

RIOT GAMES

Riot Games Mercer Island

ISSUE FOR PLAN CHECK_L3 TERRACE
09.02.22

3003 77th Avenue Southeast
Mercer Island WA 98040

Gensler

500 South Figueroa Street
Los Angeles, California 90071
United States
Tel: 213.327.3600
Fax: 213.327.3601

#RIOT GAMES

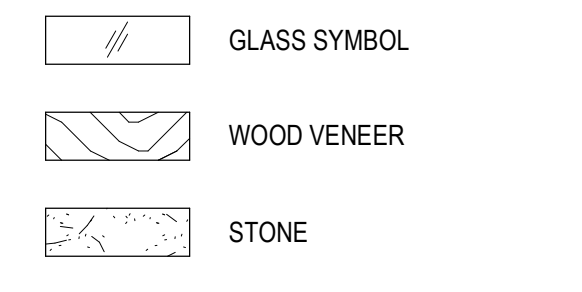
Owner
3003 77TH AVENUE SOUTHEAST
MERCER ISLAND, WQ 98040

BRUMBAUGH AND ASSOCIATES
LANDSCAPE
600 NORTH 85TH STREET, SUITE 102
SEATTLