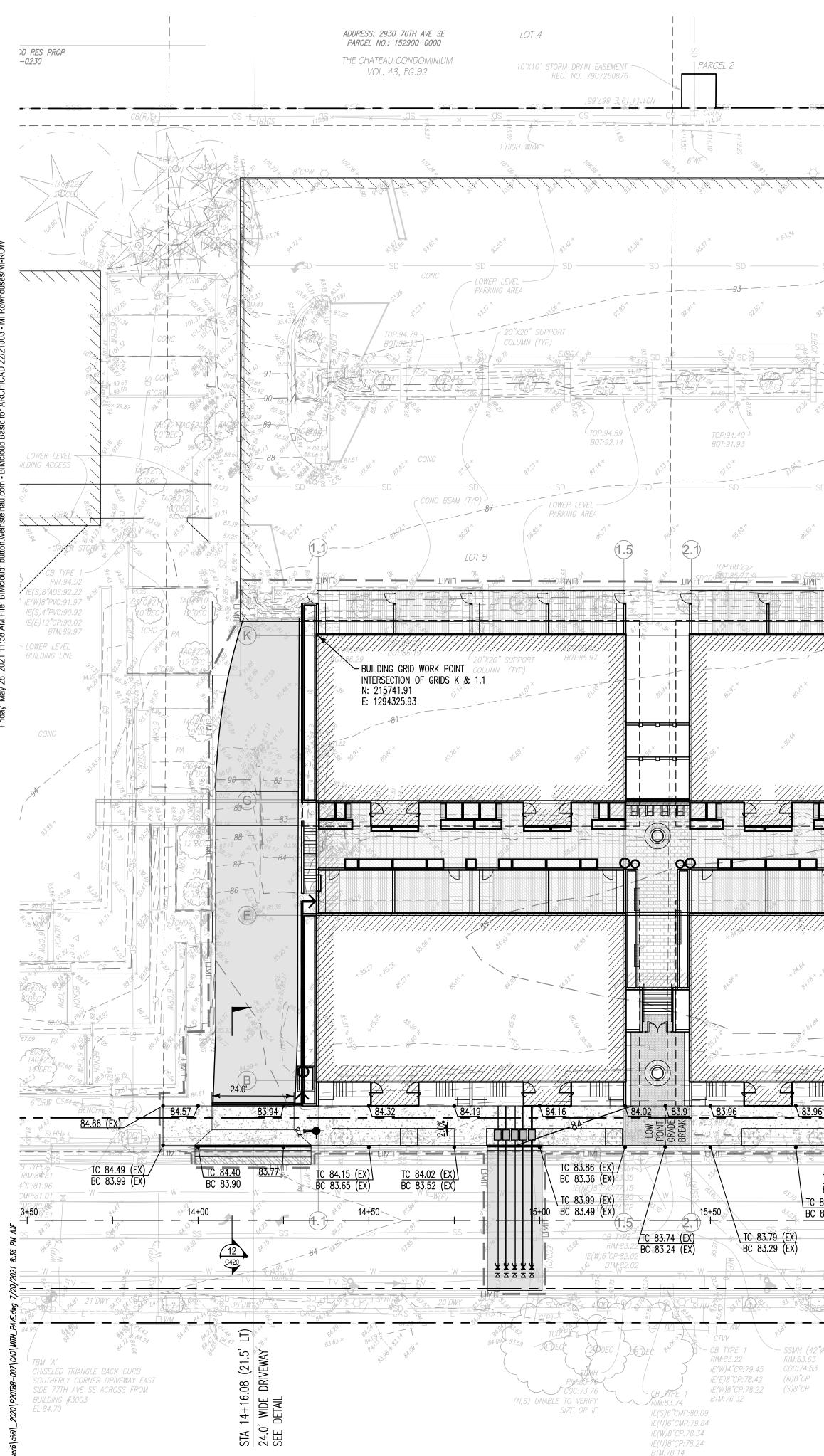
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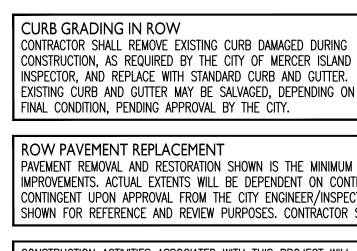


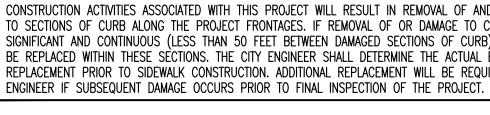


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ADDRESS: 2920 76TH AVE SE LOT 2 PARCEL NO.: 362910-0000 LOT 3 THE ISLANDAIRE CONDOMINIUM VOL. 5, PG. I - 5' WIDE SEWER EASEMENT ロフフフラブボリディ ジャノノジィノブ・ノンジノノン シング・ノノノンジン ビンノノンジャン レンジャン レンジ ディアン シャンシャ ディアン シャンシャ ディアン ノジティン レンジ ディアン レンジ ディアン レンジ 8"CRW BLOCK I I McGILVRA'S ISLAND ADDITION VOL. 16, PG. 58 PARCEL I  $\bigcirc$ }⊨-0 <u>TC 84.11 (EX)</u> BC 83.61 (EX) TC 84.33 (EX) BC 83.83 (EX) 
 TC
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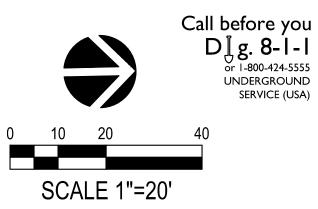
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 TC 84.65 (EX) BC 84.15 (EX) TC 84.75 (I TC 84.00 (EX) BC 83.50 (EX) BC 84.25 ( TC 84.64 (E TC 83.89(EX)  $\frac{1}{2} + \frac{1}{2} + \frac{1}$ HIT+50 BC 84.14 (EX) BC 83.39 (EX) \_\_\_\_\_ TC 83.79 (EX) BC 83.29 (EX) (A DEDICATED PUBLIC RIGHT OF WAY) 5 6 W(P)-4)8<u>125</u>989 81 ->SD SLAA & WILL BEE SD & ST SUFFY SK &  $\tilde{f}_{ab} \approx \int_{-\infty}^{\infty} \left( \int_{-\infty}^{16} \int_{-\infty}^{10} \int_{-\infty}^{\infty} \int_{$ sh<sup>6</sup> SDCO sh<sup>1</sup> MML MM sh<sup>6</sup> Street CB TYPE 1 RIM: 8.3.77 84. 84. \$ CB TYPE 1 SSMH (42"Ø CONC) IE(E)6"CP:81.97

IE(S)6"CMP:80.32

IE(W)6"CMP:79.17

6+45. WIDE DETAIL

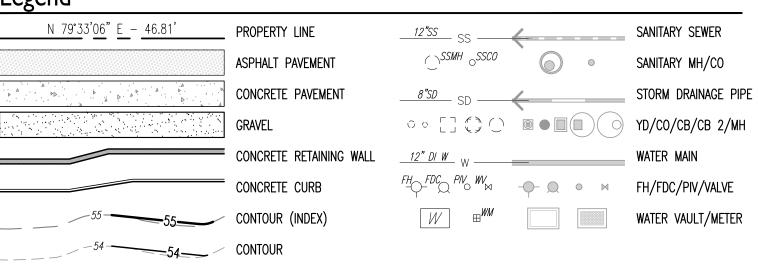
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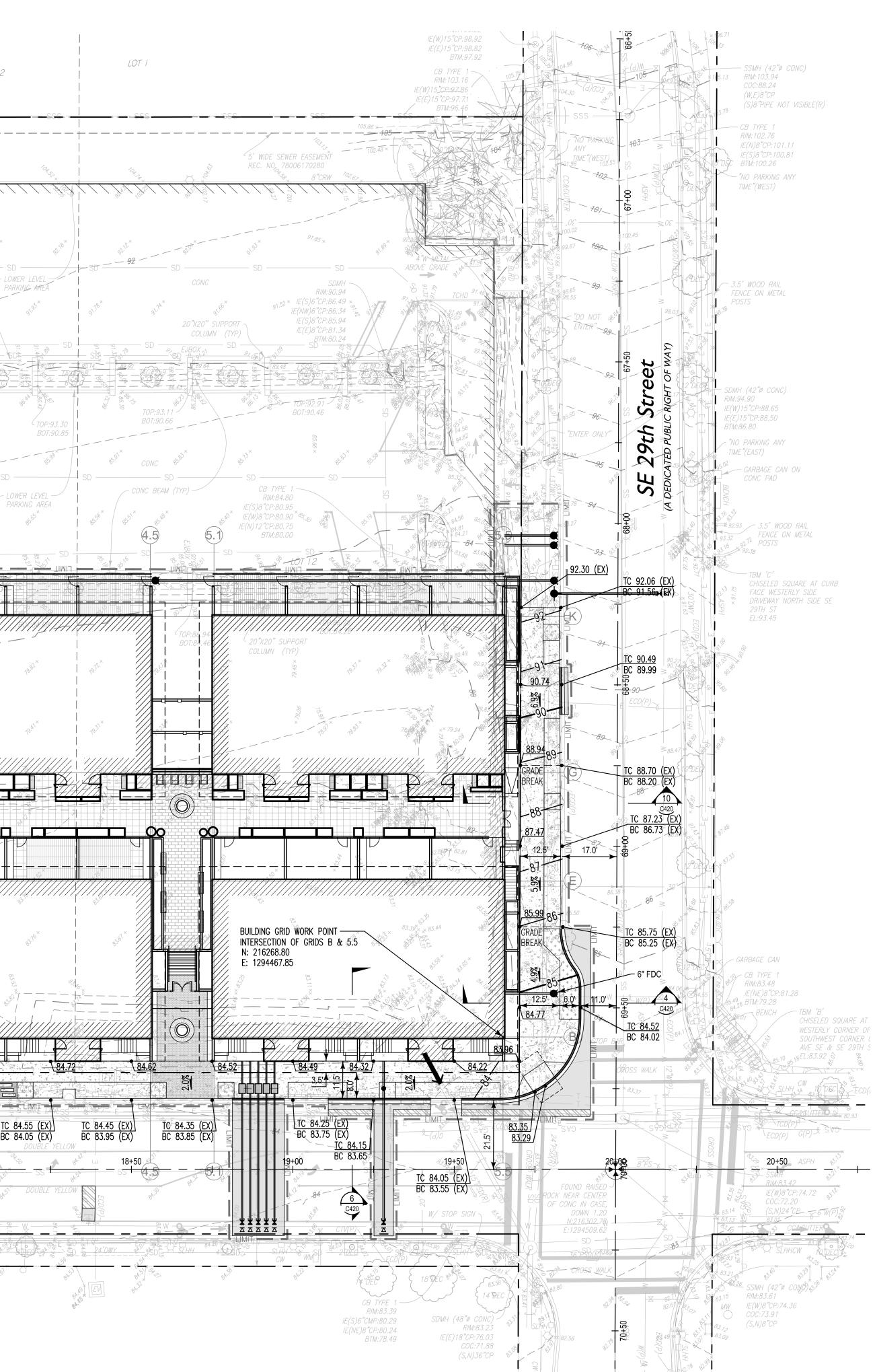


## PAVEMENT REMOVAL AND RESTORATION SHOWN IS THE MINIMUM ANTICIPATED TO INSTALL THE PROPOSED IMPROVEMENTS. ACTUAL EXTENTS WILL BE DEPENDENT ON CONTRACTORS' MEANS AND METHODS AND ARE CONTINGENT UPON APPROVAL FROM THE CITY ENGINEER/INSPECTOR. STRIPING AND CHANNELIZATION ARE SHOWN FOR REFERENCE AND REVIEW PURPOSES. CONTRACTOR SHALL DOCUMENT AND MATCH EX CONDITIONS. CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT WILL RESULT IN REMOVAL OF AND POSSIBLE DAMAG TO SECTIONS OF CURB ALONG THE PROJECT FRONTAGES. IF REMOVAL OF OR DAMAGE TO CURBS ARE DEEMED SIGNIFICANT AND CONTINUOUS (LESS THAN 50 FEET BETWEEN DAMAGED SECTIONS OF CURB), ALL CURB SHALL BE REPLACED WITHIN THESE SECTIONS. THE CITY ENGINEER SHALL DETERMINE THE ACTUAL EXTENT OF REPLACEMENT PRIOR TO SIDEWALK CONSTRUCTION. ADDITIONAL REPLACEMENT WILL BE REQUIRED BY THE CITY

ALL STREET FURNISHINGS SHALL BE PAINTED PANTONE GREEN SEMI-GLOSS









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COUGHLINPORTERLUNDEEN RUCTURAL CIVIL SEISMIC ENGINEER 1 SECOND AVENUE, SUITE 900 ATTLE, WA 98104

#### **MERCER PARK** ROWHOUSES

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21003 Project #

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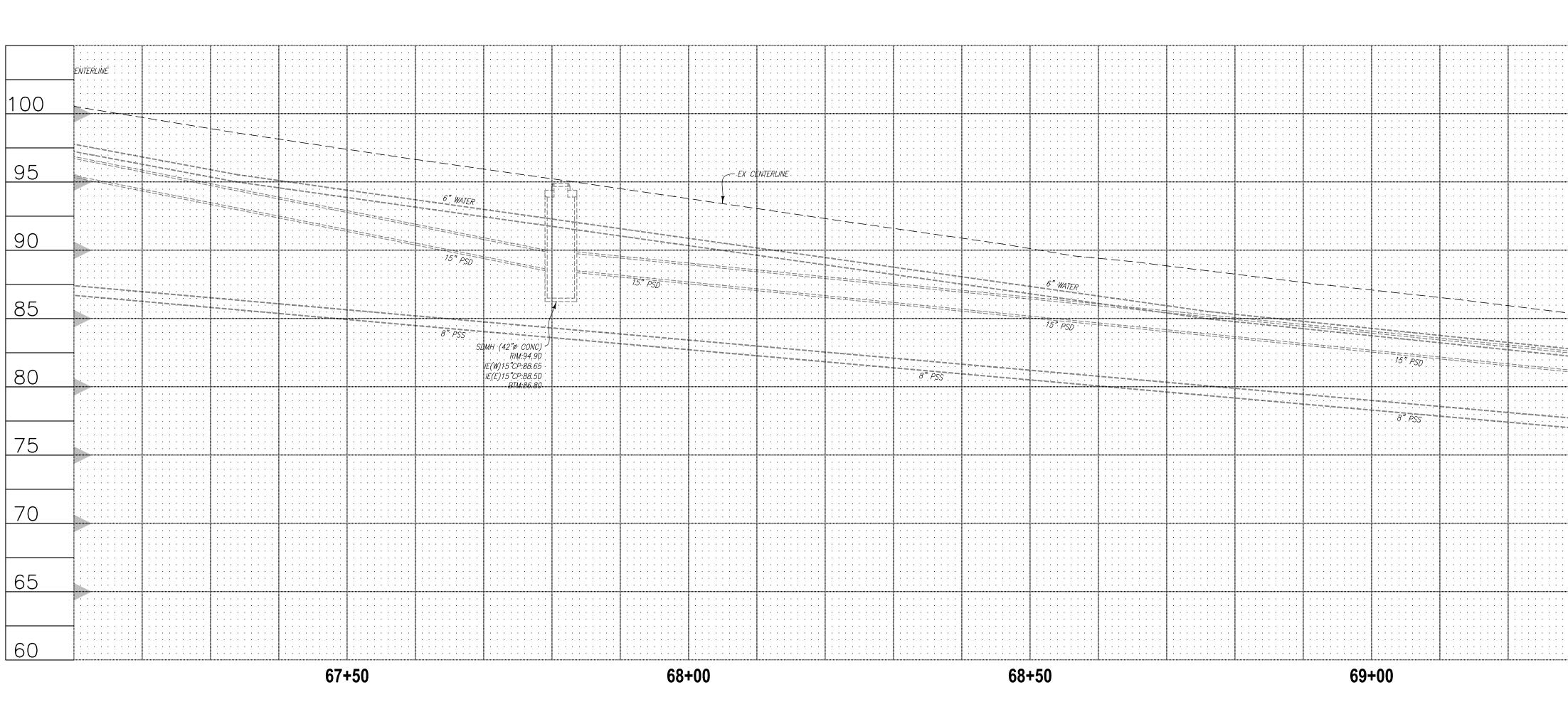


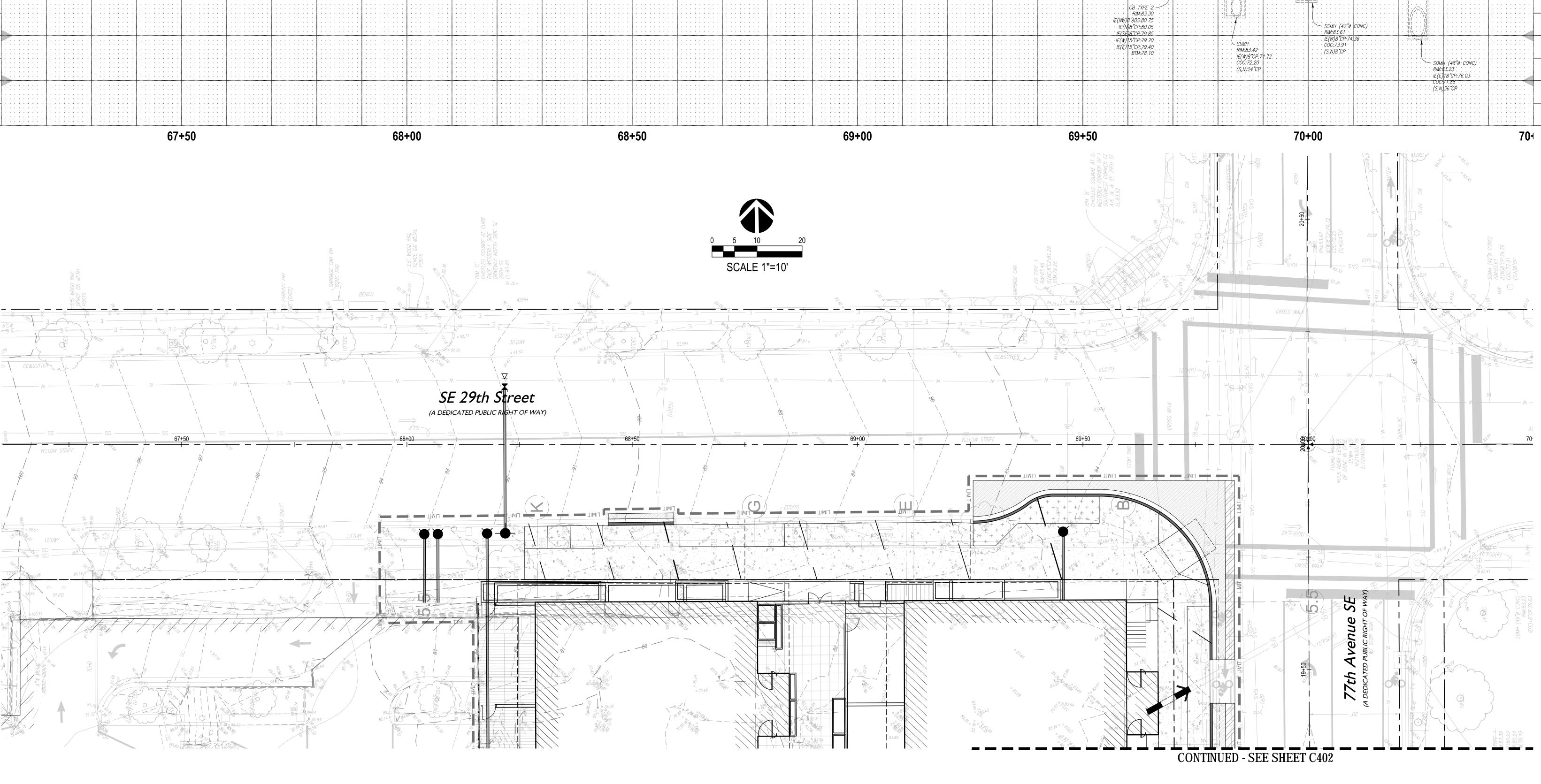
LAND USE APPLICATION Issue 07/20/21 Issue Date PAVING, GRADING AND HORIZONTAL CONTROL PLAN

Sheet Title

 $\triangleleft$ EINSTEIN, C400

AVE SE & SE 29TH





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6" WATER

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(A DEDICATED PUBLIC RIGHT OF WAY)

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COUGHLINPORTERLUNDEEN Structural civil seismic engineering 801 SECOND AVENUE, SUITE 900 SEATTLE, WA 98104 (206) 343-046 www.cplinc.cor

### MERCER PARK ROWHOUSES

3003 77th Ave. SE Mercer Island, WA 98040

21003 Project #

Weinstein A+U 2200 Western Avenue, Suite 301 Seattle, WA 98121 206.443.8606 www.weinsteinau.com

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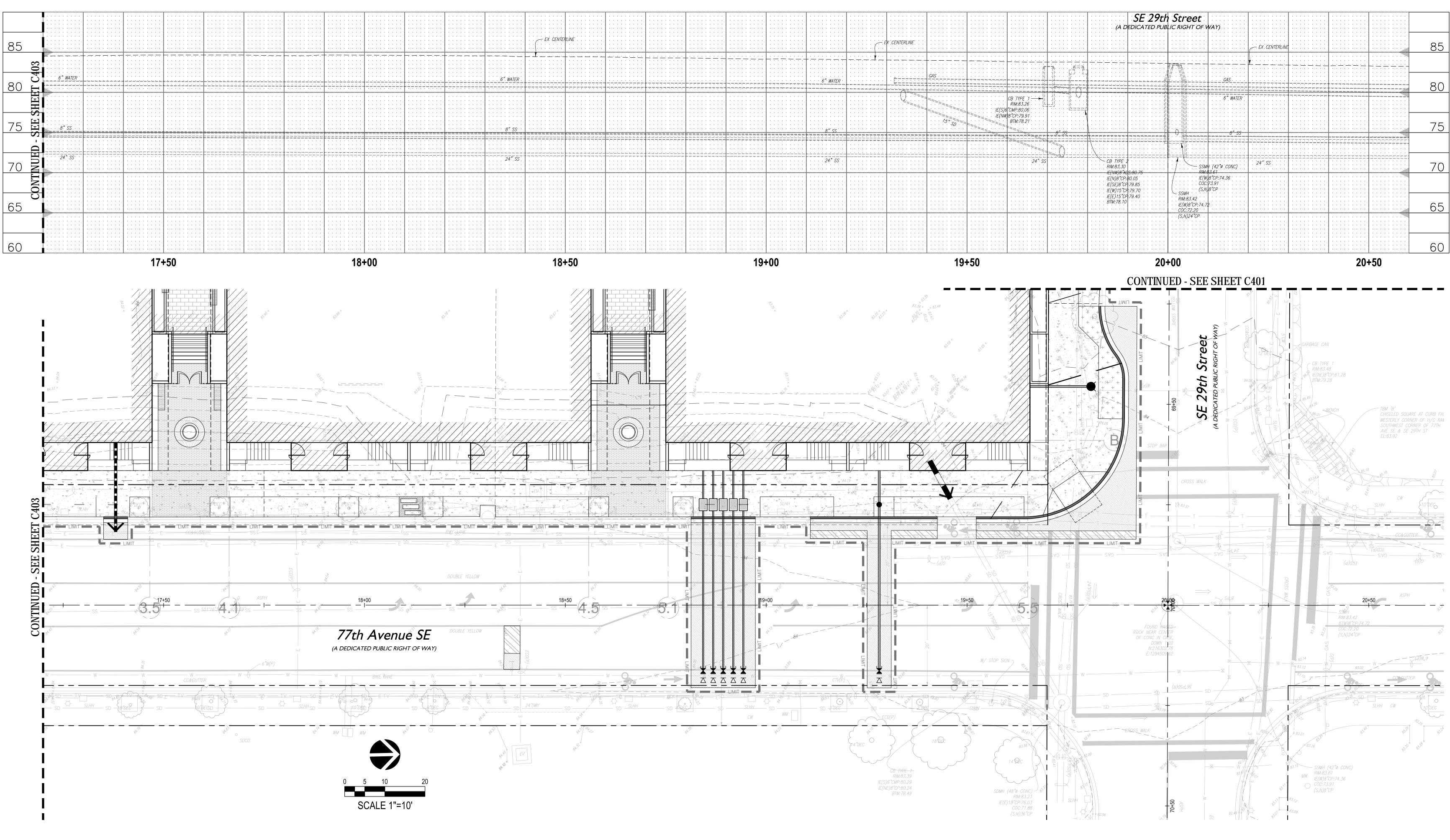
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LAND USE APPLICATION Issue

07/20/21 Issue Date ROADWAY PLAN AND PROFILE - SE 29TH ST Sheet Title

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LAND USE APPLICATION Issue 07/20/21 Issue Date PAVING AND HORIZONTAL CONTROL PLAN Sheet Title

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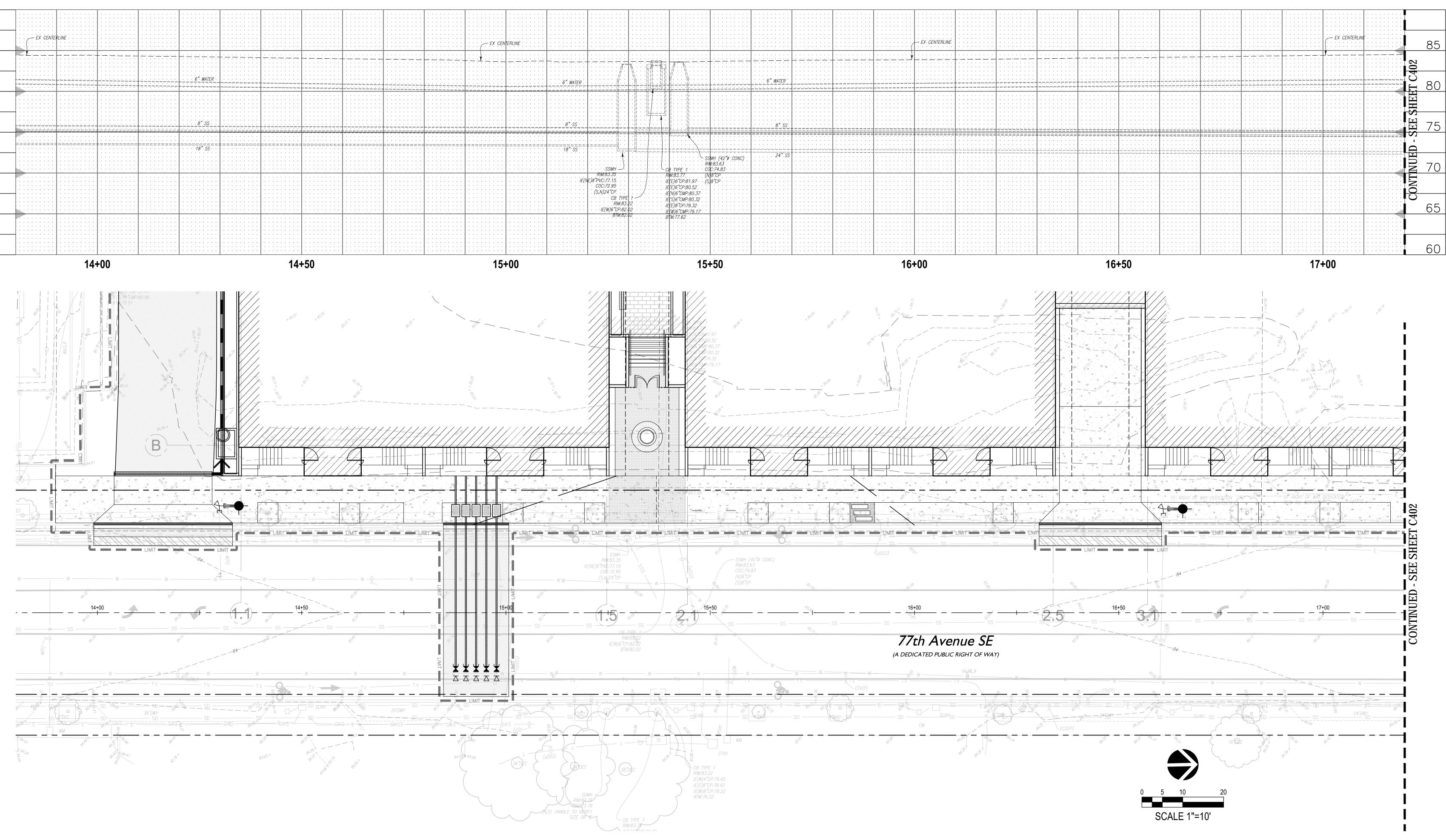
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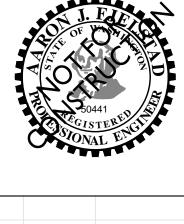
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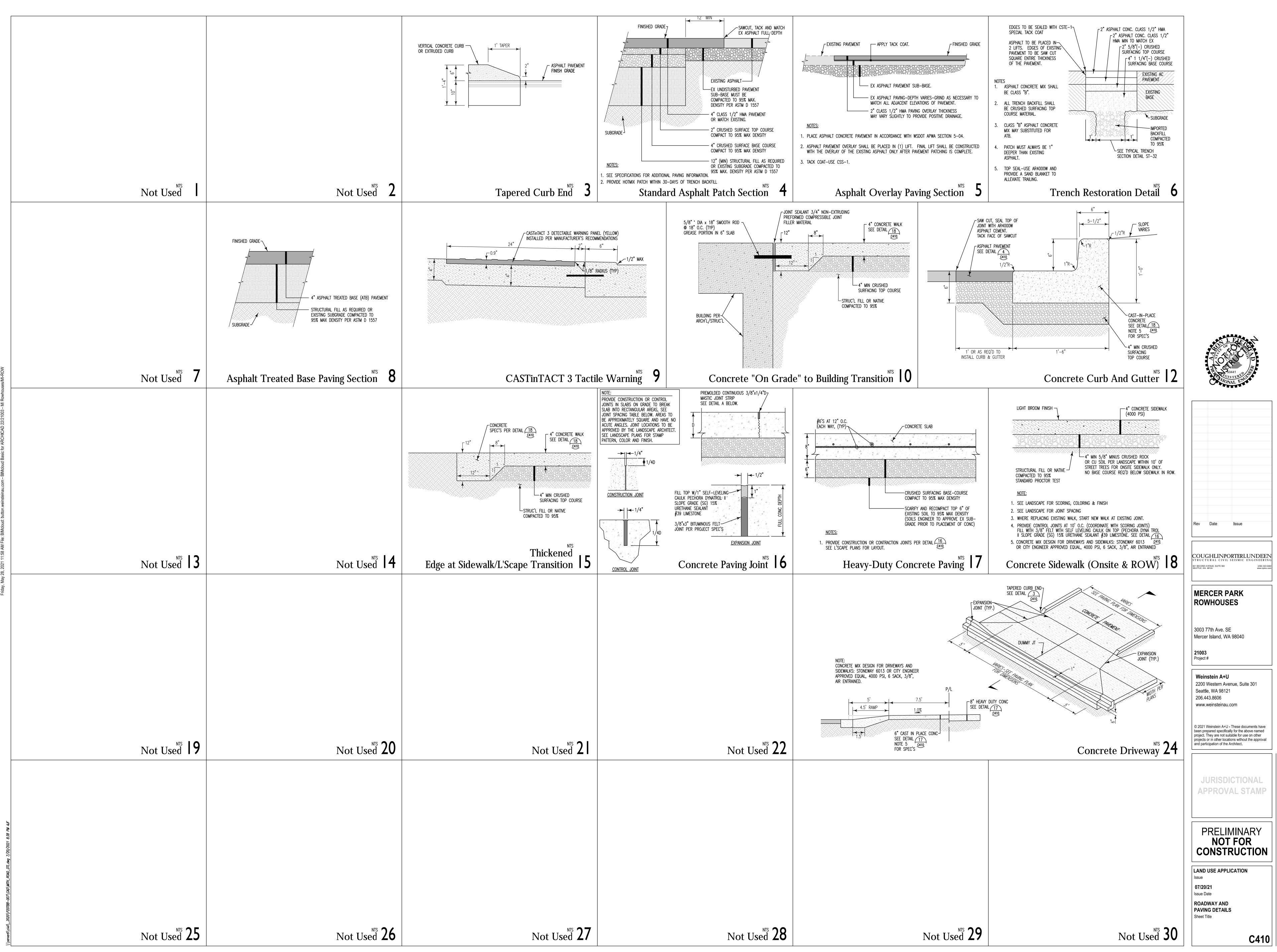
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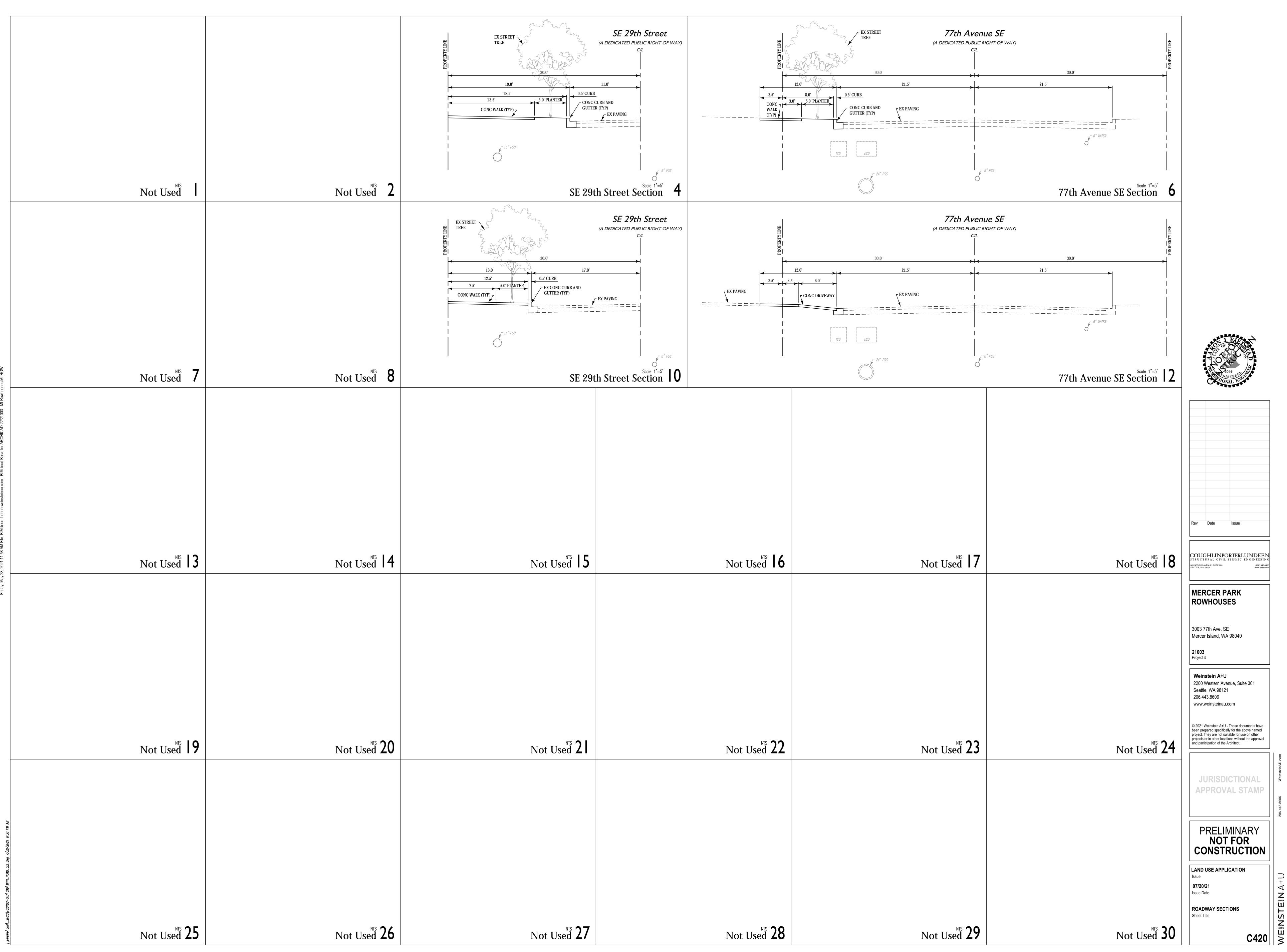
LAND USE APPLICATION Issue 07/20/21 Issue Date

ROADWAY PLAN AND PROFILE - 77TH AVE SE Sheet Title

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## GENERAL NOTES

- 1. PLANS ARE BASED UPON CIVIL DRAWINGS PREPARED BY COUGHLIN PORTER LUNDEEN AND ARCHITECTURAL DRAWINGS PREPARED BY WEINSTEIN A+U ARCHITECTS. CONTRACTOR SHALL REVIEW THESE DOCUMENTS, CONFIRM ALL DIMENSIONS AND ELEVATIONS AND NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES. EITHER ON THE PLANS OR OBSERVED IN THE FIELD PRIOR TO COMMENCING WORK.
- 2. ALL WORK SHALL BE PERFORMED BY QUALIFIED LICENSED CONTRACTORS OR SUBCONTRACTORS HAVING AT LEAST 5 YEARS EXPERIENCE WITH SIMILAR PROJECTS.
- 3. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND PAYING ALL FEES RELATED TO THE SCOPE OF WORK, UNLESS STATED OTHERWISE IN THE CONTRACT.
- 4. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK WITH THAT OF OTHER SUBCONTRACTORS ON THE SITE TO AVOID CONFLICTS WITH WORK SEQUENCE AND DELAYS IN THE PROGRESS OF WORK BY OTHERS.
- 5. CODES AND STANDARDS: ALL WORK SHALL BE IN ACCORDANCE WITH STANDARDS STATED IN THE PROJECT SPECIFICATIONS AND ALL APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL CODES AND ORDINANCES, INCLUDING BUT NOT LIMITED TO:
  - AMERICAN DISABILITIES ACT UNIFORM BUILDING CODE
  - 2015 WASHINGTON BUILDING CODE
  - WASHINGTON STATE BOARD OF CONSUMER AFFAIRS FOR AREAS OF WORK GOVERNED BY APPLICABLE LICENCE REQUIREMENTS CITY OF MERCER ISLAND
  - KING COUNTY
- CONSTRUCTION LAYOUT: CONTRACTOR SHALL STAKE IN THE FIELD ALL ITEMS SHOWN ON THESE PLANS TO BE CONSTRUCTED FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK. IF CONFLICTS BETWEEN PROPOSED CONSTRUCTION AND EXISTING SURFACE AND SUBSURFACE CONDITIONS ARE APPARENT, NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY AND DO NOT PROCEED WITH WORK UNTIL AUTHORIZED TO PROCEED. ALL CHANGES TO PROPOSED CONSTRUCTION WORK MUST BE AUTHORIZED BY LANDSCAPE ARCHITECT IN WRITING. UNAUTHORIZED WORK SHALL BE SUBJECT TO REMOVAL AND PROPERLY CONSTRUCTED IN ACCORDANCE WITH CONDITIONS IDENTIFIED ON THE DRAWINGS AND PROJECT SPECIFICATIONS OR AS AMENDED IN WRITING BY THE LANDSCAPE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
- 7. GRADING AND DRAINAGE: CONTRACTOR SHALL REVIEW AND BE FAMILIAR WITH ALL RELATED PLANS, DRAWINGS AND SPECIFICATIONS PRIOR TO COMMENCING WORK, INCLUDING BUT NOT LIMITED TO: ARCHITECTURAL, CIVIL, STRUCTURAL, PLUMBING MECHANICAL. AND ELECTRICAL DRAWINGS. NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICTS OR OBSTRUCTIONS RELATED TO THE WORK IMMEDIATELY FOR DIRECTIONS OR MODIFICATIONS TO THE PROPOSED PLANS. DO NOT PROCEED WITH WORK WHICH MODIFIES OR CHANGES THE PLANS WITHOUT AUTHORIZATION BY THE OWNER'S REPRESENTATIVE.
- 8. INSPECTIONS: PROVIDE MINIMUM 48 HOURS PRIOR NOTICE TO LANDSCAPE ARCHITECT TO SCHEDULE INSPECTIONS. INSPECTIONS SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING ITEMS. CONTRACTOR TO MAKE EVERY EFFORT TO COMBINE ITEMS FOR INSPECTION WHENEVER POSSIBLE.
- a. PRE-CONSTRUCTION SITE WALK THROUGH
- b. CONSTRUCTION LAYOUT c. GRADING AND FORM WORK
- d. IRRIGATION MAINLINES AND VALVING, PRIOR TO BACK FILLING TRENCHES (INCLUDES
- FULLY PRESSURIZED MAIN LINES) e. IRRIGATION HEAD LAYOUT PRIOR TO INSTALLATION AND PLANTING LAYOUT PRIOR TO INSTALLATION
- f. PRELIMINARY INSPECTION OF FINAL WORK PRIOR TO AUTHORIZING MAINTENANCE PERIOD
- a. FINAL INSPECTION PRIOR TO AUTHORIZING MAINTENANCE PERIOD h. END OF MAINTENANCE PERIOD PRIOR TO AUTHORIZING WARRANTY PERIOD
- 9. SUBMITTALS: CONTRACTOR SHALL ALLOW 21 DAYS REVIEW BY OWNER'S REPRESENTATIVE FOR APPROVAL OF SUBMITTAL ITEMS. CONTRACTOR TO IDENTIFY LEAD TIMES FOR PRODUCTION, MANUFACTURE AND DELIVERY OF ALL SUBMITTAL ITEMS IDENTIFIED IN THE SPECIFICATIONS AND PROVIDE ADEQUATE TIME FOR REVIEW BY OWNER'S REPRESENTATIVE. DELAYS TO THE WORK SCHEDULE RESULTING FROM INADEQUATE TIME TO REVIEW SUBMITTAL ITEMS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

## GRADING NOTES

- 1. ELEVATIONS ARE BASED UPON FINISHED FLOOR ELEVATIONS INDICATED ON ARCHITECTURAL DRAWINGS AND GRADING PLANS BY CIVIL ENGINEER.
- 2. PRIOR TO GRADING, VERIFY EXISTING DRAINAGE STRUCTURES, AND UNDER-SLAB UTILITY LOCATIONS. NOTIFY PROJECT LANDSCAPE ARCHITECT SHOULD CONFLICTS ARISE.
- 3. TRANSITIONS BETWEEN SLOPES AND RELATIVELY FLAT AREAS, WHETHER EXISTING OR NEW, SHALL BE ROUNDED, GRADUAL AND SLOPED TO DRAIN. LOW SPOTS WHICH HOLD WATER WILL NOT BE ACCEPTED.
- 4. PROPOSED PAVING SURFACES SHALL MEET EXISTING PAVED SURFACES WITH A SMOOTH TRANSITION. LOW SPOTS WHICH HOLD STANDING WATER WILL NOT BE ACCEPTED.
- 5. PROVIDE POSITIVE DRAINAGE THROUGHOUT ALL PLANTING AND HARDSCAPE AREAS. ALL PROPOSED CONSTRUCTION SHALL SMOOTHLY CONFORM TO EXISTING STRUCTURES.
- 6. ALL PAVING SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% AND A MINIMUM CROSS SLOPE OF 1% UNLESS OTHERWISE NOTED.
- 7. FINISH GRADES MUST BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO IRRIGATION AND PLANTING WORK.

#### LAYOUT NOTES

- PAVING UNLESS OTHERWISE NOTED.
- 2. VERIFY EXISTING AND NEW UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ANY CONFLICTS OR DISCREPANCIES TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- IF ANY, HAVE BEEN ABANDONED BY EACH SPECIFIC UTILITY COMPANY.
- AUTHORIZATION BY LANDSCAPE ARCHITECT.
- TO CONSTRUCTION.
- EXPANSION JOINTS TO OCCUR AT 20'-0" OC, MINIMUM, AT CONCRETE PAVING UNLESS OTHERWISE NOTED.
- REMOVED & REPLACED AT CONTRACTOR'S EXPENSE.

## PLANTING AND SOIL PREPARATION NOTES

- UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN.
- PROVIDE AGRICULTURAL SOIL ANALYSIS DONE BY A QUALIFIED SOIL-TESTING LEVELS FOR PLANTING AREA.
- 3. ALL SOILS IMPORTED ONTO THE SITE FOR ANY PURPOSE SUCH AS GRADING, FILL, SENT TO THE LANDSCAPE ARCHITECT FOR APPROVAL.
- 4. ALL BOXED MATERIALS SHALL BE HAND-PICKED AND TAGGED BY THE LANDSCAPE ADDITIONAL COST TO THE OWNER.
- 5. PLANT MATERIAL LOCATIONS SHOWN ARE DIAGRAMMATIC AND MAY BE SUBJECT TO IMPEDE ACCESS.
- BY EQUITABLE ADJUSTMENTS IN THE CONTRACT PRICE IF NECESSARY.
- ALL TREES ARE TO BE STAKED AS SHOWN ON THE TREE STAKING DIAGRAMS. ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
- NO COST TO THE OWNER.
- 9. PLANT COUNT IS FOR THE CONVENIENCE OF THE CONTRACTOR. IN CASE OF DISCREPANCIES, THE PLAN SHALL GOVERN.
- SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO ORDERING.
- TO SPECIFICATIONS AND DETAILS FOR ADDITIONAL INFORMATION.
- INITIATION OF POST INSTALLATION YEAR-LONG WARRANTY AND COMPLETED BY LANDSCAPE ARCHITECT VIA SUBMITTAL PROCESS. PLAN SHALL INCLUDE:
- CLIENT GROUP AT TIME OF FINAL PUNCH LIST.
- THE EXPECTED FINAL GROWTH IN WIDTH AND HEIGHT.
- ASSOCIATED WITH THE MERCER ISLAND LOCATION IN LAKE OWNER / CLIENT AT TIME OF WARRANTY COMPLETION.

1. DIMENSIONS ARE TO FACE OF CURB, FACE OF WALL, FACE OF COLUMN, AND EDGE OF

AFTER NOTIFYING UNDERGROUND SERVICE ALERT AND HAVING MARKED & LOCATED UTILITIES, CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE WHICH UTILITIES,

NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS RELATED TO THE WORK IMMEDIATELY FOR DIRECTIONS OR MODIFICATIONS TO THE PROPOSED PLANS. DO NOT PROCEED WITH WORK WHICH MODIFIES OR CHANGES THE DESIGN WITHOUT

5. STAKE PROPOSED IMPROVEMENTS FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR

6. COORDINATE ALL CONSTRUCTION ELEMENTS PRIOR TO INSTALLATION. VERIFY CRITICAL DIMENSIONS, REFERENCE, AND CONSTRUCTION CONDITIONS PRIOR TO INITIATING WORK.

8. THE CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED BY HIS OPERATIONS TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE WITHOUT ANY ADDITIONAL CHARGE.

CONTRACTOR SHALL NOT PLACE ANY PAVING WITHOUT APPROVAL OF FORMWORK BY THE LANDSCAPE ARCHITECT. NOTIFY LANDSCAPE ARCHITECT IF THERE IS ANY DISCREPANCY BETWEEN EXISTING CONDITIONS & PROPOSED GRADING OR LAYOUT. ANY UN-APPROVED CONCRETE POURED NOT CONSISTENT WITH PLANS OR EXISTING CONDITIONS WILL BE

1. ALL WORK SHALL BE PERFORMED BY PERSONS FAMILIAR WITH PLANTING WORK AND

2. SOIL MANAGEMENT REPORT: UPON COMPLETION OF MASS GRADING, CONTRACTOR TO LABORATORY. SOIL ANALYSIS TO INCLUDE SOIL TEXTURE, INFILTRATION RATE, pH, TOTAL SOLUBLE SALTS, SODIUM, ESSENTIAL NUTRIENTS, AND PERCENT ORGANIC MATTER. SOIL ANALYSIS LAB TO MAKE RECOMMENDATIONS FOR AMENDING THE TOPSOIL WITH COMPOST TO BRING ORGANIC MATTER TO A MINIMUM OF 5% DRY WEIGHT (3.5% AT TURF AREAS) WITH A MINIMUM OF 4 CUBIC YARDS COMPOST PER 1000 SQUARE FEET (1.3" COMPOST PER 1000sf) AND INCORPORATING NON-SYNTHETIC FERTILIZERS TO RECOMMENDED

NON-EXPANSIVE FILL, ETC, AND PLACED IN PLANTING AREAS SHALL BE TESTED PER THE AGRICULTURAL SOIL ANALYSIS PROCEDURE AS NOTED ABOVE. TESTING SHALL OCCUR PRIOR TO PLACEMENT, AND TEST RESULTS, RECOMMENDATIONS, AND SAMPLES

ARCHITECT AT THEIR PLACE OF ORIGIN. BOXED MATERIALS PLANTED WITHOUT SELECTION BY LANDSCAPE ARCHITECT MAY BE SUBJECT TO REMOVAL AND REPLACEMENT AT NO

CHANGE IN THE FIELD BY THE LANDSCAPE ARCHITECT. PLANT LOCATIONS ARE TO BE ADJUSTED IN THE FIELD AS NECESSARY TO SCREEN UTILITIES BUT NOT SIGNS NOR TO

6. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO MAKE SUBSTITUTIONS, ADDITIONS, AND DELETIONS IN THE PLANTING SCHEME AS THEY FEEL NECESSARY WHILE WORK IS IN PROGRESS UPON APPROVAL OF THE OWNER. SUCH CHANGES ARE TO BE ACCOMPANIED

BRANCHING HEIGHT OF TREES SHALL BE A 6'-0" MINIMUM ABOVE FINISH PAVING. ALL TREES IN A FORMAL GROUP PLANTING SHALL BE MATCHING IN SIZE AND SHAPE LANDSCAPE ARCHITECT SHALL BE CONSULTED REGARDING ORIENTATION OF TREES PRIOR TO PLANTING AND/OR BACKFILLING. TREES INSTALLED WITHOUT THIS APPROVAL WILL BE SUBJECT TO REMOVAL AND REPLANTING TO THE SATISFACTION OF THE LANDSCAPE

8. TREES MUST HAVE AN UNCUT LEADER WITH A UNIFORM TAPER FROM BASE TO TIP. TREES MUST MEET AT LEAST NORMAL CALIPER AND HEIGHT FOR CONTAINER SIZE. TREES WHICH ARE OVERGROWN, UNDERSIZED, ROOT BOUND, OR WITH CO-DOMINANT LEADERS ARE NOT ACCEPTABLE AND SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT

10. ALL PLANTING AREAS SHALL BE TOP-DRESSED WITH A 3" LAYER OF MULCH. SUBMIT

11. ALL TREES WITHIN 5'-0" OF PAVING SHALL HAVE 24" DEEP ROOT BARRIERS. REFER

12. PLANTING MAINTENANCE PLAN AND MANUAL SHALL BE DEVELOPED AND FINALIZED BY CONTRACTOR AT TIME OF FINAL INSPECTION, APPROVED PRIOR TO OCCUPANCY OF PROJECT AND IN CONJUNCTION WITH THE MAINTENANCE PERIOD. REVIEW AND APPROVAL OF PLAN SHALL BE

A. WEEKLY WATERING SCHEDULES ASSIGNED TO AUTOMATIC CONTROLLER AND CONTROLLER USE GUIDES AND TRAINING BY INSTALLATION TEAM. IRRIGATION AS-BUILT AND DIAGRAMMATIC ZONING AS INSTALLED BY CONTRACTOR. ALL DOCUMENTS SHALL BE PROVIDED TO OWNER /

QUARTERLY PLANT PRUNING AND TRAINING GUIDES FOR THE FIRST YEAR OF ESTABLISHMENT, INCLUDING A PLANT IDENTIFICATION MANUAL FOR ALL PLANTS INSTALLED AND VISUAL REFERENCE FOR PLANTS AT

C. INTEGRATED PEST MANAGEMENT (IPM) BEST PRACTICES TO LIMIT USE OF PESTICIDES AND WEED CONTROLLING AGENTS THAT ARE HARMFUL TO THE SURROUNDING ENVIRONMENTS AND WATER COURSES

WASHINGTON. REFER TO KING COUNTY PESTICIDE MANAGEMENT

PRACTICES FOR ALLOWABLE SUBSTANCES AND MATERIALS IN WEED AND PEST MANAGEMENT. PROVIDE BEST PRACTICES FOR PROJECT TO

## EXISTING TREE PROTECTION NOTES

- PRIOR TO AND DURING DEMOLITION, GRADING AND CONSTRUCTION, ALL TREES NOTED ON THE DRAWINGS SHALL BE PROTECTED BY FENCING INSTALLED OUTSIDE THE EXISTING DRIPLINE OF THE TREE, OR AS OTHERWISE SHOWN ON THE DRAWINGS. FENCING MAY OCCUR AT THE COMBINED DRIPLINES OF GROVES OF TREES.
- EXISTING TREE DRIPLINES ARE SHOWN DIAGRAMMATICALLY ON THE PLANS; TREE PROTECTION FENCING INDICATED AT THEIR PERIMETER IS LIKEWISE DIAGRAMMATIC. THE LENGTH OF ALL TREE PROTECTION FENCING IS TO BE MEASURED IN THE FIELD ACCORDING TO THE TRUE SHAPE AND DIAMETER OF TREE DRIPLINES.
- FENCING SHALL BE SIX FOOT HIGH CHAIN LINK WITH STEEL POSTS EMBEDDED IN THE GROUND. ALL FENCE SECTIONS SHALL BE CLEARLY MARKED WITH A SIGN STATING, "TREE PROTECTION ZONE."
- 4. FENCING SHALL REMAIN IN PLACE THROUGHOUT THE CONSTRUCTION PERIOD UNTIL FINAL LANDSCAPE INSPECTION BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT.
- 5. 3" DEEP MULCH IS TO BE PLACED BENEATH THE DRIPLINE OF ALL TREES SHOWN TO BE PROTECTED WITH FENCING.
- 6. NO GRADING OR CONSTRUCTION WORK SHALL OCCUR WITHIN THE DRIPLINE OF EXISTING TREES, WHETHER SHOWN WITH TREE PROTECTION FENCING OR NOT. IF EXCAVATION WITHIN THE DRIPLINE IS NECESSARY, THE CONTRACTOR SHALL HAND DIG UNDER THE DIRECTION OF A CERTIFIED ARBORIST. THE CONTRACTOR SHALL HAVE A CERTIFIED ARBORIST ON SITE TO MONITOR ALL ROOT PRUNING AND BRANCH PRUNING OF EXISTING TREES.
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- 11. THE CONTRACTOR IS REQUIRED TO WATER, FERTILIZE, AND ATTEND TO ALL MAINTENANCE NEEDS OF ANY BOXED TREES TO BE TRANSPLANTED. BEFORE AND AFTER TRANSPLANTING, THROUGHOUT THE CONSTRUCTION PERIOD.
- 12. UNAUTHORIZED TREE REMOVAL IS SUBJECT TO REPLACEMENT EQUAL TO THE APPRAISED VALUE OF THE TREE LOST.
- 13. ALL PRUNING SHALL BE APPROVED BY AND PERFORMED UNDER THE SUPERVISION OF A LICENSED ARBORIST.

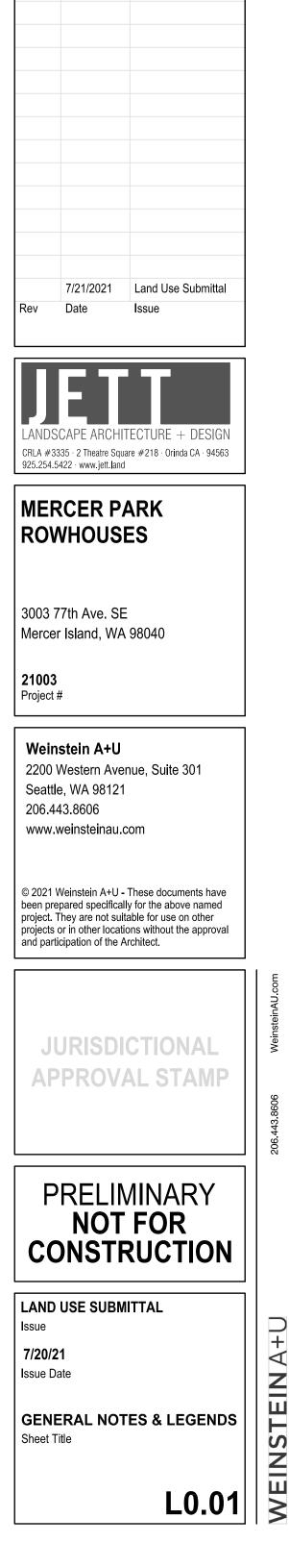
## ABBREVIATIONS

| ADJ  | ADJACENT               | PN    | PROJECT NORTH             |
|------|------------------------|-------|---------------------------|
| AGG  | AGGREGATE              | POB   | POINT OF BEGINNING        |
| AL   | ALIGN                  | PTDS  | PRESSURE TREATED DOUG     |
| BR   | BOTTOM OF RAMP         | FIR   |                           |
| BS   | BOTTOM OF STAIR        | R     | RISER                     |
| BW   | BOTTOM OF WALL         | RE    | RIM ELEVATION             |
| СВ   | CATCH BASIN            | RWD   | REDWOOD                   |
| CIP  | CAST IN PLACE          | SAD   | SEE ARCHITECT'S DRAWINGS  |
| CJ   | CONTROL JOINT          | SCD   | SEE CIVIL ENGINEER'S      |
| CL   | CENTERLINE             |       | DRAWINGS                  |
| CLR  | CLEARANCE              | SDS   | STORM DRAIN SYSTEM        |
| СО   | CLEAN OUT              | SED   | SEE ELECTRICAL ENGINEER'S |
| CONC | CONCRETE               |       | DRAWINGS                  |
| CONF | CONFIGURATION          | SD    | STORM DRAIN               |
| CONT | CONTINUOUS             | SIM   | SIMILAR                   |
| DG   | DECOMPOSED GRANITE     | SJ    | SCORE JOINT               |
| DWG  | DRAWING(S)             | SMD   | SEE MECHANICAL ENGINEER'S |
| (E)  | EXISTING               |       | DRAWINGS                  |
| EJ   | EXPANSION JOINT        | SPD   |                           |
| EQ   | EQUAL                  | SPECS |                           |
| EW   | EACH WAY               | SS    |                           |
| FF   | FINISH FLOOR           | SSTL  | STAINLESS STEEL           |
| FG   | FINISHED GRADE         | SSD   | SEE STRUCTURAL ENGINEER'S |
| FOB  | FACE OF BUILDING       |       | DRAWINGS                  |
| FOW  | FACE OF WALL           | STL   | STEEL                     |
| FP   | FINISH PAVING          | TC    | TOP OF CURB               |
| GB   | GRADE BREAK            | TF    | TOP OF FENCE              |
| GFRC | GLASS FIBER REINFORCED | THLD  | THRESHOLD                 |
|      | CONCRETE               | ТМ    | THERMALLY MODIFIED        |
| HP   | HIGH POINT             | TP    | TOP OF PLANTER            |
| HPS  | HIGH POINT SWALE       | TR    | TOP OF RAMP               |
| INV  | INVERT                 | TS    | TOP OF STAIR              |
| LT   | LIGHT                  | ΤW    | TOP OF WALL               |
| MAX  | MAXIMUM                | TYP   | TYPICAL                   |
| MIN  | MINIMUM                | UON   | UNLESS OTHERWISE NOTED    |
| MFR  | MANUFACTURER           | VIF   | VERIFY IN FIELD           |
| NTS  | NOT TO SCALE           | WPM   | WATERPROOF MEMBRANE       |
| OC   | ON CENTER              | WP    | WATERPROOFING             |
| PA   | PLANTING AREA          | WRC   | WESTERN RED CEDAR         |
|      |                        |       |                           |

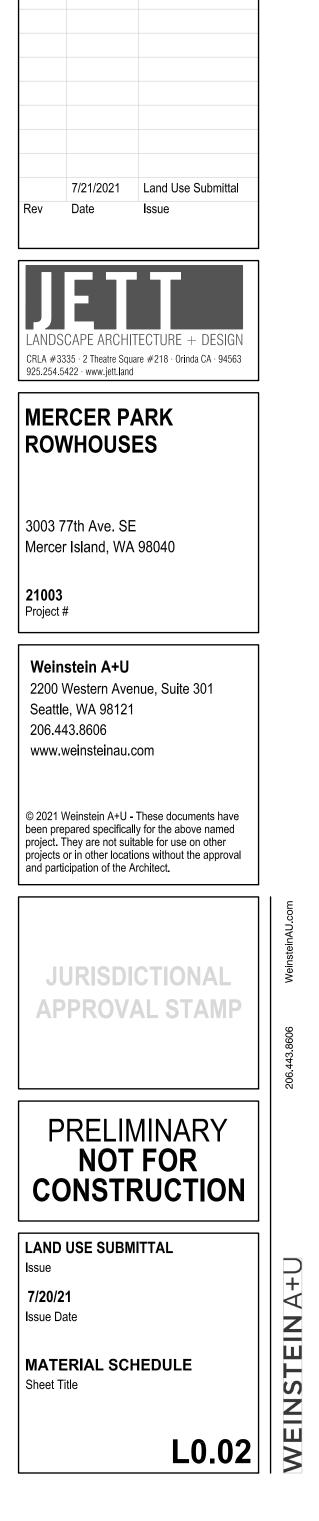
## SYMBOLS LEGEND

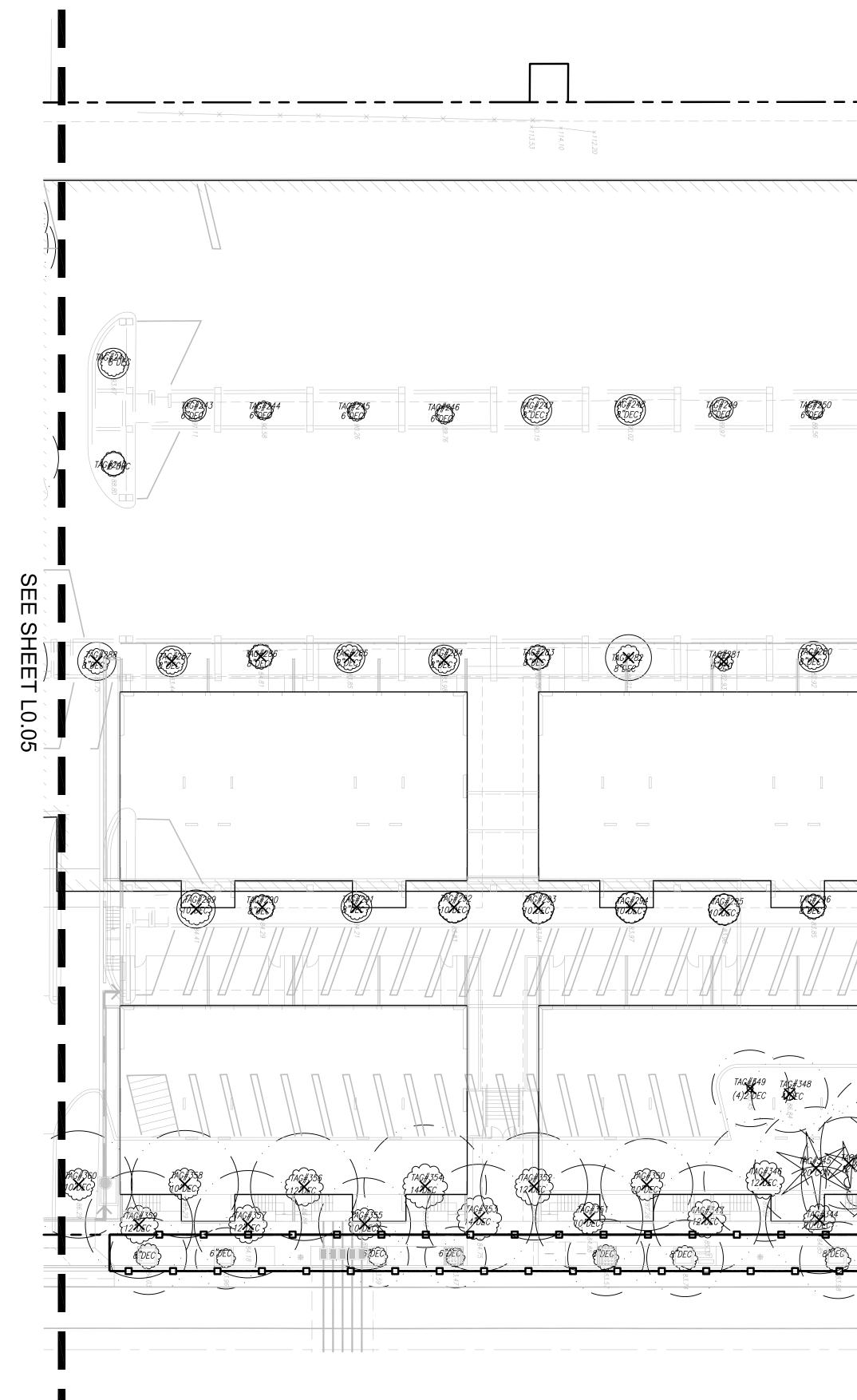
| X-X          | KEY LETTER- $\#$ , SEE SCHEDULE OF MATERIAL | _S      |
|--------------|---|---------|
|              | CONCRETE PAVING                             | P-1     |
|              | UNIT PAVING – TYPE 1                        | P-2     |
|              | PEDESTAL PAVING – TYPE 1 –                  | P-3     |
|              | PEDESTAL PAVING – TYPE 2                    | P-4     |
|              | PEDESTAL PAVING – TYPE 3 –                  | P-5     |
|              | PEDESTAL PAVING – TYPE 4 –                  | P-6     |
| <del>D</del> | TREE UPLIGHT                                | L-1     |
| <u>_}</u>    | WALL/STEP LIGHT                             | L-2     |
|              | METAL BAR & BISTRO SEATING                  | SF-1    |
|              | STREETSCAPE FURNITURE                       | SF-2    |
|              | BENCH                                       | SF-3    |
|              | TREE PLANTER BENCH                          | SF-4    |
|              | METAL PLANTER                               | SF-6A-D |
|              | STREET TREE BENCH                           | SF-7    |
|              | METAL BENCH PLANTER                         | SF-8    |
|              | TABLE & CHAIRS                              | SF-9    |
|              | BIKE RACK                                   | SF-10   |

| SHEET           | LIST TABLE                     |
|-----------------|--------------------------------|
| SHEET<br>NUMBER | SHEET TITLE                    |
| L0.01           | GENERAL NOTES & LEGENDS        |
| L0.02           | MATERIAL SCHEDULE              |
| L0.04           | TREE REMOVAL & MITIGATION PLAN |
| L0.05           | TREE REMOVAL & MITIGATION PLAN |
| L1.01           | LANDSCAPE CONSTRUCTION PLAN    |
| L8.01           | PRECEDENT & MATERIAL IMAGES    |
| L10.01          | PLANTING PLAN                  |
| L10.02          | PLANTING DETAILS               |
| L10.03          | HYDROZONE PLAN                 |



| KEY DESCRIPTION                   | DETAIL   | QTY. | COLOR                     | FINISH/MATERIAL               | MFG./ SUPPLIER      | PRODUCT   | COMMENTS   |
|-----------------------------------|----------|------|---------------------------|-------------------------------|---------------------|---|--|
| PAVING AND PAVING ACCESSORIES     |          |      |                           |                               |                     |   |  |
| P-1 CONCRETE PAVING               | 1/L8.01  | _    | NATURAL                   | LIGHT BROOM                   | -                   | _   | SCD FOR SIDEWALK PAVING. TOOLED JOINTS                         |
| P-2 UNIT PAVING - TYPE 1          | 2/L8.01  | _    | GRAY                      | TEXTURED                      | BELGARD             | MELVILLE PLANK, SLIM & LARGE PLANK<br>SIZES           | 40% SLIM PATTERN; 60% LARGE PATTERN                            |
| P–3 PEDESTAL PAVING – TYPE 1      | 3/L8.01  | -    | 60% GRAY; 40%<br>CHARCOAL | TEXTURED                      | MUTUAL MATERIALS    | 2'X2' TILE – VANCOUVER BAY                            | BISON PEDESTALS  |
| P–4 PEDESTAL PAVING – TYPE 2      | 4/8.01   | _    | 70% GRAY; 30%<br>CHARCOAL | TEXTURED                      | MUTUAL MATERIALS    | 1'X2' TILE – VANCOUVER BAY                            | BISON PEDESTALS  |
| P–5 PEDESTAL PAVING – TYPE 3      | 5/8.01   | _    | _                         | BLACK LOCUST/IPE              | BISON OR EQUAL      | 2'X2' IPE TILES ON PEDESTAL                           | BISON PEDESTALS  |
| P-6 PEDESTAL PAVING - TYPE 4      | 6/8.01   | _    | LIMESTONE                 | ANTI-SLIP & SEALED            | MUTUAL MATERIALS    | 2'X2' PORCELAIN TILES                                 |  |
| WALLS AND LANDSCAPE FEATURES      |          |      |                           |                               | 1                   | 1   |  |
| W-1 PLANTER WALL                  | SSD      | _    | NATURAL                   | LT SANDBLAST                  | _                   | CIP CONCRETE  | WALLS ABOVE 36" HT SHALL BE DESIGNED<br>BY STRUCTURAL ENGINEER |
| W-2 BIO-RETENTION PLANTER         | 7/L8.01  | _    | NATURAL                   | LT SANDBLAST                  | _                   | CIP CONCRETE  | WALLS ABOVE 36" HT SHALL BE DESIGNED<br>BY STRUCTURAL ENGINEER |
| LIGHTING                          |          |      |                           |                               |                     |   | 1  |
| L-1 TREE UPLIGHT                  |          |      |                           |                               |                     |   |  |
| L-2 WALL/STEP LIGHT               |          |      |                           |                               |                     |   |  |
| SITE FURNISHINGS                  |          |      |                           |                               |                     |   |  |
| SF-1 METAL BAR AND BISTRO SEATING | 8/L8.01  | _    | BY OWNER                  |                               |                     |   | MOUNT PER MFR RECOMMENDATIONS                                  |
| SF-2 STREETSCAPE FURNITURE        | 9/L8.01  |      | RAL 1021                  | STEEL, WOOD                   | VESTRE              | BLOC CHAIR, BLOC LOW TABLE                            | MOUNT PER MFR RECOMMENDATIONS                                  |
| SF-3 BENCH                        |          |      | _                         | WOOD SLAB, STEEL<br>FRAME     |                     |   |  |
| SF-4 TREE PLANTER BENCH           | 10/L8.01 |      | TBD                       | POWDER COAT /<br>NATURAL WOOD | STREETLIFE          | GREEN CIRCULAR BENCH<br>GCB-D230-85-PC                |  |
| SF-5 TRELLIS                      | SAD      | -    | _                         | _                             |                     |   | 48" TALL – 2'X2' WWM WOOD FRAME                                |
| SF—6A METAL PLANTER               | 11/L8.01 |      | RUST                      | POWDER COAT                   | TOURNESOL SITEWORKS | WILSHIRE STEEL: WWR-WS603030                          |  |
| SF–6B METAL PLANTER               | 11/L8.01 |      | RUST                      | POWDER COAT                   | TOURNESOL SITEWORKS | WILSHIRE STEEL: WWR-WS963030                          |  |
| SF—6C METAL PLANTER               | 11/L8.01 |      | TBD                       | POWDER COAT                   | TOURNESOL SITEWORKS | WILSHIRE STEEL: WWR-WS1203030                         |  |
| SF–6D METAL PLANTER               | 11/L8.01 |      | TBD                       | POWDER COAT                   | TOURNESOL SITEWORKS | WILSHIRE STEEL: WWR-WS606030                          |  |
| SF-7 STREET TREE BENCH            | 12/L8.01 |      | TBD                       | POWDER COAT /<br>NATURAL WOOD | STREETLIFE          | SOLID GRILLE BENCH                                    |  |
| SF-8 METAL BENCH PLANTER          | 13/L8.01 |      | TBD                       | POWDER COAT /<br>NATURAL WOOD | STREETLIFE          | ROUGH AND READY BIG GREEN BENCHES<br>R&R-BGB-S-250-90 |  |
| SF-9 TABLE & CHAIRS               |          |      |                           |                               |                     |   |  |
| SF-10 BIKE RACK                   | 14/8.01  |      |                           | STAINLESS STEEL               | SPORTSWORKS         | TOFINO NO-SCRATCH, SURFACE MOUNT                      |  |
| MISCELLANEOUS                     |          |      |                           |                               | ,                   | 1   | 1  |
| M-1 MULCH                         | _        | _    | NATURAL, UNDYED           | TREE TRIMMINGS                | RECOLOGY            | CEDAR GROVE   | 3" DEPTH   |
| M–2 PAVER EDGE CONSTRAINT         |          |      | BLACK                     | DURAFLEX ALUMINUM             | PERMALOC            | PERMEABLE GEOEDGE W/GEOGRID APRON                     |  |

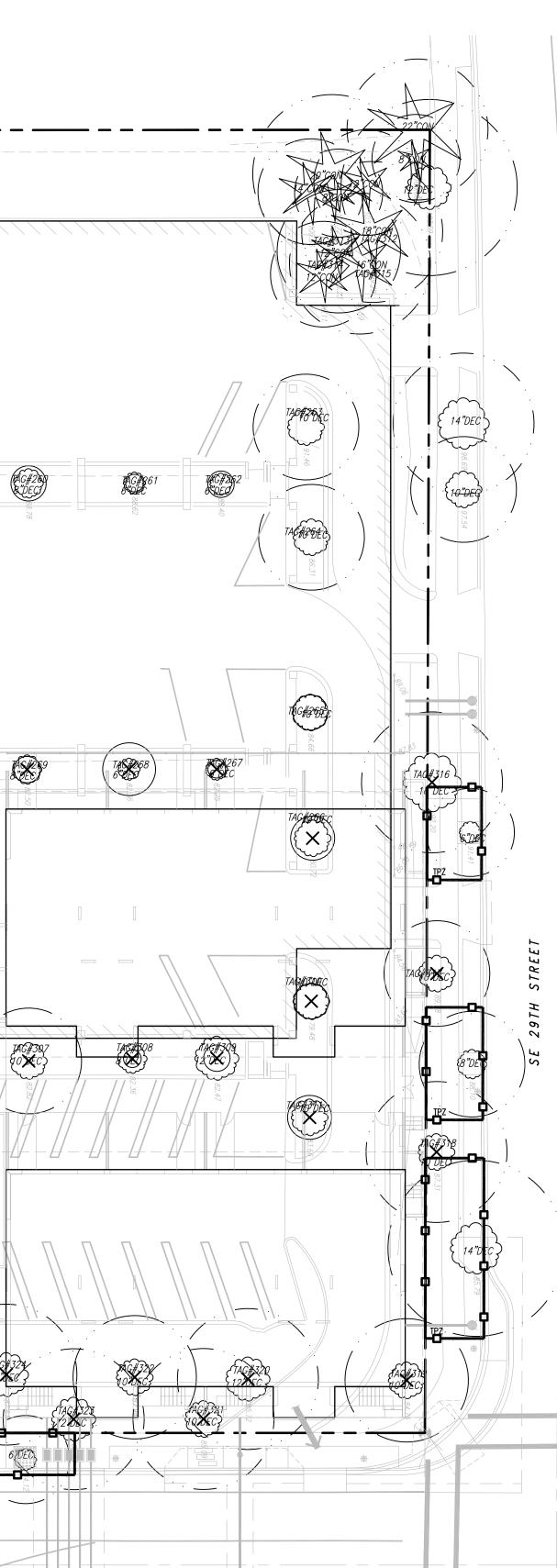




|  | - PROPERTY - LIN   | NE — — — —     |       | - <u>-</u> - <u>-</u> |       |        | • — |
|--|--------------------|----------------|-------|-----------------------|-------|--------|-----|
|  | TAG#254            | 88.99<br>88.99 | 80 04 | CH23<br>TOE<br>BR 70  | TA 17 | 50. 17 |     |
|  |                    |                |       |                       |       |        |     |
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| DIAMETER OF REMOVED TREE<br>(MEASURED 4.5' ABOVE<br>GROUND)                        | TREE<br>REPLACEMENT<br>RATIO | NUMBER OF<br>PROPOSED<br>TREES | NUMBER OF TREES REQUIRED<br>FOR REPLACEMENT BASED ON<br>SIZE/TYPE |  |  |  |
|--|------------------------------|--------------------------------|---|--|--|--|
| LESS THAN 10"*   | 1                            | 42                             | 0   |  |  |  |
| 10" UP TO 24"  | 2                            | 48                             | 96  |  |  |  |
| GREATER THAN 24" UP TO 36"   | 36" 3 2 6                    |                                | 6   |  |  |  |
| GREATER THAN 36" AND ANY<br>EXCEPTIONAL TREE                                       | 6                            | 1                              | 6   |  |  |  |
| TOTAL TREE REPLACEMENTS 108  |                              |                                |   |  |  |  |
| TOTAL PROPOSED REPLACEMENT TREES 23  |                              |                                |   |  |  |  |
| * NO REPLACEMENT TREE IS NE<br>LESS THAN 10" IN DIAMETER, N<br>FROM ANOTHER PERMIT |                              |                                |   |  |  |  |
| PER MICC 19.10.010 C.2 A MIN<br>RETAINED.  | IMUM OF 30 PEI               | RCENT OF THE                   | TREES WILL NEED TO BE   |  |  |  |

SEE L10.01 FOR PROPOSED LOCATIONS OF NEW TREES



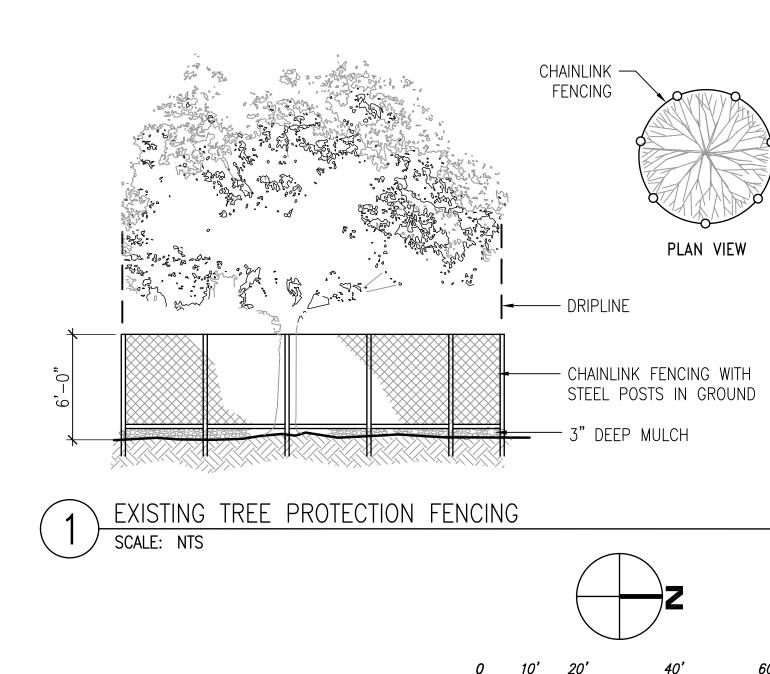
| TREE TO REMAIN   |
|--|
| TREE TO BE REMOVED                                       |
| TAG #92 TREE TAG NUMBER AND TRUNK DIAMETER AT 54"<br>27" |

LEGEND

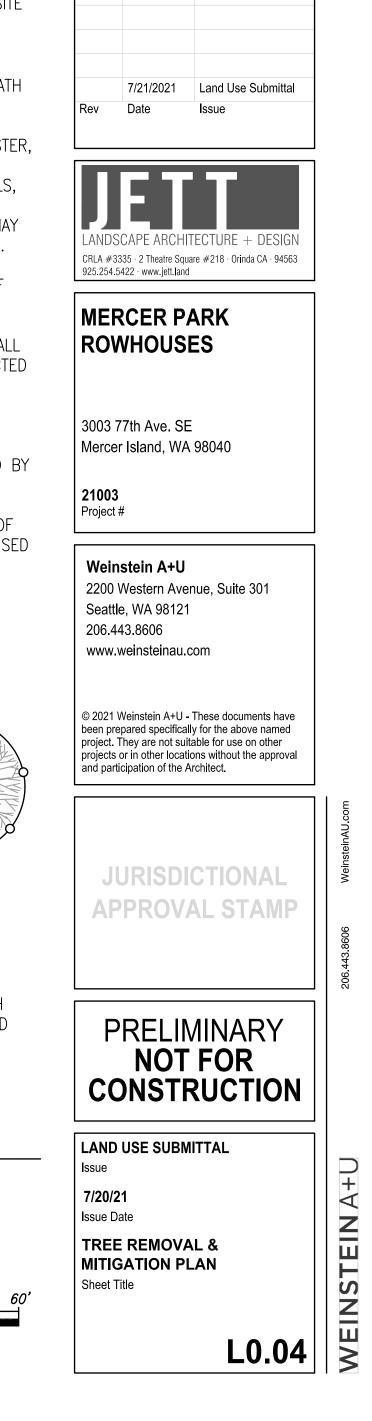
## EXISTING TREE PROTECTION NOTES

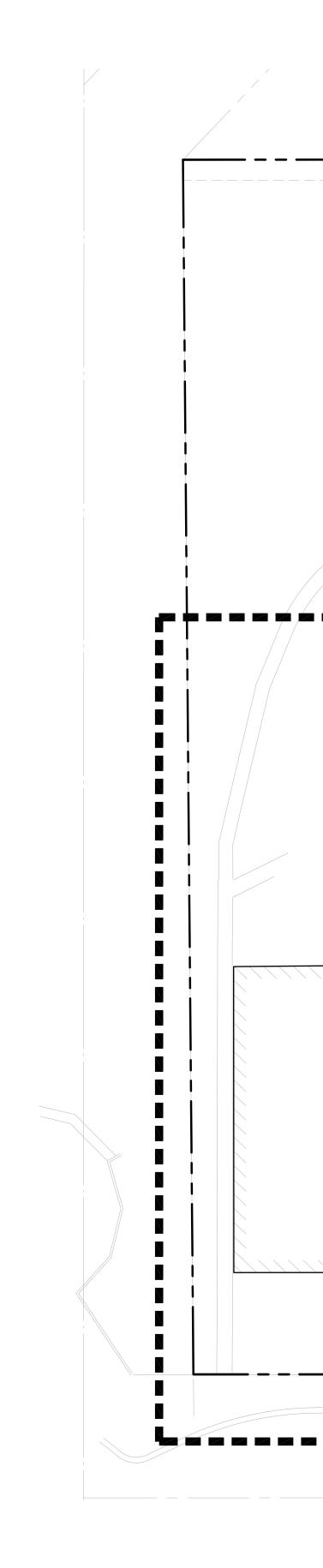
27"

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- 12. ALL RIGHT OF WAY TREE PRUNING SHALL BE APPROVED BY THE CITY OF MERCER ISLAND AND PERFORMED UNDER THE SUPERVISION OF A LICENSED ARBORIST.
- 13. SEE ALSO CIVIL DEMOLITION PLAN, SHEET C100.

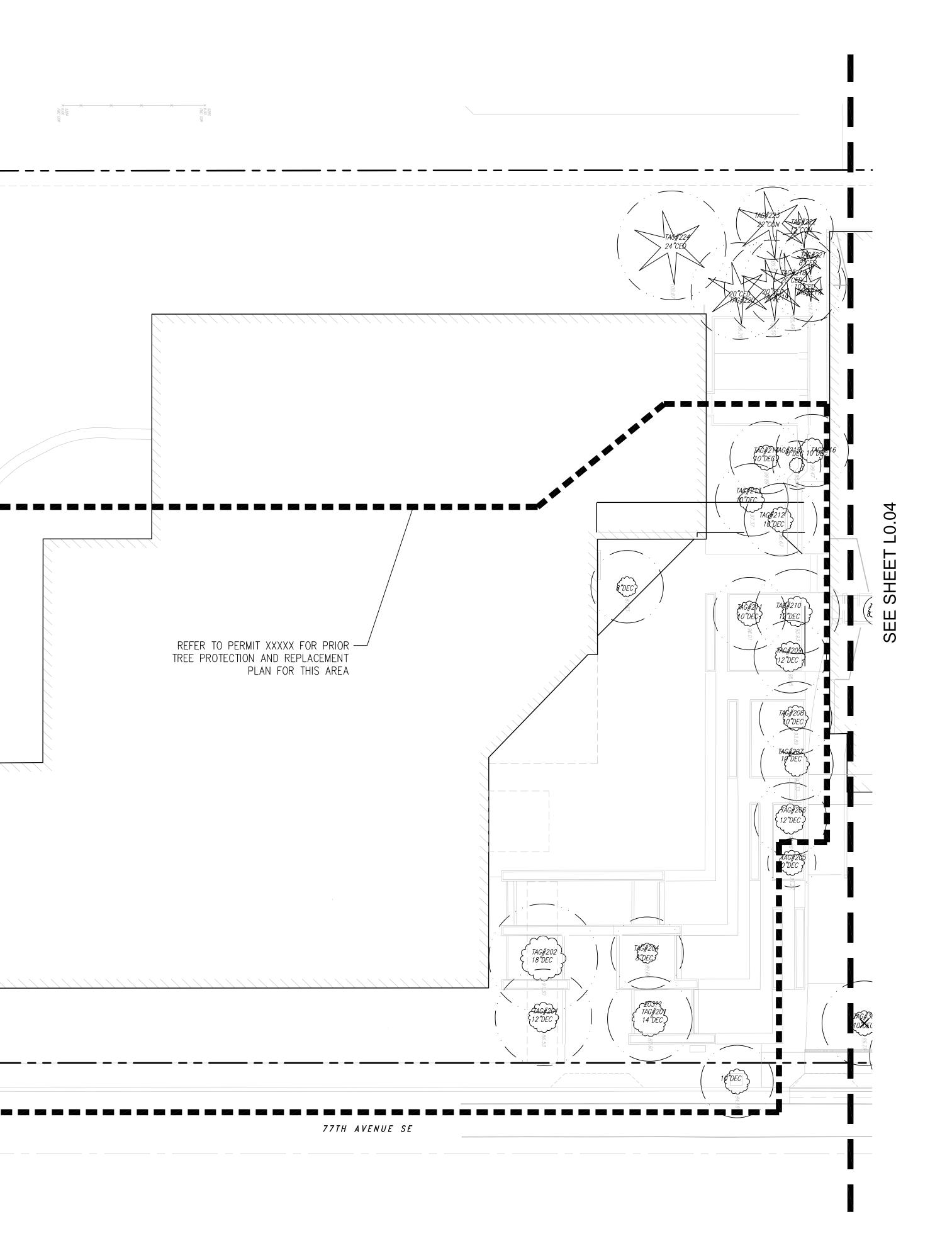


SCALE: 1'' = 20' - 0''

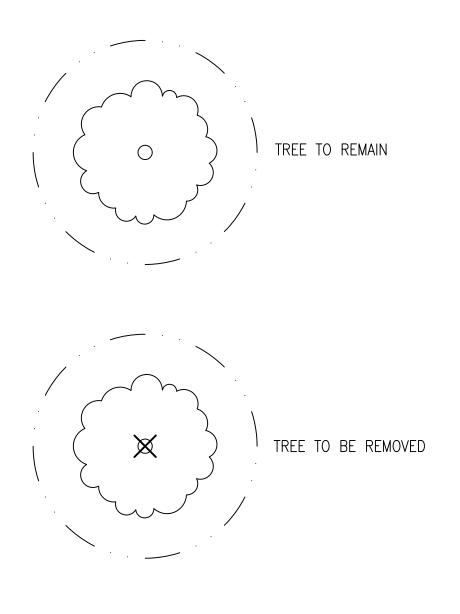




| DIAMETER OF REMOVED TREE<br>(MEASURED 4.5' ABOVE<br>GROUND)  | TREE<br>REPLACEMENT<br>RATIO | NUMBER OF<br>PROPOSED<br>TREES | NUMBER OF TREES REQUIRED<br>FOR REPLACEMENT BASED ON<br>SIZE/TYPE |  |  |  |  |
|--|------------------------------|--------------------------------|---|--|--|--|--|
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| GREATER THAN 24" UP TO 36"   | 4" UP TO 36" 3 2             |                                | 6   |  |  |  |  |
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| TOTAL TREE REPLACEMENTS 108  |                              |                                |   |  |  |  |  |
| TOTAL PROPOSED REPLACEMENT TREES 23  |                              |                                |   |  |  |  |  |
| * NO REPLACEMENT TREE IS NEEDED IF THE TREE FITS ALL OF THE FOLLOWING:<br>LESS THAN 10" IN DIAMETER, NOT AN EXCEPTIONAL TREE AND NOT A REPLACEMENT TREE<br>FROM ANOTHER PERMIT |                              |                                |   |  |  |  |  |
| PER MICC 19.10.010 C.2 A MIN<br>RETAINED.  | IMUM OF 30 PEI               | RCENT OF THE                   | TREES WILL NEED TO BE   |  |  |  |  |
| SEE L10.01 FOR PROPOSED LO   | CATIONS OF NEW               | TREES                          |   |  |  |  |  |
|  |                              |                                |   |  |  |  |  |



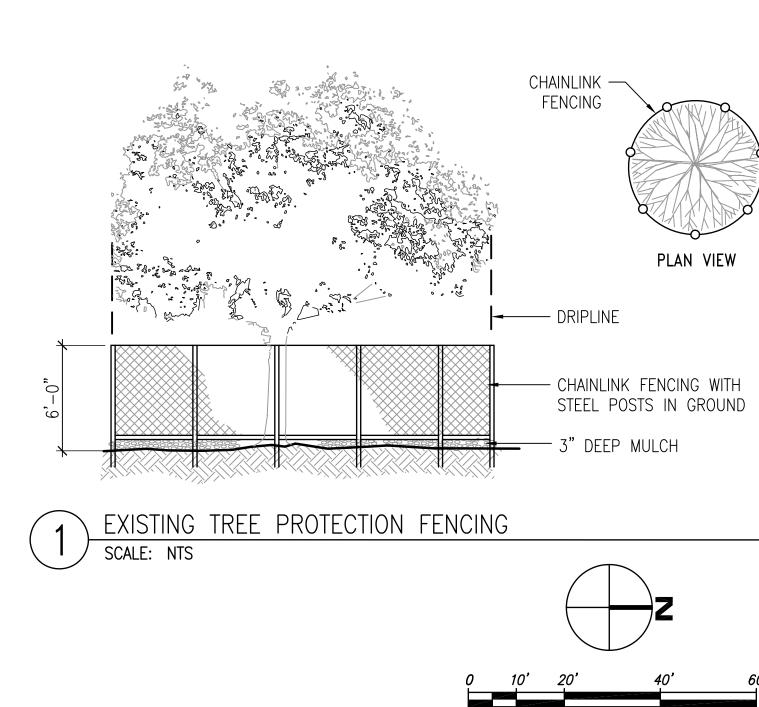
### LEGEND



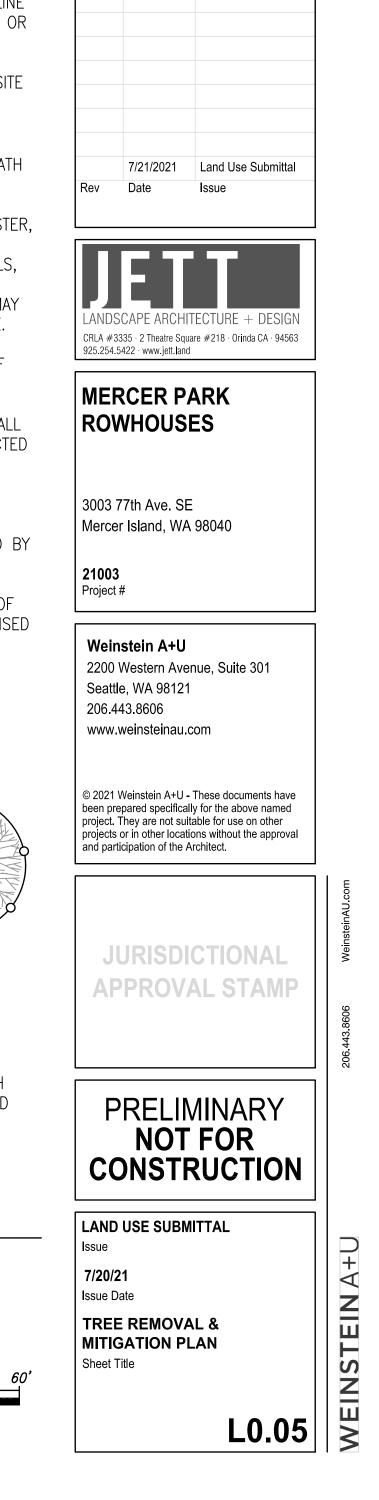
TAG #92 TREE TAG NUMBER AND TRUNK DIAMETER AT 54" ABOVE GRADE, TYP

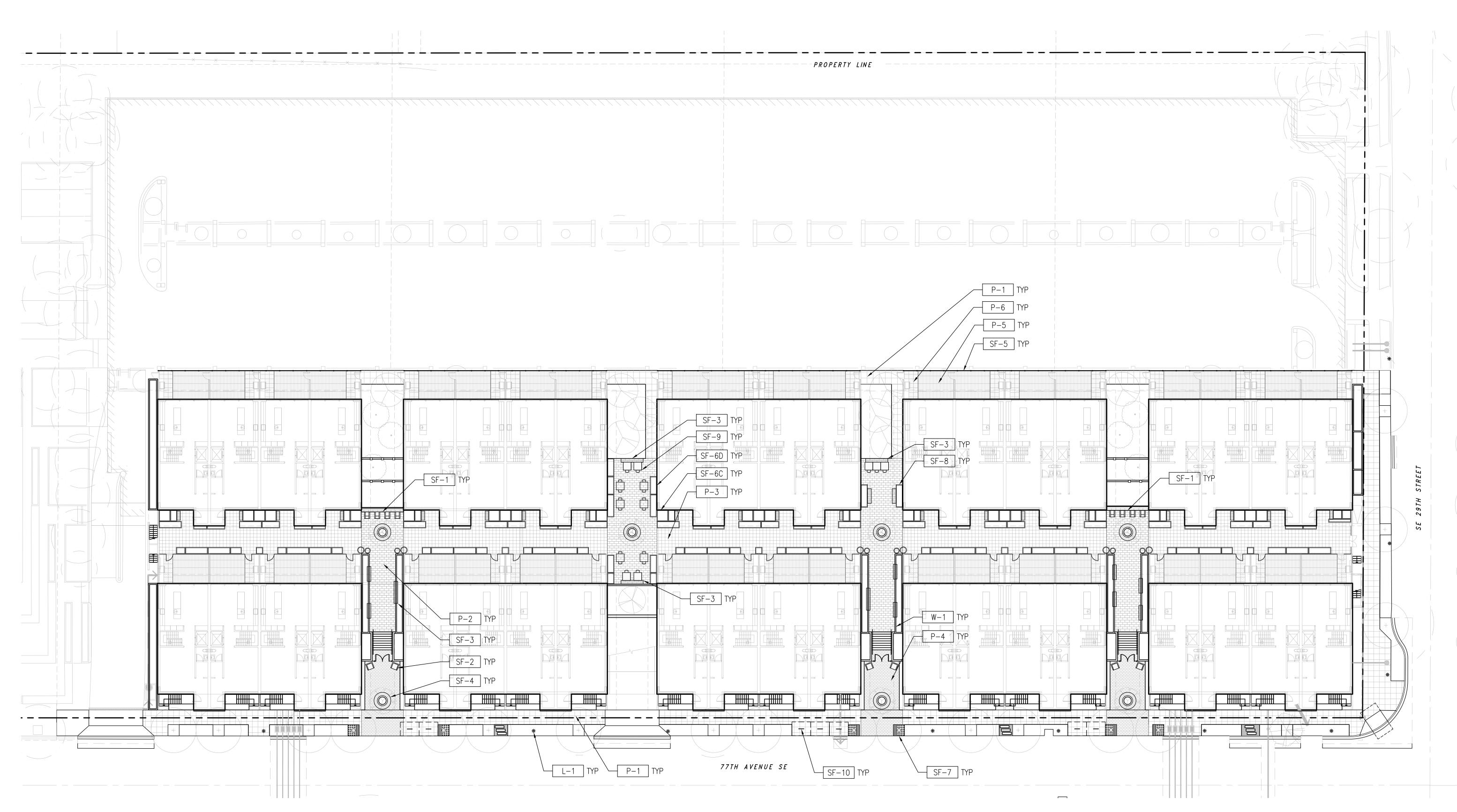
## EXISTING TREE PROTECTION NOTES

- 1. PRIOR TO AND DURING DEMOLITION, GRADING AND CONSTRUCTION, ALL TREES NOTED ON THE DRAWINGS SHALL BE PROTECTED BY FENCING INSTALLED OUTSIDE THE EXISTING DRIPLINE OF THE TREE, OR AS OTHERWISE SHOWN ON THE DRAWINGS. FENCING MAY OCCUR AT THE COMBINED DRIPLINES OF GROVES OF TREES.
- 2. EXISTING TREE DRIPLINES ARE SHOWN DIAGRAMMATICALLY ON THE PLANS; TREE PROTECTION FENCING INDICATED AT THEIR PERIMETER IS LIKEWISE DIAGRAMMATIC. THE LENGTH OF ALL TREE PROTECTION FENCING IS TO BE MEASURED IN THE FIELD ACCORDING TO THE TRUE SHAPE AND DIAMETER OF TREE DRIPLINES.
- 3. FENCING SHALL BE SIX FOOT HIGH CHAIN LINK WITH STEEL POSTS EMBEDDED IN THE GROUND. ALL FENCE SECTIONS SHALL BE CLEARLY MARKED WITH A SIGN STATING, "TREE PROTECTION ZONE."
- 4. FENCING SHALL REMAIN IN PLACE THROUGHOUT THE CONSTRUCTION PERIOD UNTIL FINAL LANDSCAPE INSPECTION BY THE LANDSCAPE ARCHITECT.
- 5. 3" DEEP MULCH IS TO BE PLACED BENEATH THE DRIPLINE OF ALL TREES SHOWN TO BE PROTECTED WITH FENCING.
- 6. NO GRADING OR CONSTRUCTION WORK SHALL OCCUR WITHIN THE DRIPLINE OF EXISTING TREES, WHETHER SHOWN WITH TREE PROTECTION FENCING OR NOT. IF EXCAVATION WITHIN THE DRIPLINE IS NECESSARY, THE CONTRACTOR SHALL HAND DIG UNDER THE DIRECTION OF A CERTIFIED ARBORIST. THE CONTRACTOR SHALL HAVE A CERTIFIED ARBORIST ON SITE TO MONITOR ALL ROOT PRUNING AND BRANCH PRUNING OF EXISTING TREES.
- 7. NO STOCKPILING/STORAGE OF FILL, ETC., SHALL TAKE PLACE UNDERNEATH OR WITHIN FIVE FEET OF THE DRIPLINE OF THE EXISTING TREES.
- 8. FOR ALL TREES TO REMAIN, NO OIL, GASOLINE, CHEMICALS, LIQUID WASTER, OR OTHER HARMFUL MATERIALS SHALL BE DEPOSITED, DISPOSED OR STORED WITHIN THE DRIPLINE OF THE TREES OR IN DRAINAGE CHANNELS, SWALES, OR AREAS THAT MAY LEAD TO THE DRIPLINE WHETHER SHOWN WITH TREE PROTECTION FENCING OR NOT. LIKEWISE, NO EQUIPMENT MAY BE WASHED WITHIN THE DRIPLINE OR DRAINAGE CHANNEL OF ANY TREE.
- 9. NO EQUIPMENT MAY BE STORED WITHIN OR BENEATH THE DRIPLINES OF THE EXISTING TREES.
- 10. THE CONTRACTOR IS REQUIRED TO WATER, FERTILIZE, AND ATTEND TO ALL MAINTENANCE NEEDS OF ANY EXISTING TREES TO REMAIN WHERE AFFECTED BY CONSTRUCTION WORK IN ORDER TO MAINTAIN HEALTHY GROWTH THROUGHOUT THE CONSTRUCTION PERIOD.
- 11. UNAUTHORIZED TREE REMOVAL IS SUBJECT TO REPLACEMENT EQUAL TO THE APPRAISED VALUE OF THE TREE LOST OR AS OTHERWISE DIRECTED BY THE CITY OF MERCER ISLAND.
- 12. ALL RIGHT OF WAY TREE PRUNING SHALL BE APPROVED BY THE CITY OF MERCER ISLAND AND PERFORMED UNDER THE SUPERVISION OF A LICENSED ARBORIST.
- 13. SEE ALSO CIVIL DEMOLITION PLAN, SHEET C100.



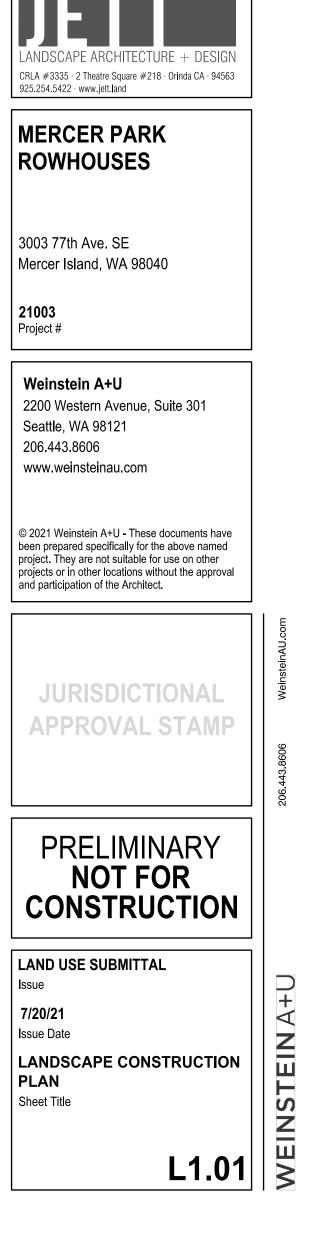
SCALE: 1'' = 20'-0''





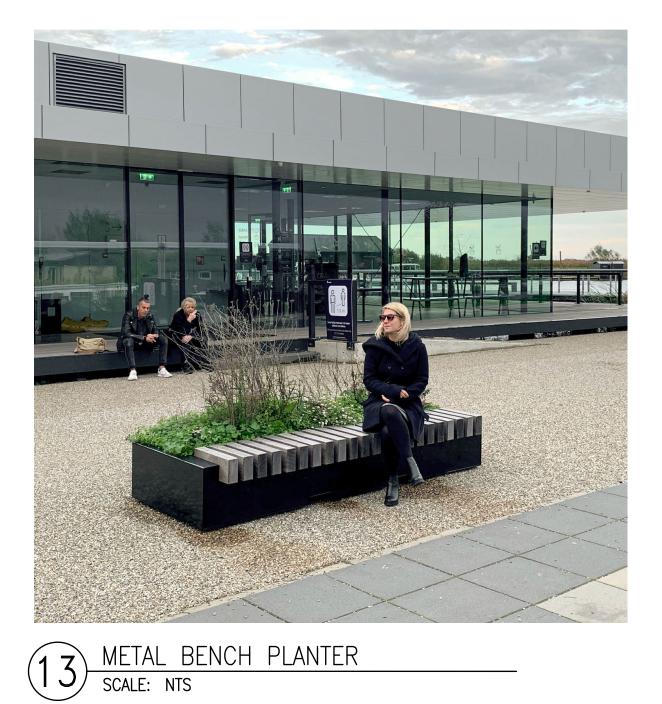
|         | DULE OF MATERIALS &          |          |
|---------|------------------------------|----------|
| KEY     |                              | DETAIL   |
| PAVING  | AND PAVING ACCESSORIES       |          |
| P-1     | CONCRETE PAVING              | 1/L8.01  |
| P-2     | UNIT PAVING – TYPE 1         | 2/L8.01  |
| P-3     | PEDESTAL PAVING – TYPE 1     | 3/L8.01  |
| P-4     | PEDESTAL PAVING – TYPE 2     | 4/8.01   |
| P-5     | PEDESTAL PAVING – TYPE 3     | 5/8.01   |
| P-6     | PEDESTAL PAVING – TYPE 4     | 6/8.01   |
| WALLS   | AND LANDSCAPE FEATURES       |          |
| W-1     | PLANTER WALL                 | SSD      |
| W-2     | BIO-RETENTION PLANTER        | 7/L8.01  |
| LIGHTIN | G                            | 1        |
| L-1     | TREE UPLIGHT                 |          |
| L-2     | WALL/STEP LIGHT              |          |
| SITE FU | RNISHINGS                    | 1        |
| SF-1    | METAL BAR AND BISTRO SEATING | 8/L8.01  |
| SF-2    | STREETSCAPE FURNITURE        | 9/L8.01  |
| SF-3    | BENCH                        |          |
| SF-4    | TREE PLANTER BENCH           | 10/L8.01 |
| SF-5    | TRELLIS                      | SAD      |
| SF-6A   | METAL PLANTER                | 11/L8.01 |
| SF-6B   | METAL PLANTER                | 11/L8.01 |
| SF-6C   | METAL PLANTER                | 11/L8.01 |
| SF-6D   | METAL PLANTER                | 11/L8.01 |
| SF-7    | STREET TREE BENCH            | 12/L8.01 |
| SF-8    | METAL BENCH PLANTER          | 13/L8.01 |
| SF-9    | TABLE & CHAIRS               |          |
| SF-10   | BIKE RACK                    | 14/8.01  |
| MISCELL | ANEOUS                       |          |
| M-1     | MULCH                        | _        |
| M-2     | PAVER EDGE CONSTRAINT        |          |

SCALE: 1'' = 20' - 0''



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| 7/21/2021         Land Use Submittal  |
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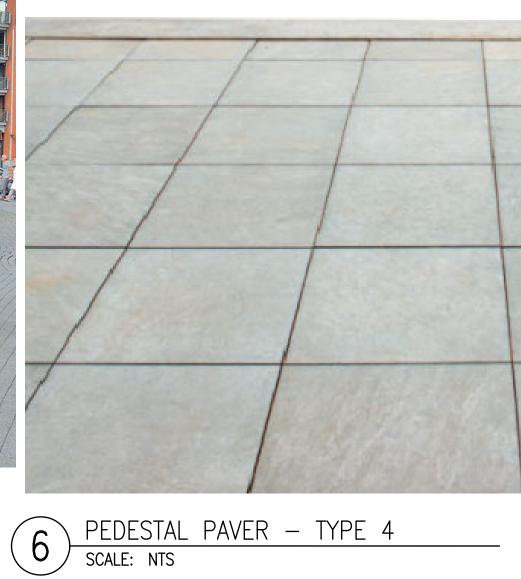


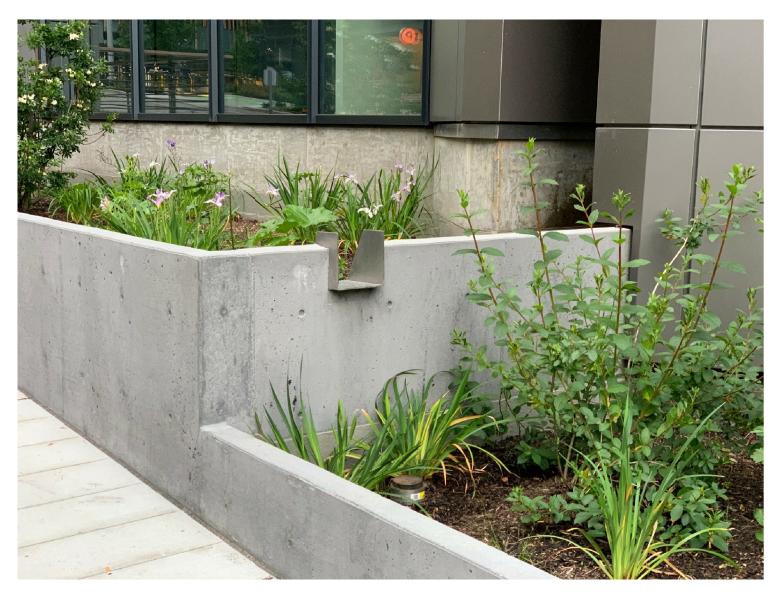
12 STREET TREE BENCH SCALE: NTS







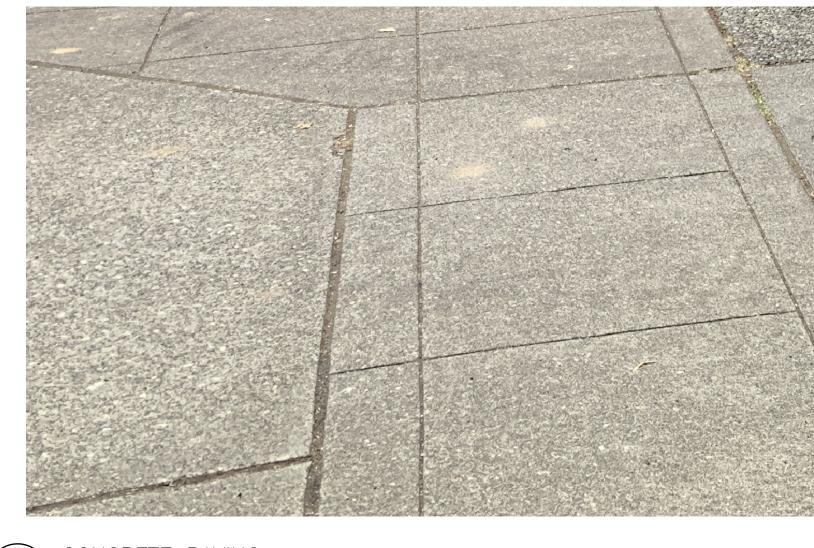




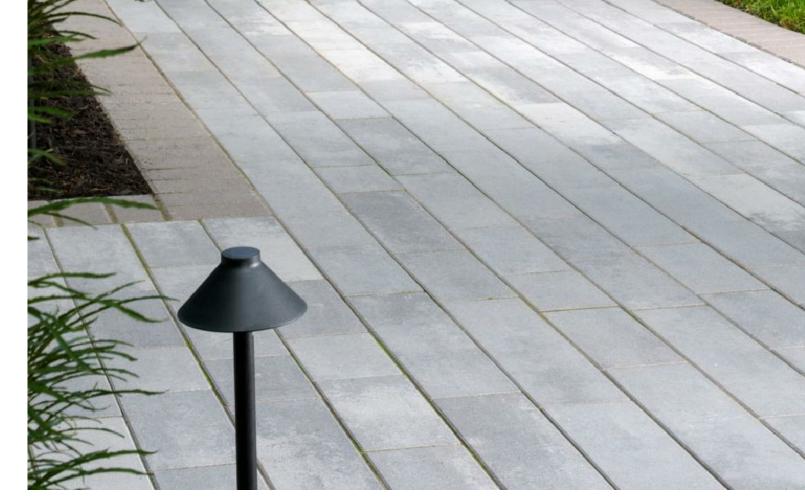
7 BIO-RETENTION PLANTER scale: nts







1 CONCRETE PAVING SCALE: NTS





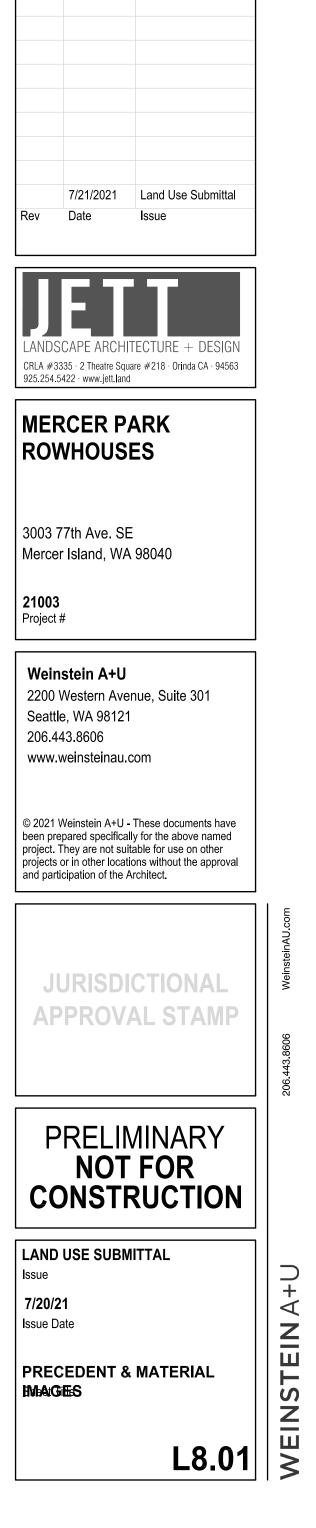


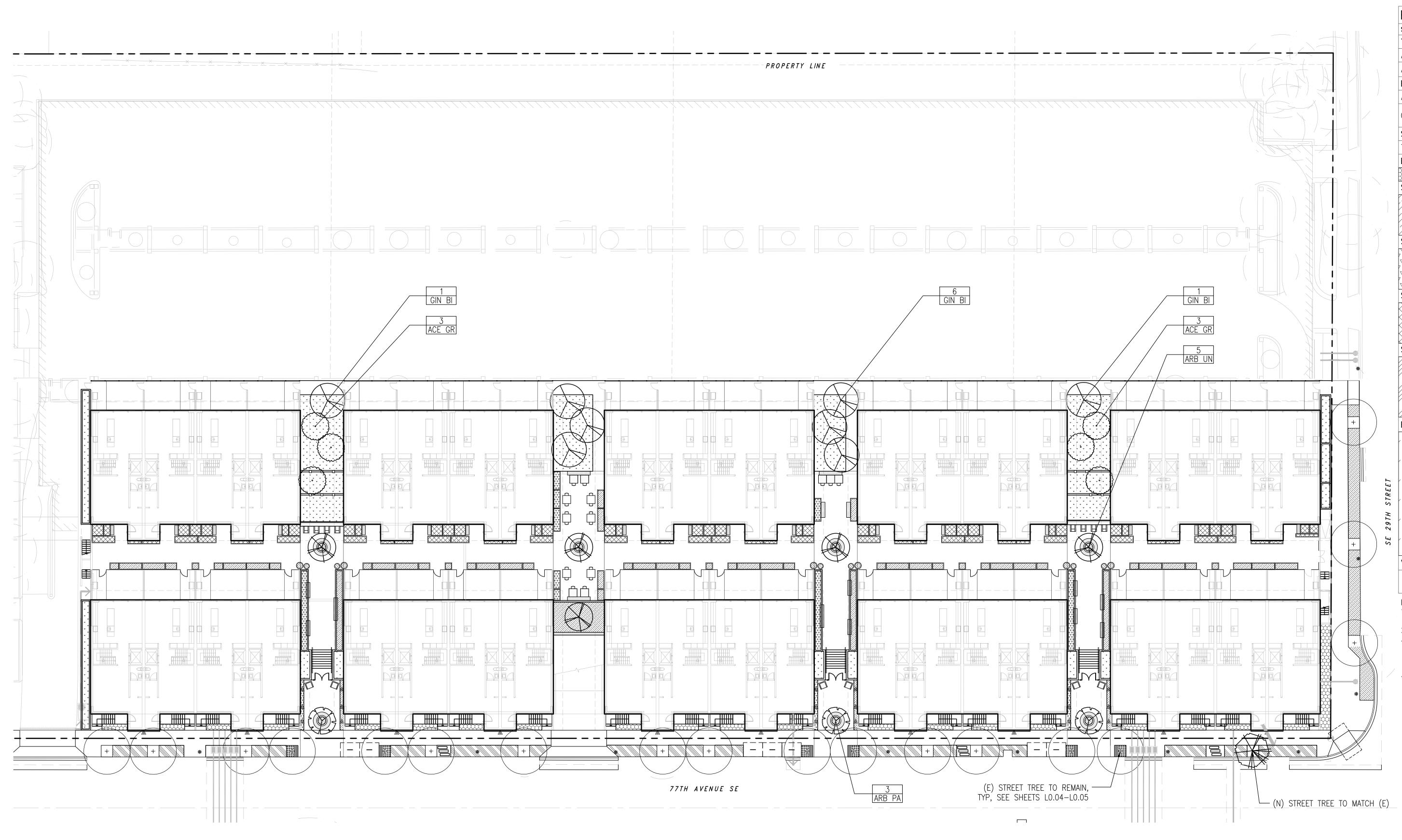
3 PEDESTAL PAVING - TYPE 1 SCALE: NTS





4 PEDESTAL PAVER - TYPE 2 SCALE: NTS



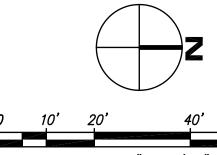


| PLANT                     | LIST   |                               |        |          |     |       |
|---------------------------|--|-------------------------------|--------|----------|-----|-------|
| SYMBOL                    | BOTANICAL NAME   | COMMON NAME                   | SIZE   | SPACING  | QTY | D / E |
| TREES                     |  |                               |        |          |     |       |
| ACE PA                    | ACER PALMATUM  | JAPANESE MAPLE                | 2"CAL  | PER PLAN | 3   | D     |
| ARB UN                    | ARBUTUS UNEDO 'COMPACTA'                                   | DWARF STRAWBERRY TREE         | 2"CAL  | PER PLAN | 5   | E     |
| BIORETEN                  | TION TREES   |                               | 1      | ·        |     |       |
| ACE GR                    | ACER GRISEUM   | PAPERBARK MAPLE               | 2"CAL  | PER PLAN | 6   | D     |
| GIN BI                    | GINKGO BILOBA 'PRINCETON<br>SENTRY'                        | PRINCETON SENTRY<br>GINKGO    | 2" CAL | PER PLAN | 8   | D     |
| STREET TI                 | REES   |                               |        |          | 1   |       |
| TBD PER                   | CITY ARBORIST  |                               |        | PER PLAN | 1   |       |
| BOXWOOD                   | 1  |                               | 1      |          |     |       |
|                           | BUXUS SPP  | BOXWOOD                       | 5 GAL  | 3'-0" OC |     | E     |
| SHRUBS,                   | GRASSES, GROUNDCOVERS - MIX                                | A                             | 1      |          |     |       |
|                           | CEANOTHUS GLORIOSUS  | POINT REYES CEANOTHUS         | 1 GAL  | 1'-6" OC |     | E     |
|                           | DESCHAMPSIA CESPITOSA                                      | TUFTED HAIR GRASS             | 1 GAL  | 2'-0" OC |     | D     |
|                           | PENNISETUM MESSIACUM                                       | RED TAIL FOUNTAIN GRASS       | 1 GAL  | 2'-0" OC |     | D     |
| <u> </u>                  | GRASSES, GROUNDCOVERS - MIX                                |                               |        |          |     |       |
|                           | LIRIOPE MUSCARI BIG BLUE                                   | LILYTURF                      | 1 GAL  | 1'-0" OC |     | E     |
|                           | HAKONECHLOA MACRA 'AUREOLA'                                |                               | 1 GAL  | 1'-6" OC |     | E     |
|                           | POLYSTICHUM MUNITUM  | WESTERN SWORD FERN,           | 1 GAL  | 3'-0" OC |     | E     |
| SHRUBS,<br>XXXXX          | GRASSES, GROUNDCOVERS - MIX                                |                               | 1 04   | 4' 0" 00 |     |       |
| $\times$                  | HELICTOTRICHON SEMPERVIRENS                                | BLUE OAT GRASS                | 1 GAL. | 1'-6" OC |     | E     |
|                           | ANEMANTHELE LESSONIANA                                     | PHEASANT TAIL GRASS           | 1 GAL. | 1'-6" OC |     | E     |
| SHRUBS,                   | MOLINIA CAERULEA 'MOORHEXE'<br>GRASSES, GROUNDCOVERS – MIX | MOOR GRASS<br>D               | 1 GAL. | 1'-0" OC |     | D     |
|                           | LAVENDER 'MUNSTEAD STRAIN'                                 | ENGLISH LAVENDER              | 1 GAL. | 2'-0" OC |     | E     |
|                           | BOUTELOUA GRACILIS 'BLONDE<br>AMBITION'                    | BLONDE AMBITION BLUE<br>GRAMA | 1 GAL. | 1'-6" OC |     | D     |
|                           | CALLUNA VULGARIS 'SKYLINE<br>TRIO'                         | SKYLINE HEATHER               | 1 GAL. | 1'-6" OC |     | E     |
| BIORETEN                  | <b>FION</b>  |                               | 1      |          |     |       |
| $\checkmark$              | CARNASSIA QUARNASH   | CMALL CARNAS                  | 1 GAL  | 1'-6" OC |     | D     |
| $\psi \qquad \psi$        | CAREX DEWEYANA   | DEWEY'S SEDGE                 | 1 GAL  | 1'-6" OC |     | D     |
| $\psi$ $\psi$ $\psi$      | CORNUS STOLONIFERA 'KELSEYI'                               | DWARF RED-TWIG<br>DOGWOOD     | 1 GAL  | 1'-6" OC |     | D     |
| $\checkmark$ $\checkmark$ | EQUISETUM HYEMALE  | SCOURING RUSH                 | 1 GAL  | 1'-6" OC |     | E     |
| $\psi$<br>$\psi$ $\psi$   | POLYSTICHUM MUNITUM  | WESTERN SWORDFERN             | 1 GAL  | 3'-0" OC |     | E     |
| $\checkmark$              | GAULTHERIA SHALLON   | SALAL                         | 1 GAL  | 1'-6" OC |     | E     |
| $\psi \qquad \psi$        | JUNCUS EFFUSUS   | SOFT RUSH                     | 1 GAL  | 1'-6" OC |     | E     |
| $\psi$ $\psi$             | SISYRINCHIUM IDAHOENSE                                     | BLUE-EYED GRASS               | 1 GAL  | 1'-6" OC |     | D     |
| VINES                     |  | I                             | 1      |          | 1   |       |
|                           | PARTHENOCISSUS TRICUSPIDATA                                | BOSTON IVY                    | 1 GAL  | PER PLAN |     | E     |

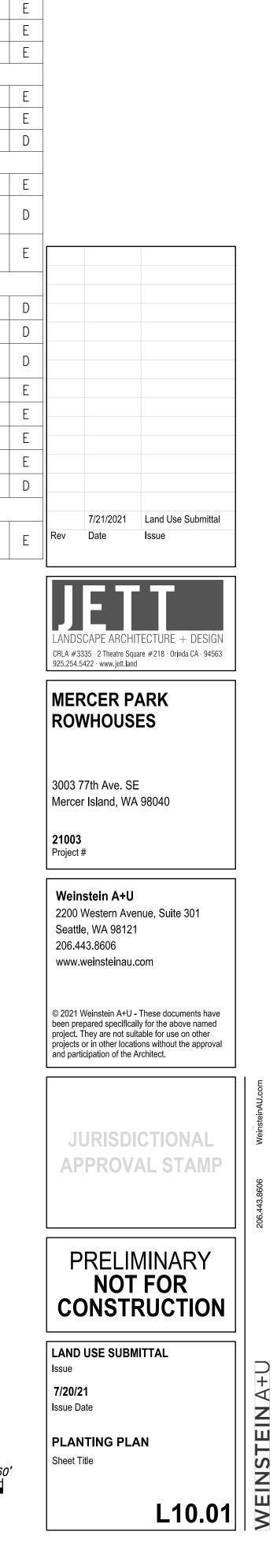
1. ALL PLANT QUANTITIES NOTED ABOVE ARE ESTIMATED FOR THE CONVENIENCE OF THE CONTRACTOR. FINAL COUNTS ARE THE RESPONSIBILITY OF THE CONTRACTOR. REFER TO CIVIL PLANS FOR GRADING AND DRAINAGE.

ALL LANDSCAPED AREAS SHALL MEET CITY CODE MICC 19.16.010, WITH AN APPROVED AUTOMATIC IRRIGATION SYSTEM CONSISTING OF WATERLINES, SPRINKLERS DESIGNED TO PROVIDE HEAD TO HEAD COVERAGE AND TO MINIMIZE OVERSPRAY ONTO STRUCTURES, WALKS AND WINDOWS. WATER CONSERVING TYPES OF IRRIGATION SYSTEMS SHOULD BE USED. REFER TO SHEET L0.04-L0.05 FOR TREE MITIGATION INFORMATION AND REQUIRED TREE

REPLACEMENTS.



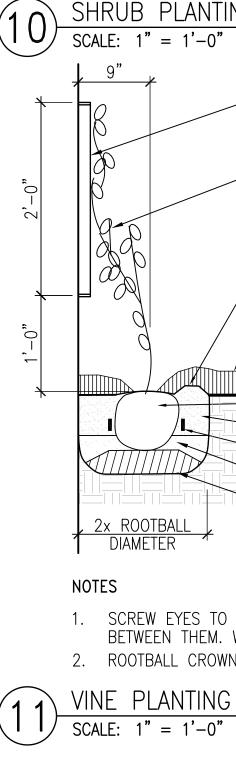
SCALE: 1" = 20' - 0"

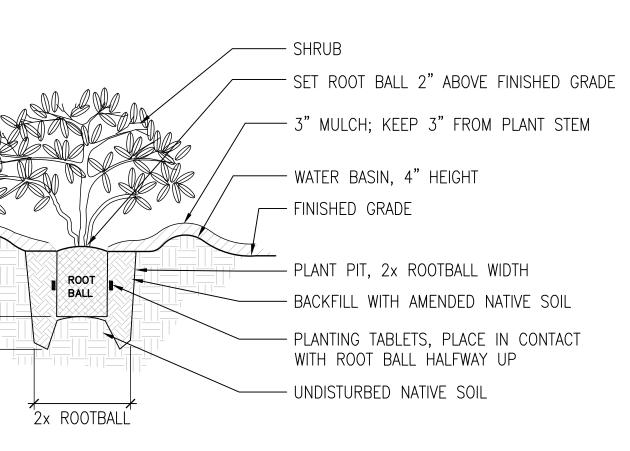




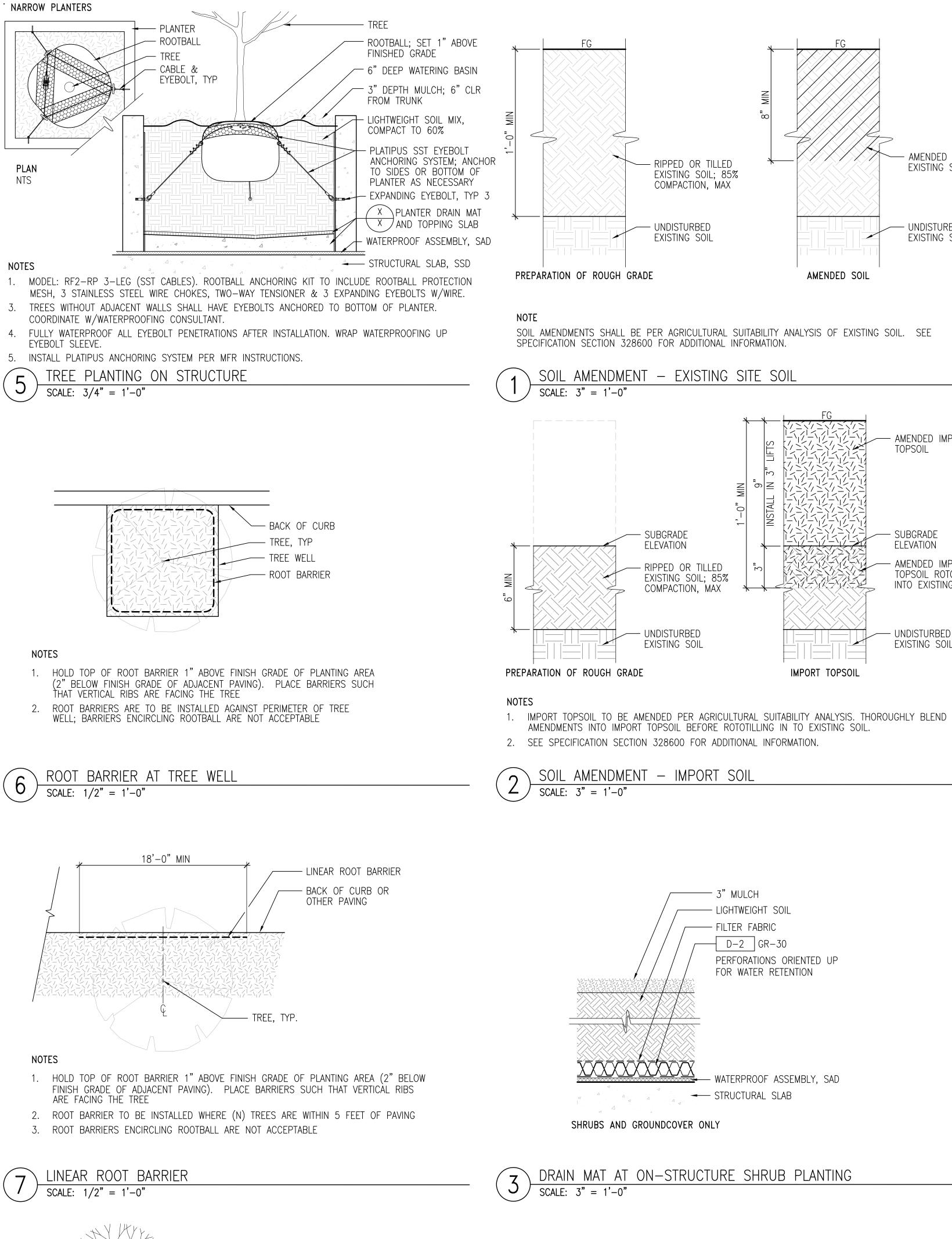


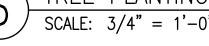


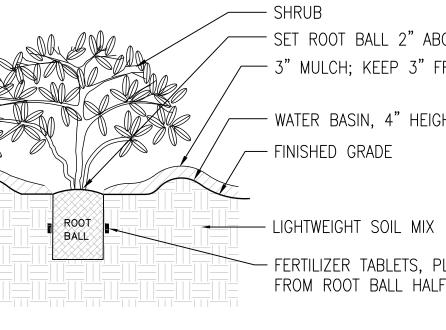




SHRUB PLANTING ON GRADE







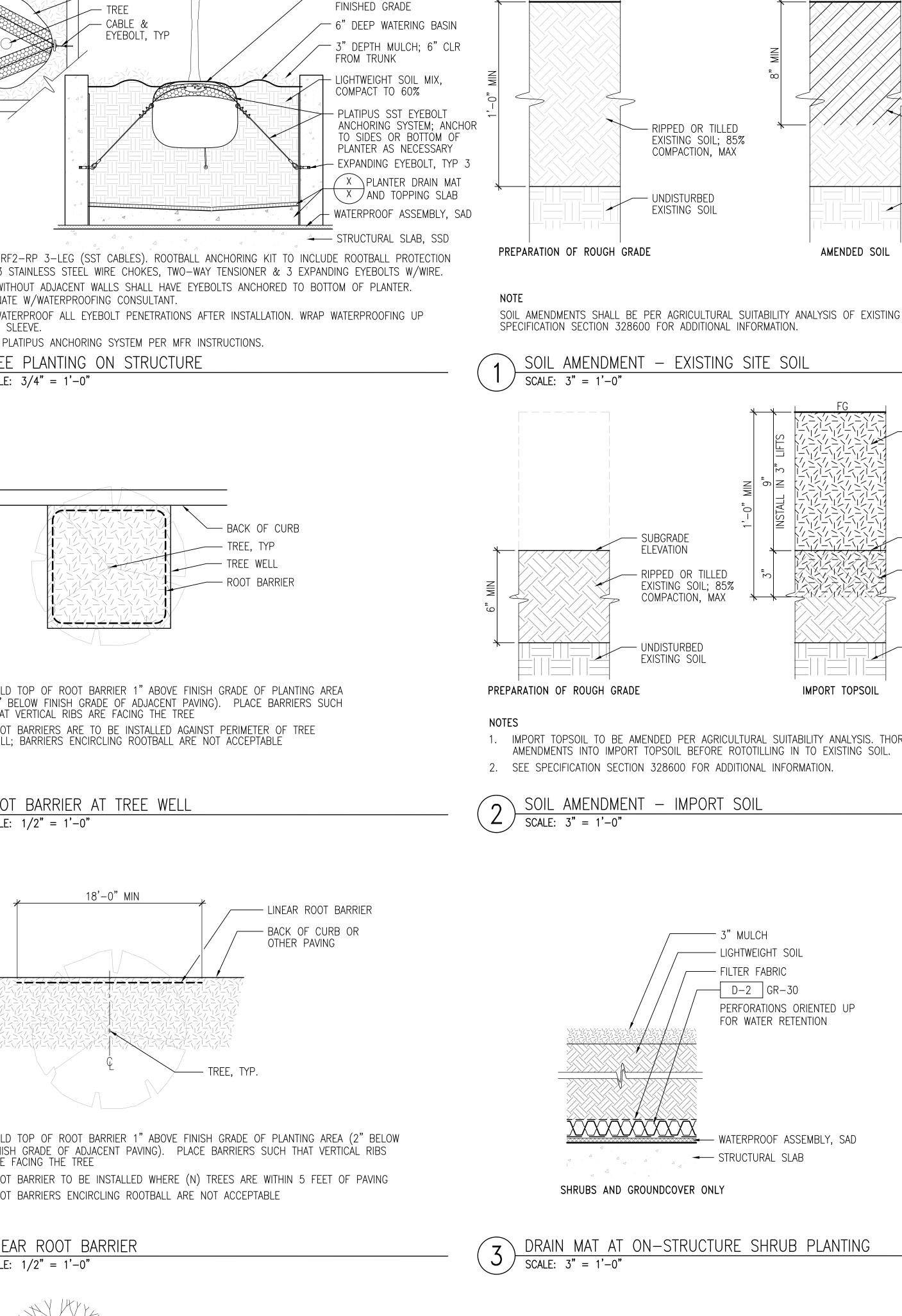
- 3" MULCH; KEEP 3" FROM PLANT STEM — WATER BASIN, 4" HEIGHT

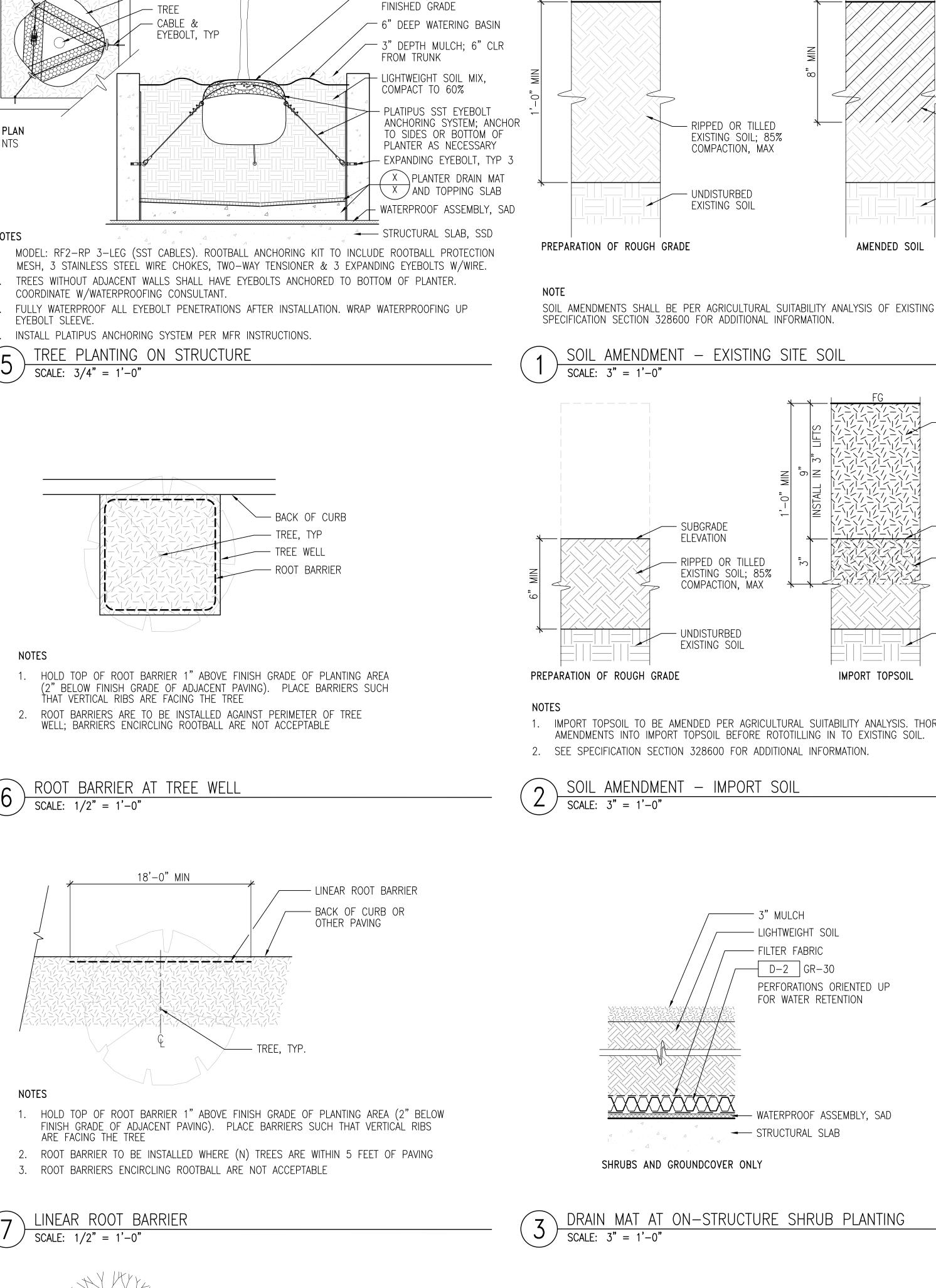
- FERTILIZER TABLETS, PLACE 1" AWAY FROM ROOT BALL HALFWAY UP.

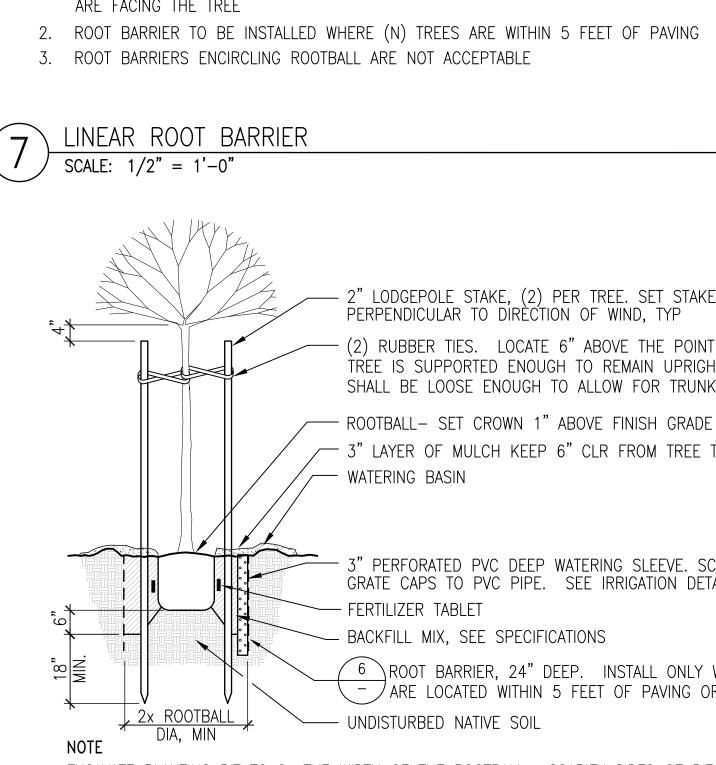
# SHRUB PLANTING ON STRUCTURE

| = 1'-0" |  |
|---------|--|
|         | SS SCREW EYES & SS WOVEN<br>WIRE. FORM LOOP AT ENDS &<br>CRIMP AT SCREW EYES.  |
|         | ATTACH VINE TO WIRE WITH<br>GREEN VINYL TIES   |
|         | -WATERING BASIN 4" HIGH  |
|         | -2" MULCH  |
|         | -FINISH GRADE  |
|         | ROOTBALL<br>BACKFILL MIX, AMENDED<br>FERTILIZER TABLETS<br>BACKFILL MATERIAL, UNAMENDED<br>ROOTBALL MOUND, FOOT TAMP |
|         |  |

1. SCREW EYES TO BE AT 2' SQARE INTERVALS. TWIST/CRIMP WIRE BETWEEN THEM. WIND VINE CAREFULLY BETWEEN WIRES. 2. ROOTBALL CROWN TO BE 1" ABOVE ADJACENT FINISH GRADE.







EXCAVATE PLANTING PIT TO 2x THE WIDTH OF THE ROOTBALL. SCARIFY SIDES OF PIT.

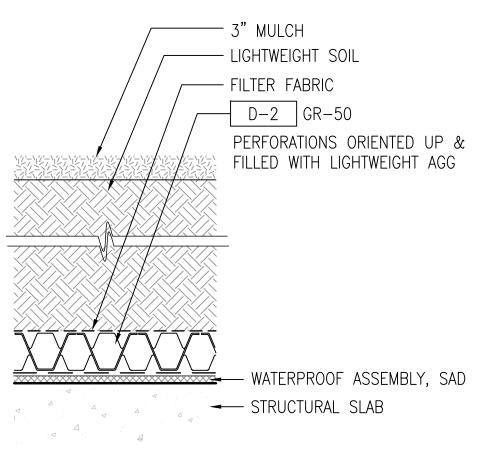


TREE PLANTING IN PLANTING AREA SCALE: 1/2" = 1'-0"

2" LODGEPOLE STAKE, (2) PER TREE. SET STAKES PERPENDICULAR TO DIRECTION OF WIND, TYP - (2) RUBBER TIES. LOCATE 6" ABOVE THE POINT WHERE TREE IS SUPPORTED ENOUGH TO REMAIN UPRIGHT. TIES SHALL BE LOOSE ENOUGH TO ALLOW FOR TRUNK MOVEMENT. ✓ 3" LAYER OF MULCH KEEP 6" CLR FROM TREE TRUNK

- 3" PERFORATED PVC DEEP WATERING SLEEVE. SCREW DRAIN GRATE CAPS TO PVC PIPE. SEE IRRIGATION DETAILS.

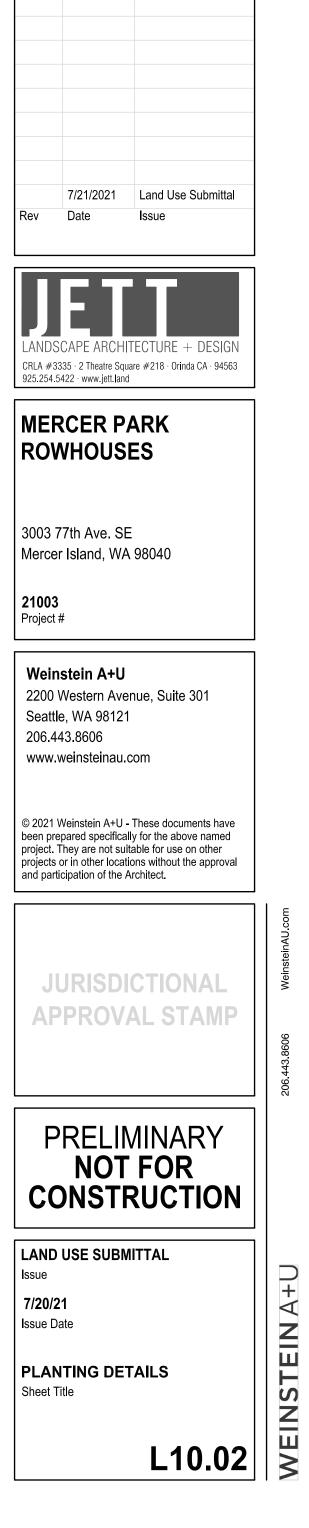
6 ROOT BARRIER, 24" DEEP. INSTALL ONLY WHERE TREES  $\$  –  $\$  are located within 5 feet of paving or wall



TREE & SHRUB PLANTING



DRAIN MAT AT ON-STRUCTURE TREE PLANTING SCALE: 3'' = 1' - 0''



AMENDED

EXISTING SOIL

- UNDISTURBED

EXISTING SOIL

- AMENDED IMPORT

TOPSOIL

- SUBGRADE

ELEVATION

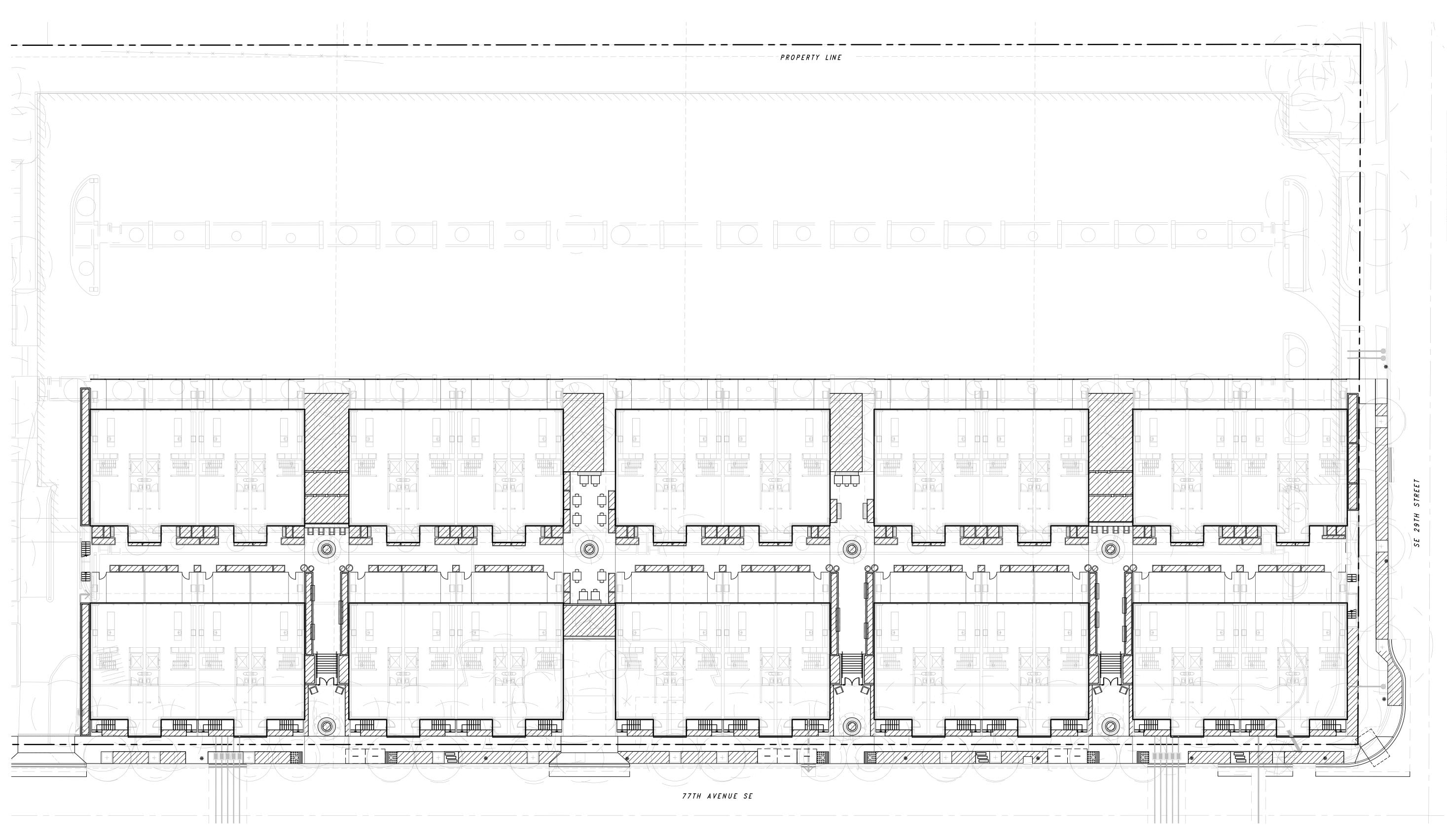
- AMENDED IMPORT

TOPSOIL ROTOTILLED

INTO EXISTING SOIL

- UNDISTURBED

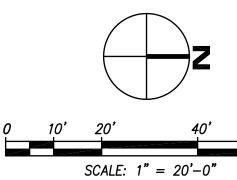
EXISTING SOIL



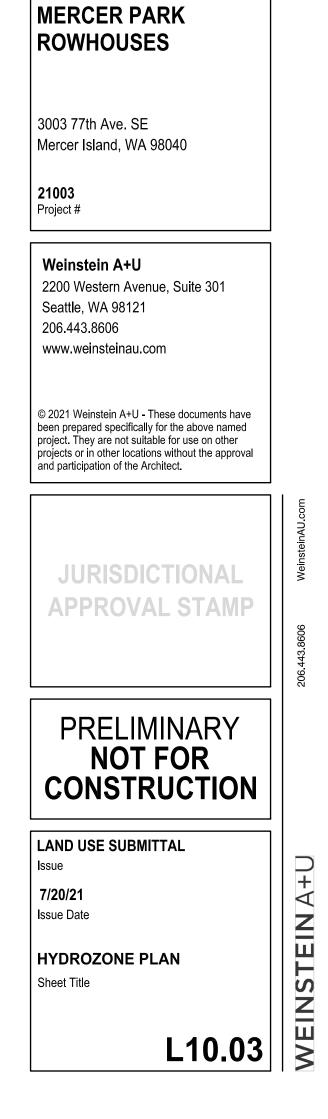
| HYDROZONE LEGEND |      |                       |               |                    |           |            |
|------------------|------|-----------------------|---------------|--------------------|-----------|------------|
| SYMBOL           | ZONE | HYDROZONE             | PLANT TYPE    | IRRIGATION<br>TYPE | AREA (SF) | TOTAL (SF) |
|                  | 1    | LOW WATER<br>USE      | SHRUB/G.COVER | DRIP               | 9560      | 9,572.0    |
|                  | 2    | LOW WATER<br>USE      | TREES         | BUBBLER            | 12        | 9,072.0    |
|                  | 3    | MODERATE<br>WATER USE | TREES         | BUBBLER            | 34        | 34         |
|                  |      |                       |               |                    | TOTAL     | 9,606.0    |

IRRIGATION DESIGN INTENT

- 1. THIS PLAN SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF MERCER ISLAND.
- 2. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE THE MINIMUM AMOUNT OF WATER NECESSARY TO SUSTAIN GOOD PLANT HEALTH.
- 3. THE IRRIGATION SYSTEM IS TO BE A FULLY AUTOMATIC, WEATHER-BASED SYSTEM USING RAIN SENSOR, LOW FLOW DRIP, BUBBLER DISTRIBUTION, AND ROTOR WITH MATCHED PRECIPITATION RATE NOZZLES DESIGNED FOR HEAD-TO-HEAD COVERAGE.
- 4. ALL SELECTED COMPONENTS SHALL BE PERMANENT, COMMERCIAL GRADE, SELECTED FOR DURABILITY, VANDAL RESISTANCE AND MINIMUM MAINTENANCE REQUIREMENT, INSTALLED BELOW-GRADE, AND DESIGNED FOR 100% COVERAGE.
- 5. THE SYSTEM SHALL INCLUDE A MASTER CONTROL VALVE AND FLOW SENSING CAPABILITY WHICH WILL SHUT DOWN ALL OR PART OF THE SYSTEM IF LEAKS ARE DETECTED.
- 6. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO DELIVER WATER TO HYDROZONES BASED ON MOISTURE REQUIREMENTS OF THE PLANT GROUPING.



60'



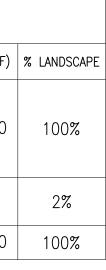
7/21/2021 Land Use Submittal

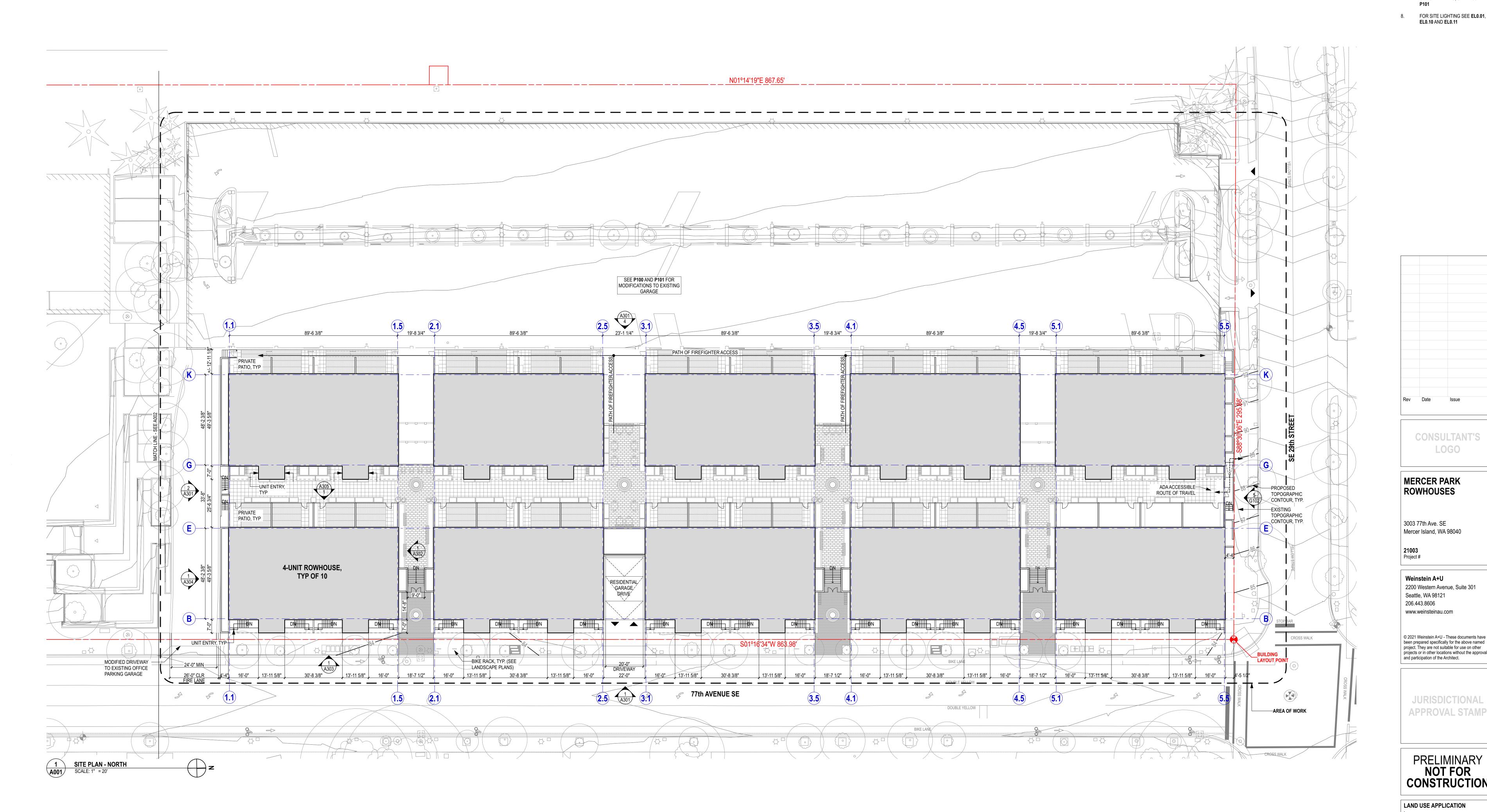
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Rev Date







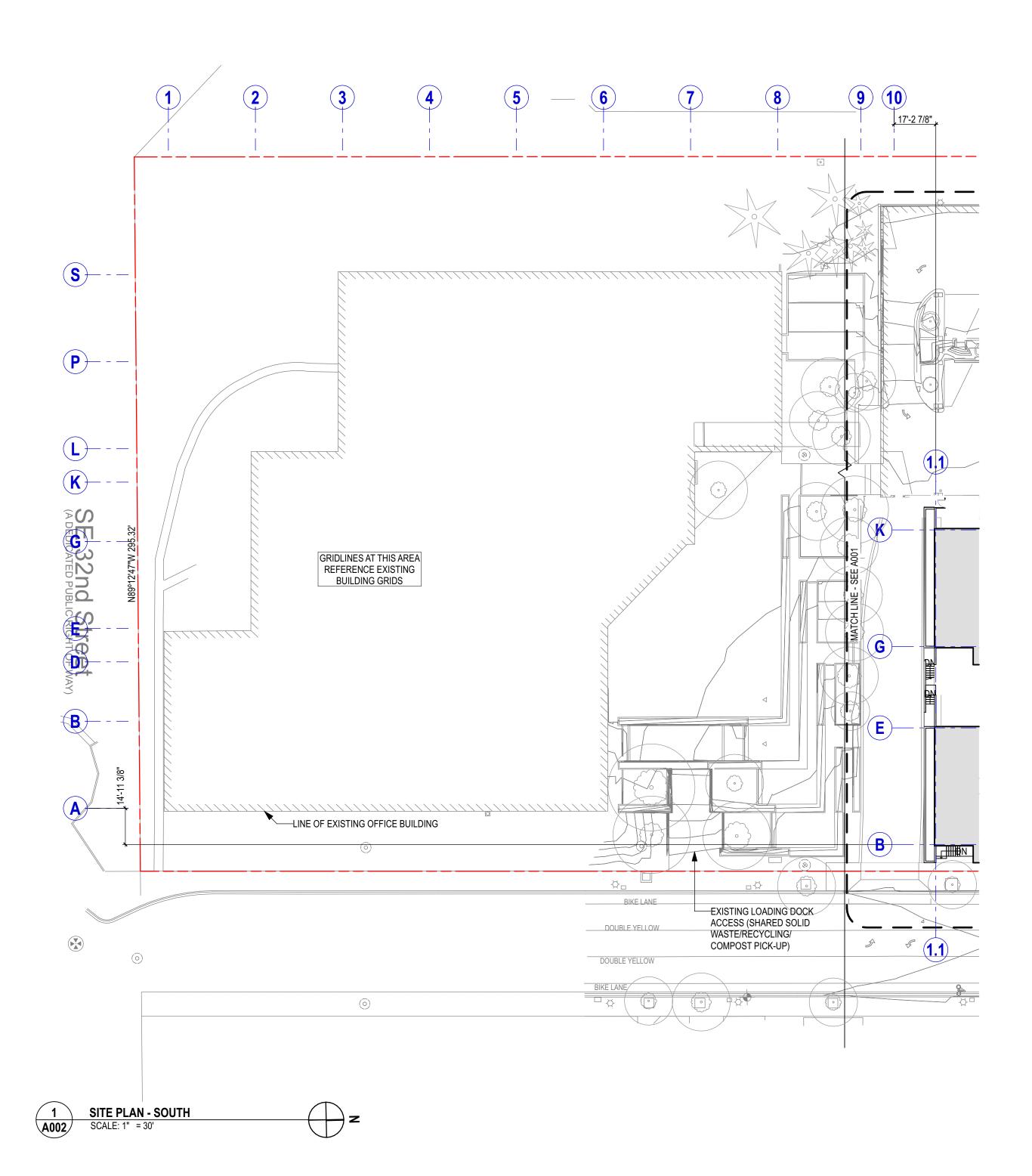
| Rev | Date | Issue |
|-----|------|-------|
|     | Date | 15500 |

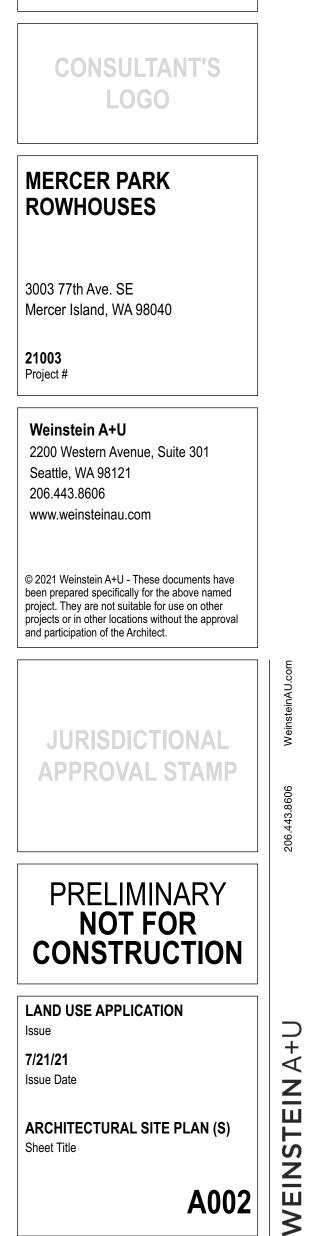
| <ol> <li>FOR LIST OF ABBREVIATIONS,<br/>SEE COVER SHEET G001</li> <li>FOR PARCEL LEGAL<br/>DESCRIPTIONS, VICINITY MAP AND<br/>OWNER INFORMATION, REFER TO<br/>G001</li> <li>FOR LAND USE INFORMATION,<br/>REFER TO G001 AND G002</li> <li>SEE CIVIL DRAWINGS FOR<br/>PROPOSED WORK IN THE RIGHT-<br/>OF-WAY AND FOR PROPOSED<br/>UTILITY AND DRAINAGE<br/>IMPROVEMENTS</li> <li>SEE LANDSCAPE PLANS FOR<br/>PROPOSED LANDSCAPING AND<br/>PLANTING DETAILS</li> <li>SEE FP0.10 FOR PROPOSED FIRE<br/>HYDRANT AND STANDPIPE<br/>LOCATIONS</li> <li>FOR WORK RELATED TO<br/>MODIFICATIONS TO THE EXISTING<br/>OFFICE PARKING, SEE P100 AND<br/>P101</li> </ol> |    |  |
|---|----|--|
| <ul> <li>DESCRIPTIONS, VICINITY MAP AND<br/>OWNER INFORMATION, REFER TO<br/>G001</li> <li>FOR LAND USE INFORMATION,<br/>REFER TO G001 AND G002</li> <li>SEE CIVIL DRAWINGS FOR<br/>PROPOSED WORK IN THE RIGHT-<br/>OF-WAY AND FOR PROPOSED<br/>UTILITY AND DRAINAGE<br/>IMPROVEMENTS</li> <li>SEE LANDSCAPE PLANS FOR<br/>PROPOSED LANDSCAPING AND<br/>PLANTING DETAILS</li> <li>SEE FP0.10 FOR PROPOSED FIRE<br/>HYDRANT AND STANDPIPE<br/>LOCATIONS</li> <li>FOR WORK RELATED TO<br/>MODIFICATIONS TO THE EXISTING<br/>OFFICE PARKING, SEE P100 AND</li> </ul>  | 1. |  |
| <ol> <li>REFER TO G001 AND G002</li> <li>SEE CIVIL DRAWINGS FOR<br/>PROPOSED WORK IN THE RIGHT-<br/>OF-WAY AND FOR PROPOSED<br/>UTILITY AND DRAINAGE<br/>IMPROVEMENTS</li> <li>SEE LANDSCAPE PLANS FOR<br/>PROPOSED LANDSCAPING AND<br/>PLANTING DETAILS</li> <li>SEE FP0.10 FOR PROPOSED FIRE<br/>HYDRANT AND STANDPIPE<br/>LOCATIONS</li> <li>FOR WORK RELATED TO<br/>MODIFICATIONS TO THE EXISTING<br/>OFFICE PARKING, SEE P100 AND</li> </ol>   | 2. | DESCRIPTIONS, VICINITY MAP AND<br>OWNER INFORMATION, REFER TO                  |
| <ol> <li>PROPOSED WORK IN THE RIGHT-<br/>OF-WAY AND FOR PROPOSED<br/>UTILITY AND DRAINAGE<br/>IMPROVEMENTS</li> <li>SEE LANDSCAPE PLANS FOR<br/>PROPOSED LANDSCAPING AND<br/>PLANTING DETAILS</li> <li>SEE FP0.10 FOR PROPOSED FIRE<br/>HYDRANT AND STANDPIPE<br/>LOCATIONS</li> <li>FOR WORK RELATED TO<br/>MODIFICATIONS TO THE EXISTING<br/>OFFICE PARKING, SEE P100 AND</li> </ol>  | 3. |  |
| <ul> <li>PROPOSED LANDSCAPING AND<br/>PLANTING DETAILS</li> <li>6. SEE FP0.10 FOR PROPOSED FIRE<br/>HYDRANT AND STANDPIPE<br/>LOCATIONS</li> <li>7. FOR WORK RELATED TO<br/>MODIFICATIONS TO THE EXISTING<br/>OFFICE PARKING, SEE P100 AND</li> </ul>   | 4. | PROPOSED WORK IN THE RIGHT-<br>OF-WAY AND FOR PROPOSED<br>UTILITY AND DRAINAGE |
| <ul> <li>HYDRANT AND STANDPIPE<br/>LOCATIONS</li> <li>FOR WORK RELATED TO<br/>MODIFICATIONS TO THE EXISTING<br/>OFFICE PARKING, SEE <b>P100</b> AND</li> </ul>  | 5. | PROPOSED LANDSCAPING AND   |
| MODIFICATIONS TO THE EXISTING<br>OFFICE PARKING, SEE <b>P100</b> AND  | 6. | HYDRANT AND STANDPIPE  |
|   | 7. | MODIFICATIONS TO THE EXISTING OFFICE PARKING, SEE <b>P100</b> AND              |

EL0.10 AND EL0.11

# **GENERAL SITE PLAN NOTES**

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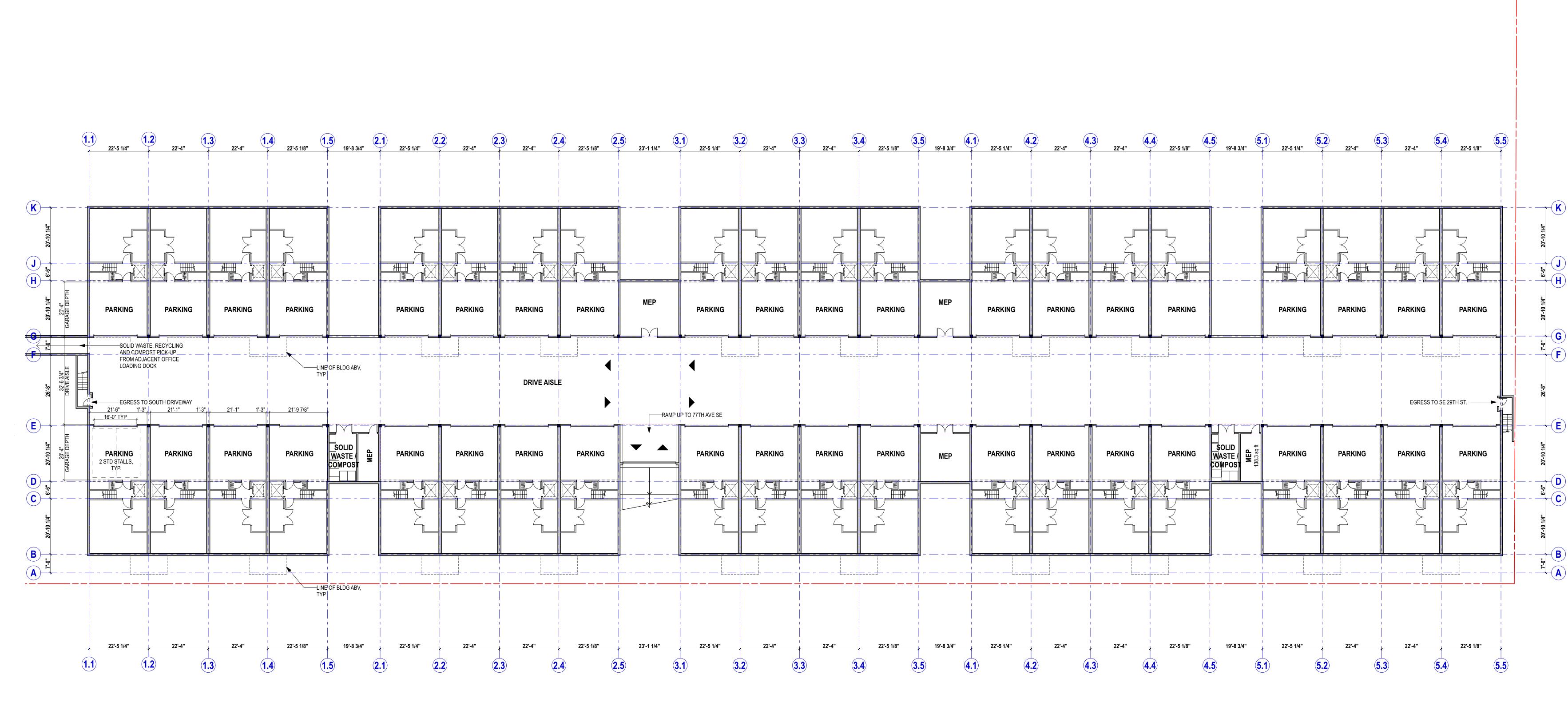




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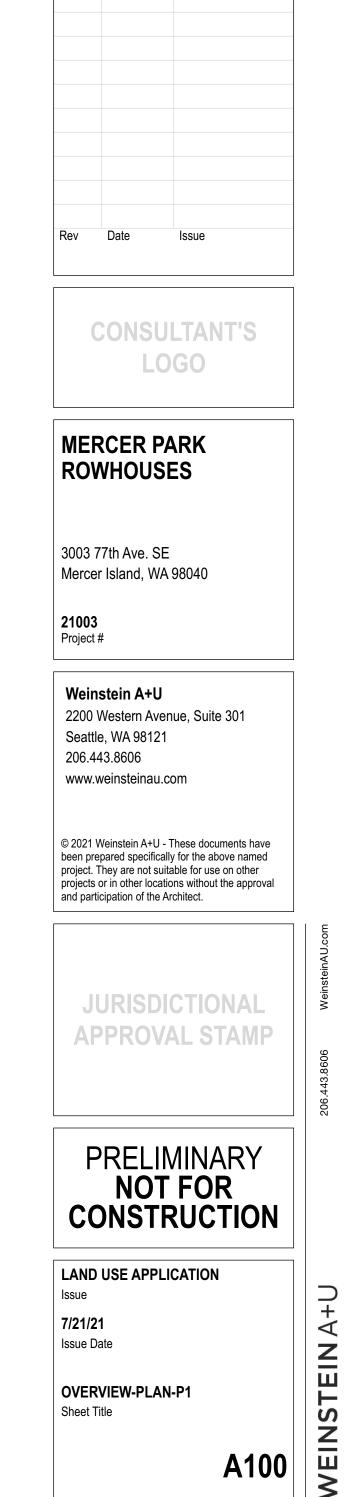
| 1. | FOR LIST OF ABBREVIATIONS,<br>SEE COVER SHEET <b>G001</b>  |
|----|--|
| 2. | FOR PARCEL LEGAL<br>DESCRIPTIONS, VICINITY MAP AND<br>OWNER INFORMATION, REFER TO<br><b>G001</b>                         |
| 3. | FOR LAND USE INFORMATION,<br>REFER TO <b>G001</b> AND <b>G002</b>  |
| 4. | SEE CIVIL DRAWINGS FOR<br>PROPOSED WORK IN THE RIGHT-<br>OF-WAY AND FOR PROPOSED<br>UTILITY AND DRAINAGE<br>IMPROVEMENTS |
| 5. | SEE LANDSCAPE PLANS FOR<br>PROPOSED LANDSCAPING AND<br>PLANTING DETAILS  |
| 6. | SEE <b>FP0.10</b> FOR PROPOSED FIRE<br>HYDRANT AND STANDPIPE<br>LOCATIONS  |
| 7. | FOR WORK RELATED TO<br>MODIFICATIONS TO THE EXISTING<br>OFFICE PARKING, SEE <b>P100</b> AND<br><b>P101</b>               |
| 8. | FOR SITE LIGHTING SEE <b>EL0.01</b> ,<br><b>EL0.10</b> AND <b>EL0.11</b>   |

# GENERAL SITE PLAN NOTES



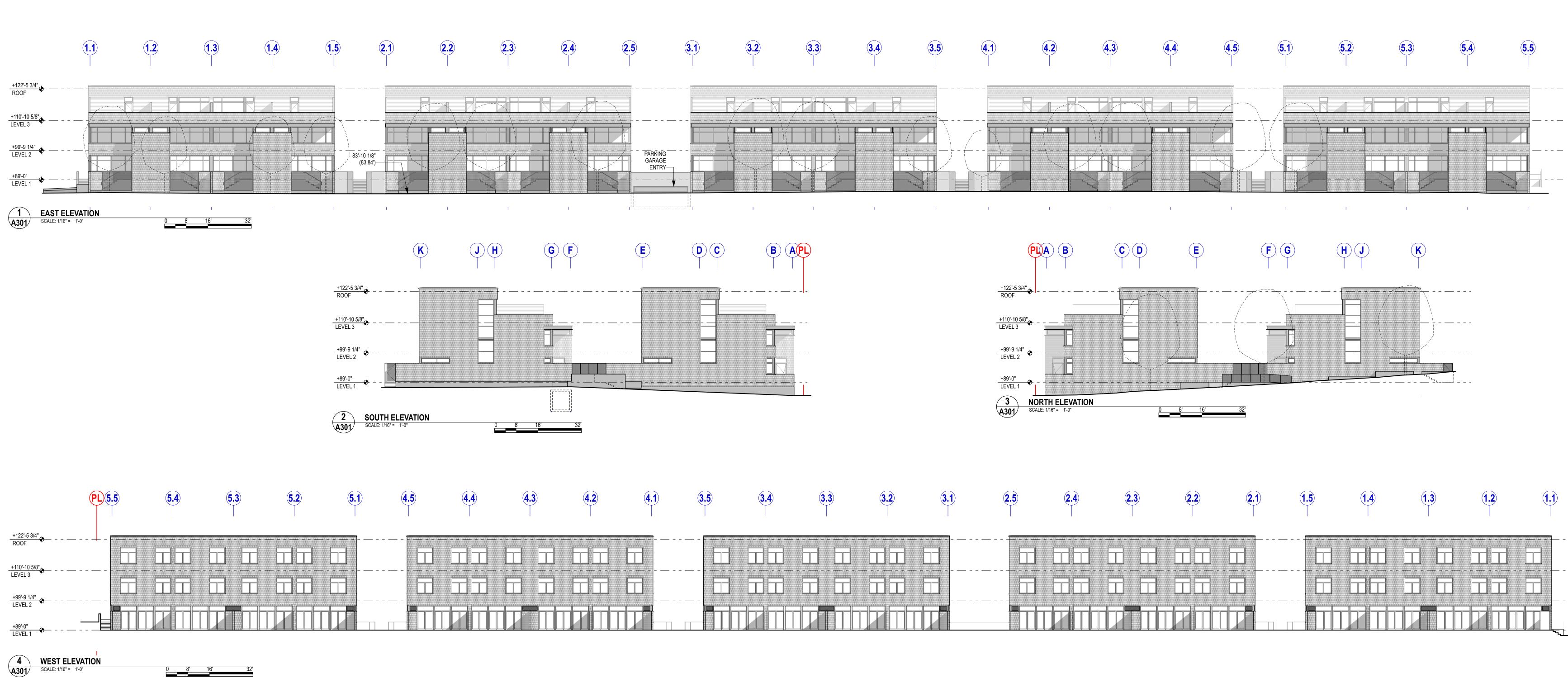
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1 PARKING A100 SCALE: 1/16" = 1'-0" Z



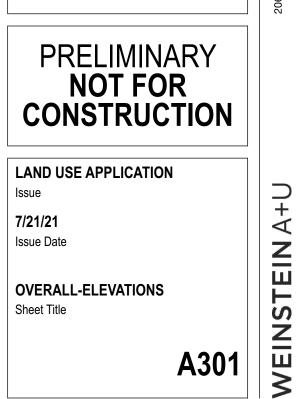
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|      | "FIN" (FINISH   |
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| 3.   | FOR LIST OF ABBREVIATIONS<br>SEE COVER SHEET <b>G001</b>  |
| PARK | ING NOTES   |
| 1.   | SEE P100 AND P101 FOR OFFICE<br>PARKING   |
| 2.   | PARKING PROVIDED FOR<br>RESIDENTIAL UNITS: 2 STANDARD<br>STALLS PER UNIT, <b>80 STALLS</b><br>TOTAL.                          |
| 3.   | TYPE A ACCESSIBLE UNITS WILL<br>HAVE THE OPTION OF MAKING USE<br>OF 1 OF THE 2 PROVIDED PARKING<br>SPACES AS AN ACCESS AISLE. |
|      |   |









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**21003** Project #

Issue

7/21/21

Issue Date

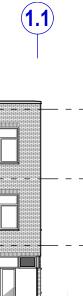
Sheet Title

3003 77th Ave. SE Mercer Island, WA 98040

## MERCER PARK ROWHOUSES

**CONSULTANT'S** LOGO

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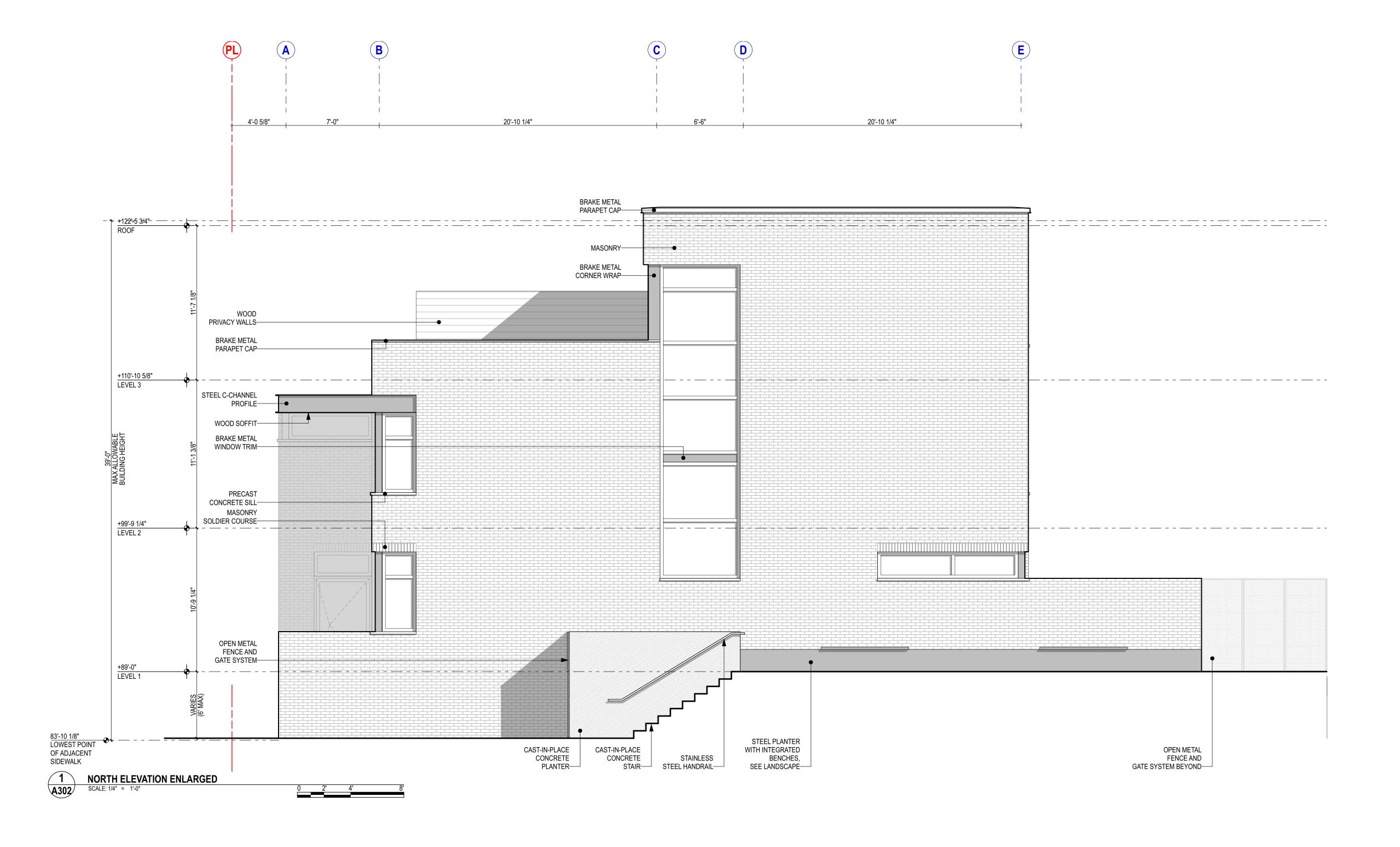


1. FOR LIST OF ABBREVIATIONS, SEE COVER SHEET G001

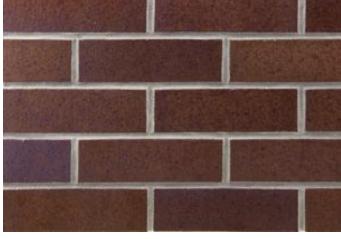
2. FOR LAND USE CODE INFORMATION SEE SHEETS G101 &

ELEVATION NOTES

G102



PROPOSED EXTERIOR FINISH MATERIALS



MASONRY: ENDICOTT BRICK, MEDIUM IRONSPOT 77







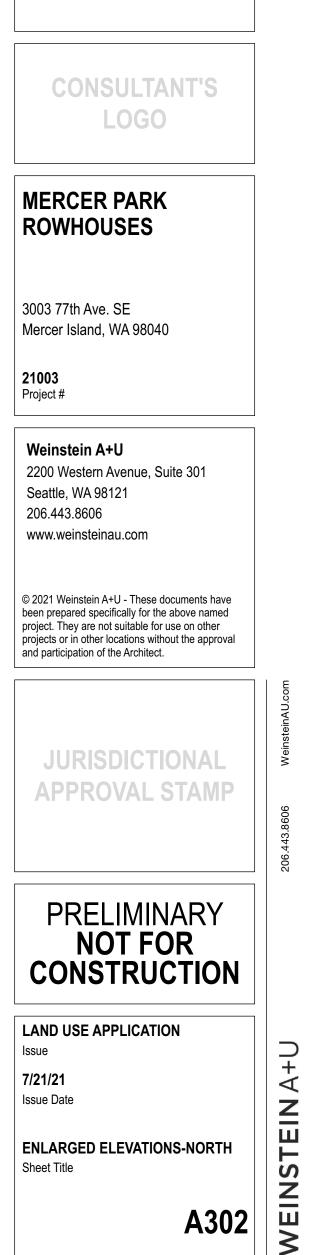


WOOD RAINSCREEN, PRIVACY WALLS AND SOFFIT: SHOU SUGI BAN CHARRED SIDING, NAKAMOTO FORESTRY, GENDAI BLACK

WINDOW



WINDOW TRIM AND METAL/STEEL: BENJAMIN MOORE "ABYSS"



| Rev | Date | Issue |
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INFORMATION SEE SHEETS G101 &

2. FOR LAND USE CODE

G102



#### PROPOSED EXTERIOR FINISH MATERIALS



MASONRY: ENDICOTT BRICK, MEDIUM IRONSPOT 77





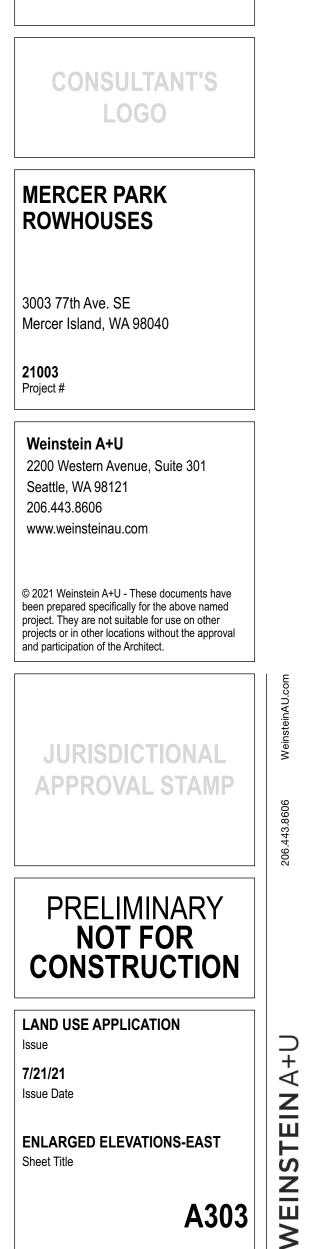




WOOD RAINSCREEN, PRIVACY WALLS AND SOFFIT: SHOU SUGI BAN CHARRED SIDING, NÁKAMOTO FORESTRY, GENDAI BLACK



WINDOW TRIM AND METAL/STEEL: BENJAMIN MOORE "ABYSS"

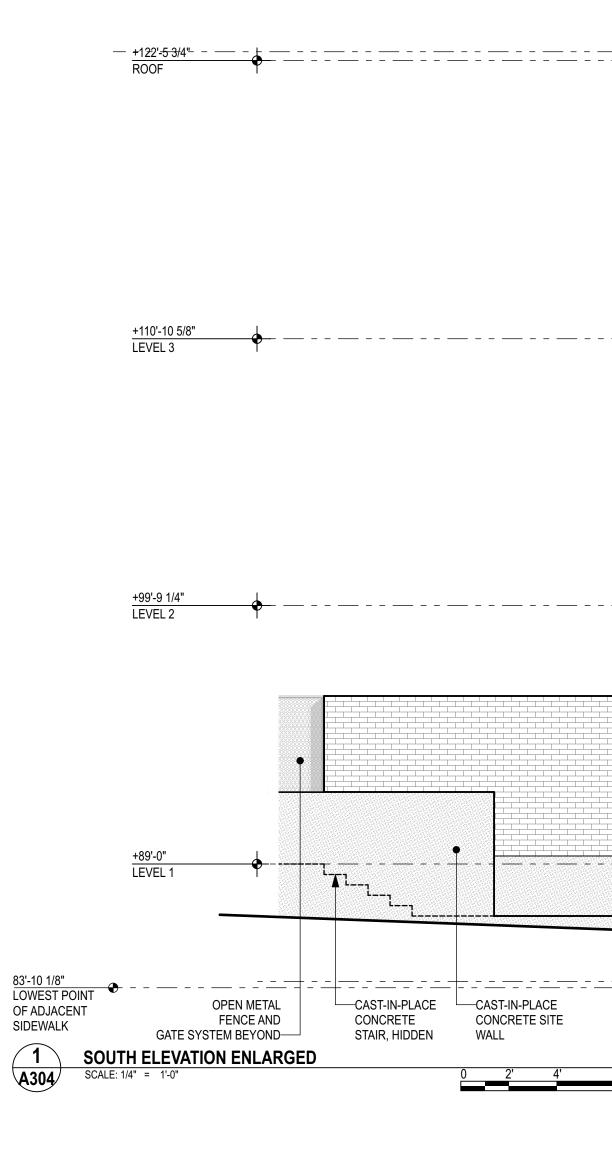


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G102

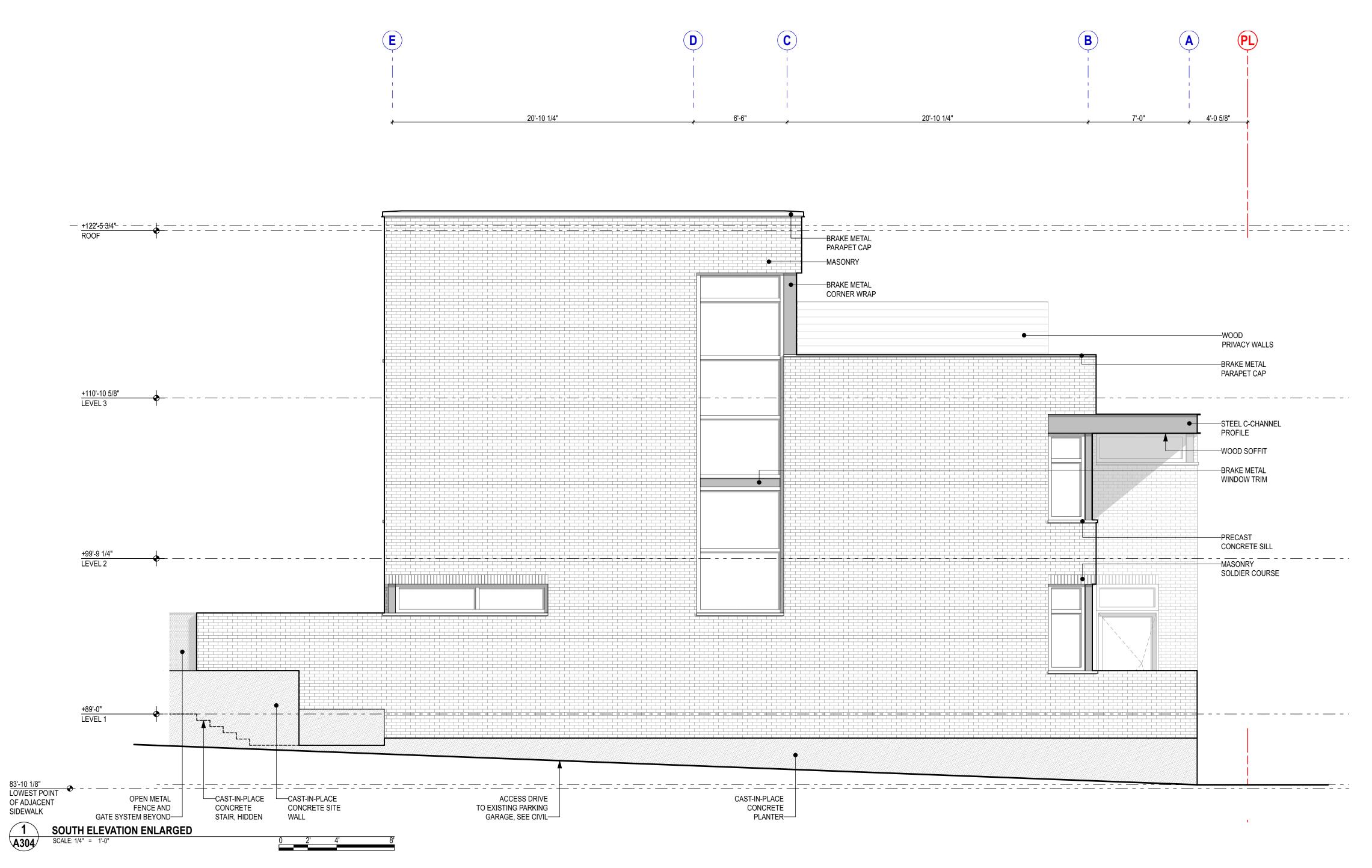
INFORMATION SEE SHEETS G101 &



PROPOSED EXTERIOR FINISH MATERIALS



MASONRY: ENDICOTT BRICK, MEDIUM IRONSPOT 77





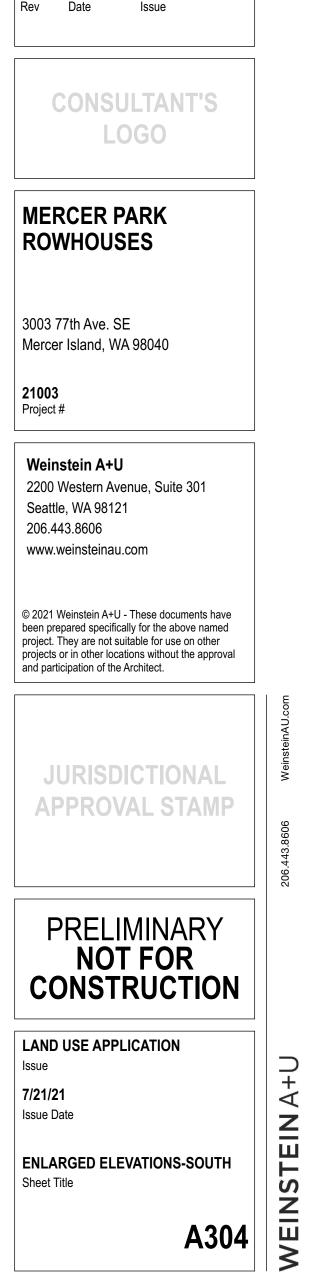




WOOD RAINSCREEN, PRIVACY WALLS AND SOFFIT: SHOU SUGI BAN CHARRED SIDING, NÁKAMOTO FORESTRY, GENDAI BLACK



WINDOW TRIM AND METAL/STEEL: BENJAMIN MOORE "ABYSS"



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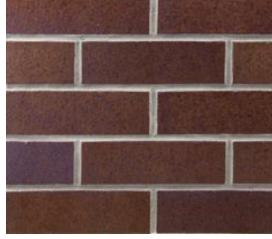
INFORMATION SEE SHEETS G101 &

2. FOR LAND USE CODE

G102



## PROPOSED EXTERIOR FINISH MATERIALS



MASONRY: ENDICOTT BRICK, MEDIUM IRONSPOT 77









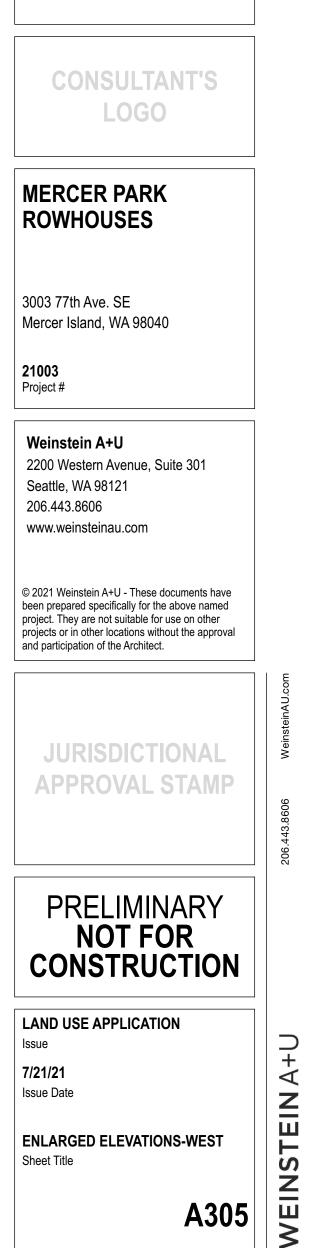


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WOOD RAINSCREEN, PRIVACY WALLS AND SOFFIT: SHOU SUGI BAN CHARRED SIDING, NAKAMOTO FORESTRY, GENDAI BLACK



WINDOW TRIM AND METAL/STEEL: BENJAMIN MOORE "ABYSS"



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2. FOR LAND USE CODE INFORMATION SEE SHEETS G101 &

G102



3EXTERIOR RENDERING - PERSPECTIVE FROM77TH & 29TH (1)A310SCALE: 1' = 1'-0"



2 EXTERIOR RENDERING - BIRDSEYE A310 SCALE: 1' = 1'-0"





EXTERIOR RENDERINGS Sheet Title

PRELIMINARY NOT FOR CONSTRUCTION

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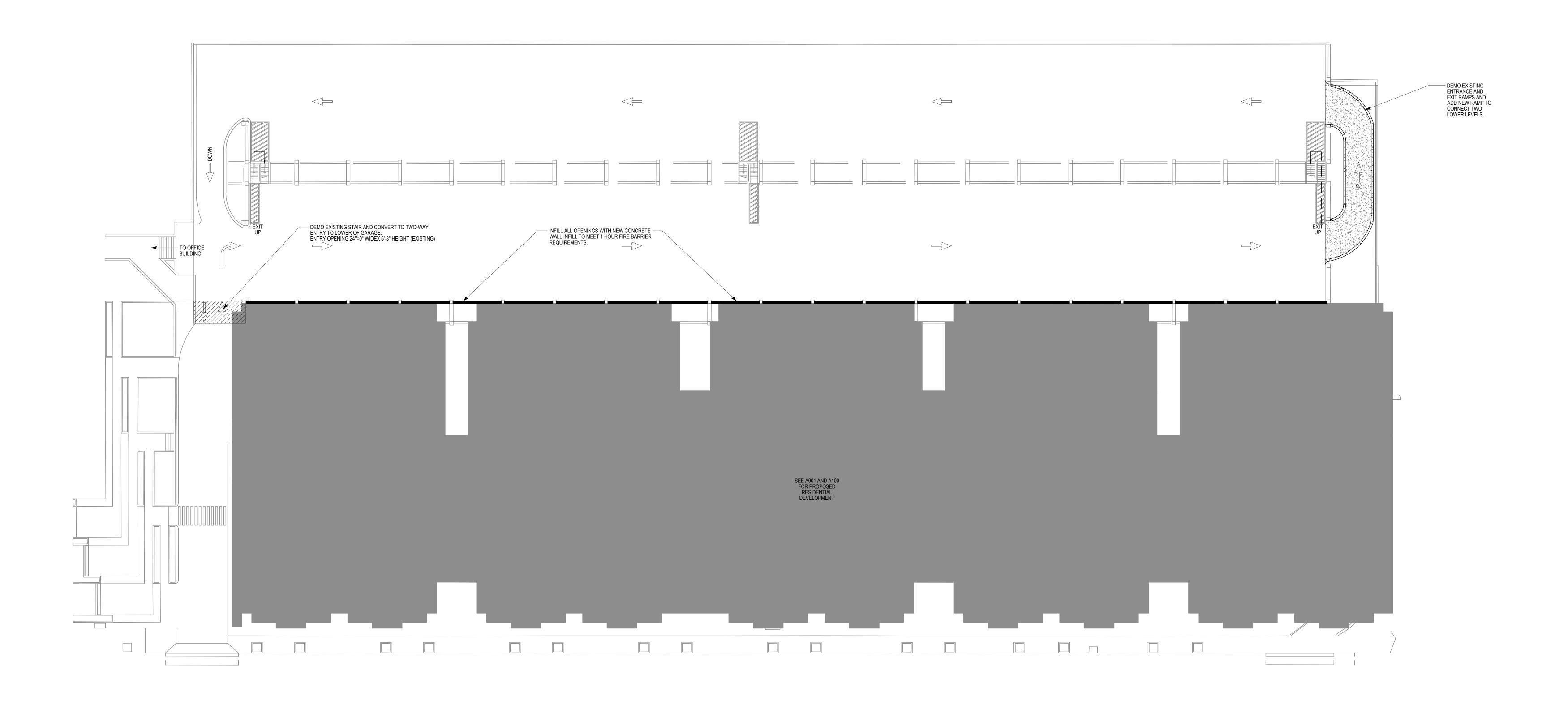
3003 77th Ave. SE Mercer Island, WA 98040

# MERCER PARK ROWHOUSES

**CONSULTANT'S** LOGO

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# PARKING

PARKING CALCULATION SECTION 19.11.130 'PAR

PARKING RATIO PER TAE 3-5 PER 1,000 GROSS SC

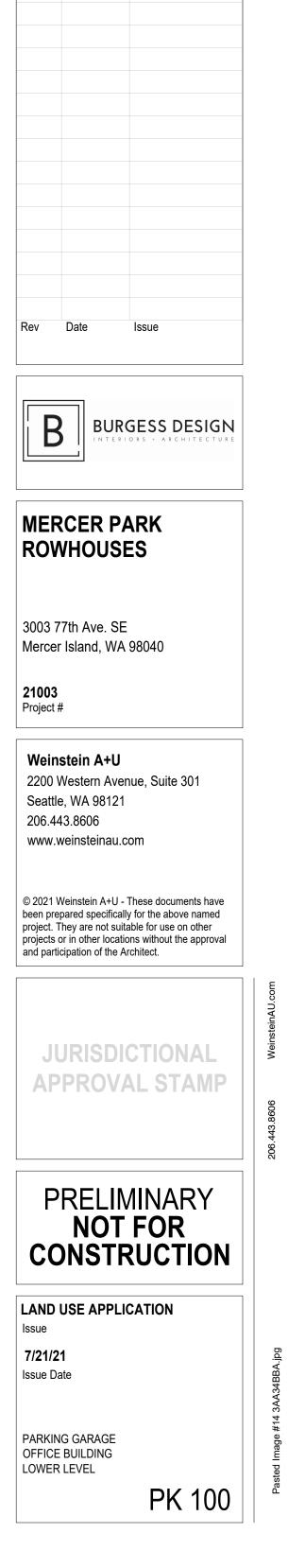
BUILDING GROSS SF = 1 156,135 SF / 3 PER 1000 CURRENT STALL CONFIC

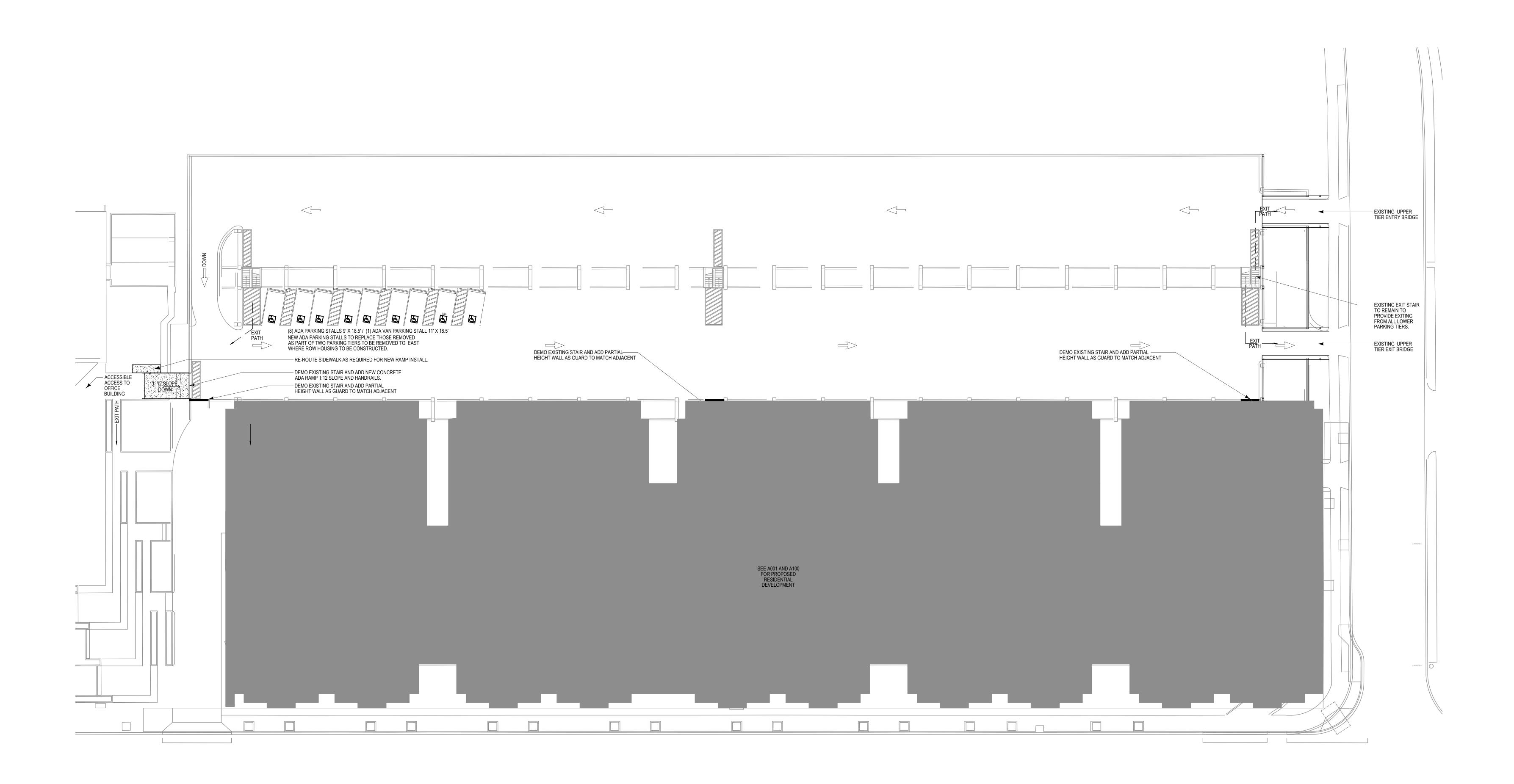
# ENCLOSE

THE EXISTING PARKING S FIRE SEPARATION REQUID RESIDENTIAL CONSTRUCT ENCLOSED TO MEET A 1 H HORIZONTAL OPEN VENTION VENTILATION AREA THE G

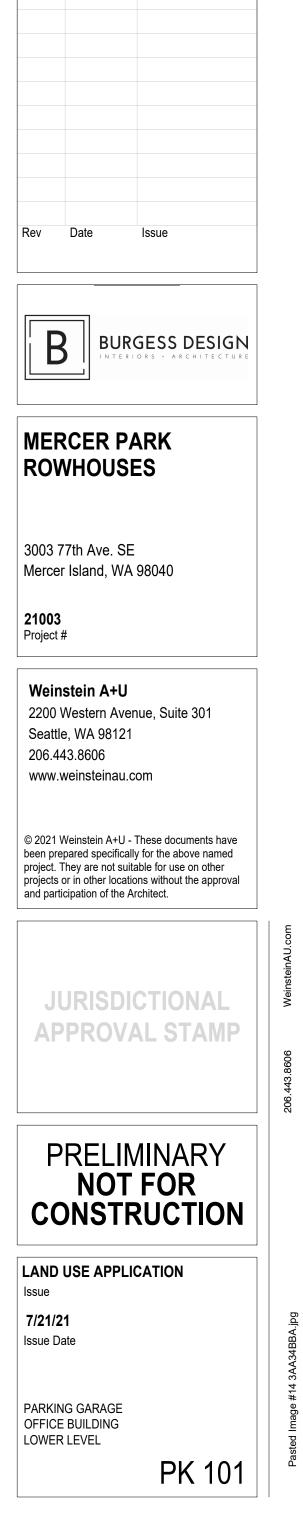
A MECHANICAL VENTILA VERTICAL AND HORIZON PARKING GARAGE.

| <b>G</b> CALCULATIONS  | FIRE PROTECTION REQU  | JIREMENTS                     |  |  |  |  |
|--|---|-------------------------------|--|--|--|--|
| ONS PER MERCER ISLAND UNIFIED LAND DEVELOPMENT CODE;<br>ARKING, VEHICULAR AND PEDESTRIAN CIRCULATION':   | BASED ON IEBC SECTION 803.2.2 WHERE TWO CONDITIONS HAVE TO OCCUR TO TRIGGER THE REQUIREMENT FOR ADDING SPRINKLERS THE SCOPE TO THE PARKING GARAGE DOES NOT EXCEED 50% OF WORK AREA. WE ESTIMATE IT AT 42% AS FOLLOWS: |                               |  |  |  |  |
| TABLE 19.11.130.B.1 - PARKING REQUIREMENTS:<br>S SQUARE FEET   | TOTAL APPROXIMATE PARKING GARAGE AREA<br>(6) TOTAL TIERS  | 102,972 GSF                   |  |  |  |  |
| = 156,135<br>00 SF GROSS FLOOR AREA = 469 PARKING STALLS PROVIDED BASED ON<br>IFIGURATION.   | REMOVAL OF TWO TIERS OF PARKING   | 69,680 GSF                    |  |  |  |  |
|  | REMOVAL OF EXISTING ENTRY   |                               |  |  |  |  |
|  | AND EXIT FROM LOWER TIERS   |                               |  |  |  |  |
| ED PARKING STRUCTURE   | AND NEW RAMP TO CONNECT TO LOWER TIERS  | 4,252 GSF                     |  |  |  |  |
| NG STRUCTURE WAS CONSIDERED A OPEN PARKING STRUCTURE - DUE TO  | NEW ADA RAMP  | 520 GSF                       |  |  |  |  |
| QUIREMENTS BETWEEN THE PARKING GARAGE TO REMAIN AND THE NEW  | TOTAL APPROXIMATE WORK AREA   | 74,787 GSF (37%)              |  |  |  |  |
| RUCTION THE EASTERN END OF THE PARKING STRUCTURE MUST BE<br>A 1 HOUR FIRE SEPARATION REQUIREMENT. BASED ON A LIMITATION OF<br>ENTILATION AREA AS REQUIRED FOR THE REMAINING VERTICAL | NEW MECHANICAL SCOPE (ESTIMATED)  | 5,150 GSF (5%)                |  |  |  |  |
| HE GARAGE WILL BECOME AN ENCLOSED PARKING GARAGE.  | EXISTING STAND PIPES TO REMAIN AND BE MODIFED AS RE   | EQURIED FOR NEW CONSTRUCTION. |  |  |  |  |
| ILATION SYSTEM WILL BE PROVIDED IN CONJUNCTION WITH EXISTING<br>CONTAL VENTILATION AREA TO MEET THE REQUIREMENTS OF AN ENCLOSED  |   |                               |  |  |  |  |
|  |   |                               |  |  |  |  |
|  |   |                               |  |  |  |  |
|  |   |                               |  |  |  |  |









| FIXTURE TYPE | PRODUCT DESCRIPTION                              |
|--------------|--|
| S1           | PEDESTRIAN SCALE POLE MOUNTED AREA LUMINAIRE     |
| S2           | WALL MOUNT AREA LIGHT<br><i>Entri</i> es         |
| S3           | WALL MOUNT AREA LIGHT<br>Patios                  |
| S4           | RECESSED STEPLIGHT<br>Stairs                     |
| S5           | ADJUSTABLE LANDSCAPE FLOODLIGHT<br>Feature Trees |
| S6           | LINEAR ACCENT LIGHT<br>Bench Locations           |
| \$7          | WALL MOUNT AREA LIGHT<br>Garage Entry            |
| S8           | CATENARY RING LIGHT                              |
| S9           | WALL MOUNT DECORATIVE SCONCE                     |

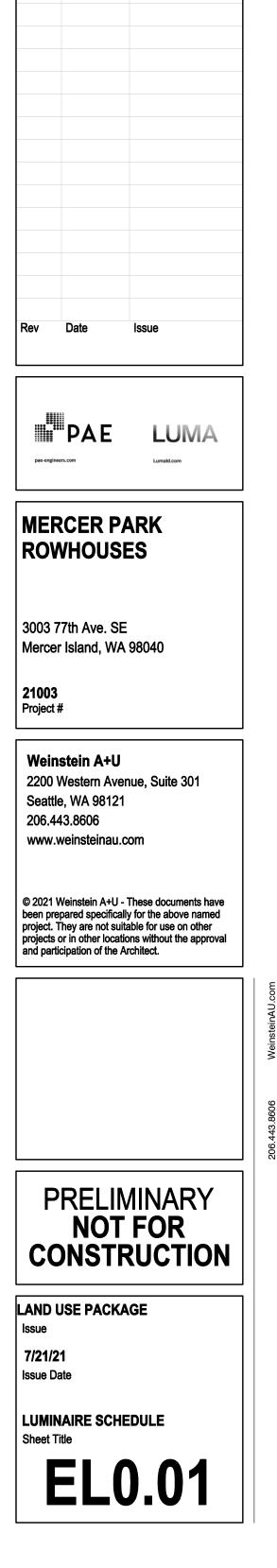
day, June 18, 2021 5:05 PM File: BIMcloud: button.weinsteinau.com - BIMcloud Basic for ARCHICAD 24/21003 - MI Rowhouses/MI-RC

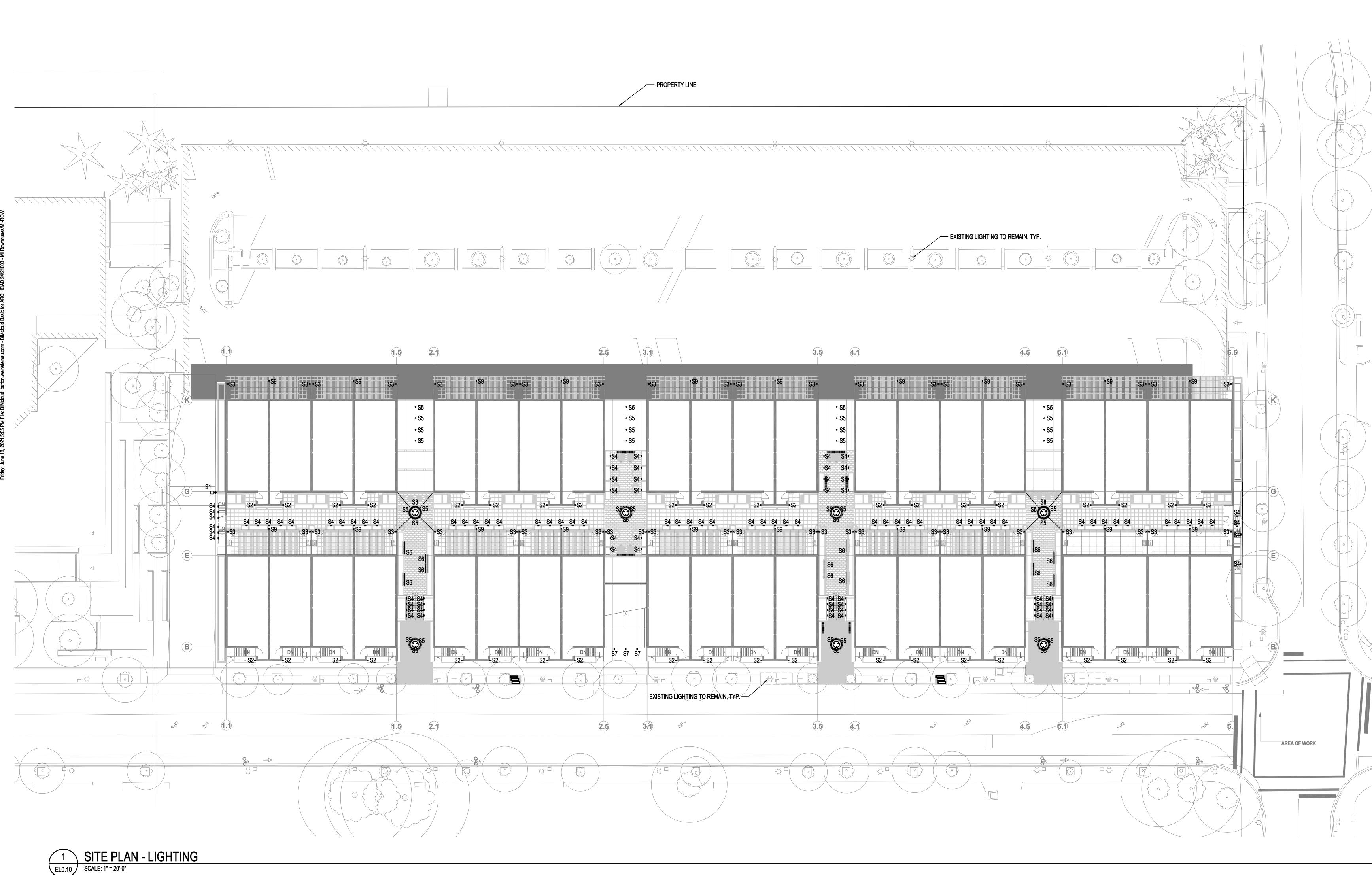
LUMINAIRE SCHEDULE

| <b>BASIS OF DESIGN MANUFACTURER</b>                    | SIZE | INPUT WATTS | LAMP SOURCE           | DRIVER                           | INPUT VOLTAGE | FINISH | MOUNTING                    | MOUNTING HEIGHT | NOTES | ALTERNATE MANUFACTURER(S) |
|--|------|-------------|-----------------------|----------------------------------|---------------|--------|-----------------------------|-----------------|-------|---------------------------|
| LIGMAN<br>UVK-90001 SERIES<br>SPD-RSS-4512-13-4.5 POLE |      | 40W         | LED<br>3500K, 80+ CRI | INTEGRAL ELECTRONIC<br>0-10V DIM | 277           |        | PEDESTRIAN POLE             | 13'             |       |                           |
| LUMINIS<br>SN1105 SERIES                               |      | 30W         | LED<br>3500K, 80+ CRI | INTEGRAL ELECTRONIC<br>0-10V DIM | 277           |        | SURFACE WALL                | 14'             |       |                           |
| SISTEMALUX<br>LOOK WALL SERIES                         |      | 24W         | LED<br>3500K, 80+ CRI | INTEGRAL ELECTRONIC<br>0-10V DIM | 277           |        | SURFACE WALL                | 7'-6"           |       |                           |
| TARGETTI<br><b>ZEDGE LINE SERIES</b>                   |      | 15W         | LED<br>3500K, 80+ CRI | INTEGRAL ELECTRONIC<br>0-10V DIM | 277           |        | RECESSED WALL               | 18" AFF         |       |                           |
| TARGETTI<br>BULLETTO SERIES                            |      | 12W         | LED<br>3500K, 80+ CRI | REMOTE ELECTRONIC<br>0-10V DIM   | 277           |        | SURFACE GROUND              | AT GRADE        |       |                           |
| LED LINEAR<br>Xooline ip67 series                      |      | 6W/LF       | LED<br>3500K, 80+ CRI | REMOTE ELECTRONIC<br>0-10V DIM   | 277           |        | NICHE TOE KICK              | 3"-6" AFF       |       |                           |
| LIGMAN<br>UVK-30001 SERIES                             |      | 20W         | LED<br>3500K, 80+ CRI | INTEGRAL ELECTRONIC<br>0-10V DIM | 277           |        | SURFACE WALL                | 12'             |       |                           |
| STRUCTURA<br>AURA RING SERIES                          |      | 55W         | LED<br>3500K, 80+ CRI | REMOTE ELECTRONIC<br>0-10V DIM   | 277           |        | CATENARY CABLE<br>SUSPENDED | 18'             |       |                           |
| STRUCTURA<br>LINEAL SCONCE SERIES                      |      | 15W         | LED<br>3500K, 80+ CRI | INTEGRAL ELECTRONIC<br>0-10V DIM | 277           |        | SURFACE WALL                | 7'-6"           |       |                           |
|  |      |             |                       |                                  |               |        |                             |                 |       |                           |
|  |      |             |                       |                                  |               |        |                             |                 |       |                           |
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|  |      |             |                       |                                  |               |        |                             |                 |       |                           |

### **GENERAL NOTES:**

- A. SPECIFICATIONS SHOWN REPRESENT THE BASIS OF DESIGN. OTHER LISTED MANUFACTURERS ARE ALTERNATES TO THE BASIS OF DESIGN. SEE SPEC SECTION 265000 FOR MORE INFORMATION ON ALTERNATE
- FIXTURES. B. LIGHT OUTPUT LISTED IN THIS SCHEDULE IS DELIVERED LUMENS UNLESS OTHERWISE NOTED
- C. CONTRACTOR TO VERIFY LUMINAIRE VOLTAGE WITH BRANCH CIRCUIT PRIOR TO ORDERING.
- D. CONFIRM ALL LUMINAIRE FINISHES, AND MOUNTING TYPES WITH ARCHITECT PRIOR TO ORDERING.
   E. CONFIRM SUSPENSION HEIGHTS, AS WELL AS ALL MOUNTING ELEVATIONS FOR WALL MOUNTED LUMINAIRES
- WITH ARCHITECT OR LIGHTING DESIGNER PRIOR TO FINAL INSTALLATION AND CUTTING OF EXCESS POWER AND SUSPENSION CABLES. F. EMERGENCY LIGHTS SHALL BE INDICATED ON LIGHTING PLANS WITH 'EM' DESIGNATED FOLLOWING THE
- G. ALL LED LUMINAIRES TO BE MINIMUM 80 CRI WITH MINIMUM 50,000 HOUR L70 LAMP LIFE. LED LUMINAIRES TO BE SUPPLIED WITH A MINIMUM 5 YEAR WARRANTY.
- H. ALL DRIVERS TO COMPLY WITH REDUCTION OF HAZARDOUS SUBSTANCES (ROHS) REQUIREMENTS

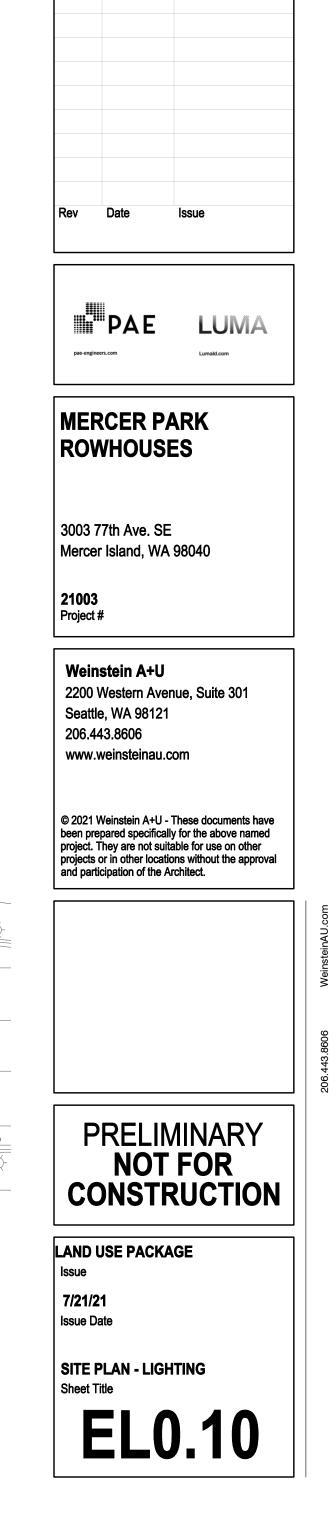


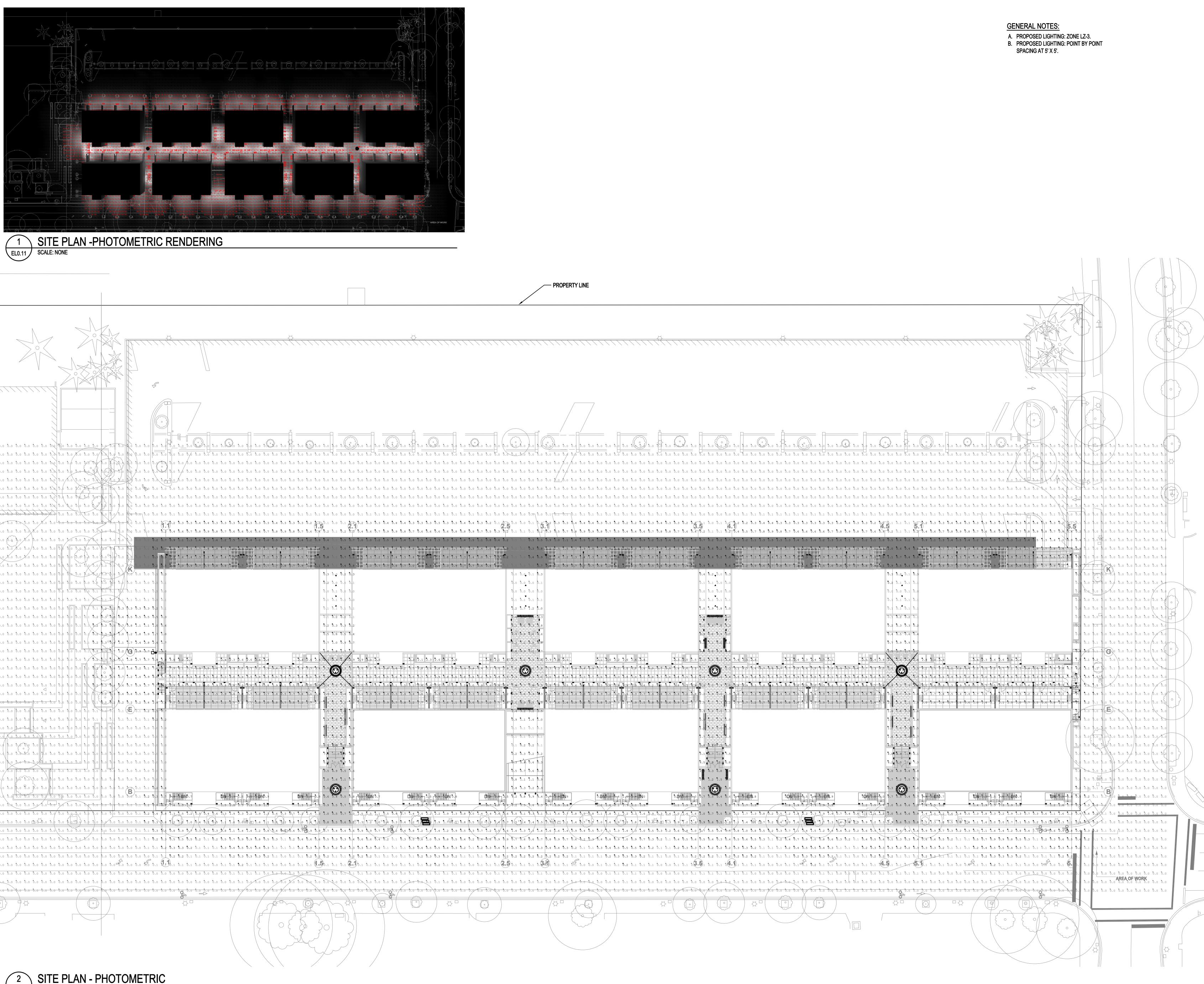


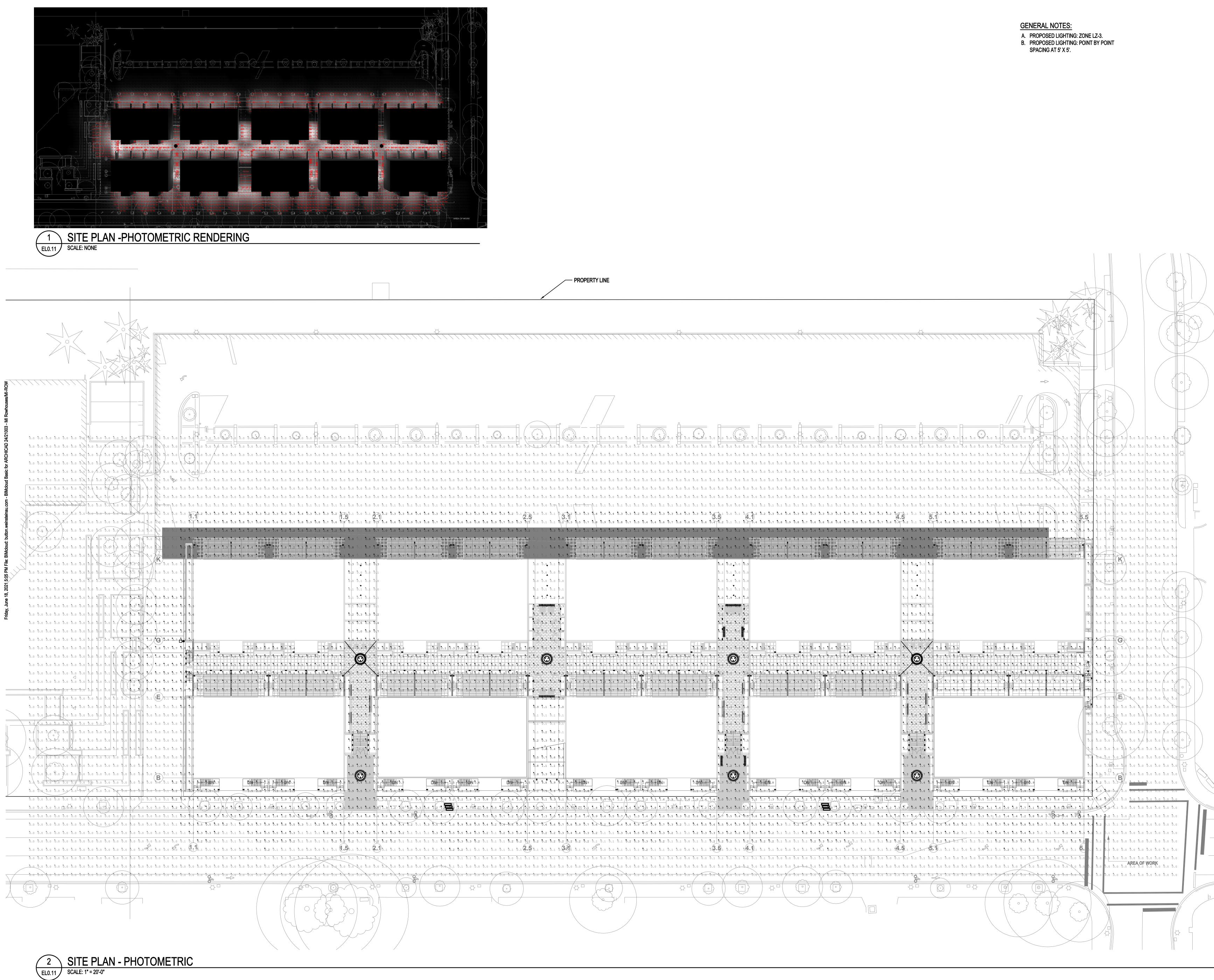
**GENERAL NOTES:** 

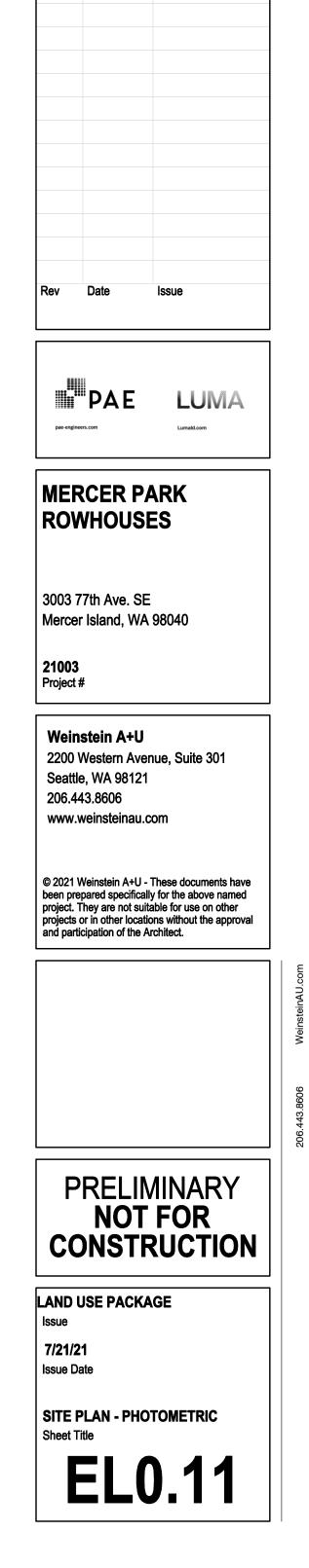
A. LIGHTING ZONE LZ-3.

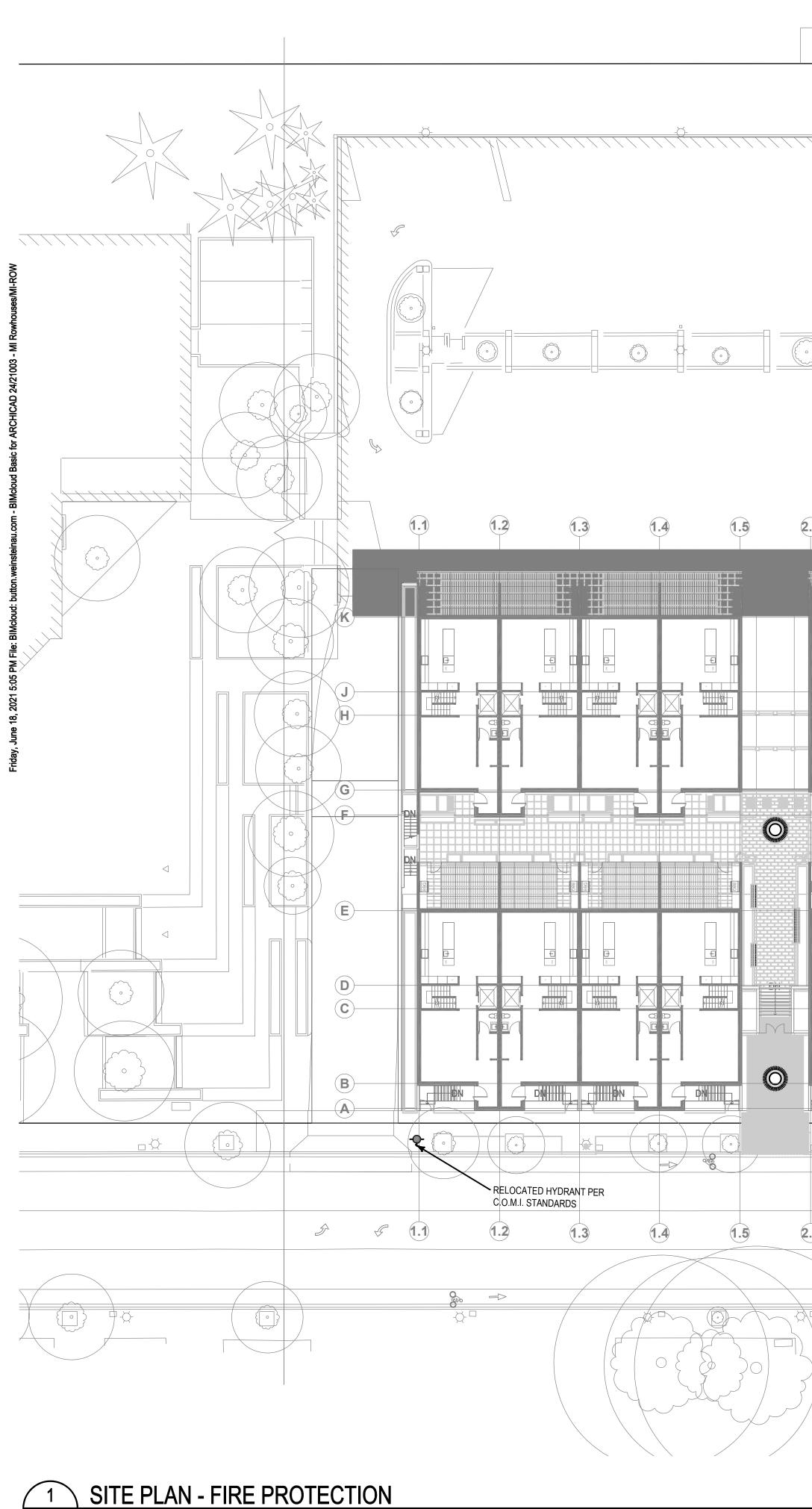
- B. POINT BY POINT SPACING AT 5' X 5'.
- C. EMERGENCY EGRESS LIGHTING WILL BE POWERED FROM THE BUILDING EMERGENCY POWER SYSTEM.











FP0.10 1"=20'-0"

ROPERTY LINE 2 X 2-1/2 SIAMESE STANDPIPE OUTLETS 2 X 2-1/2 SIAMESE STANDPIPE OUTLETS 2.4 2.2 2.3 2.5 (3.4) 3.5 (3.1) 3.2 ┇<del>┇┇</del> ┇┛┊┊<u></u>┹┹ F Q , DNIIII - HI DN RELOCATED HYDRANT PER C.O.M.I. STANDARDS 1.2 1.3 1.4 1.5 2.1 2.2 2.3 2.4 2.5 3.2 3.3 3.4 3.5 4.1 4.2 3.1  $\bigcirc$ /-Ŏ-□ -0- 🗆 | -Q- U | 

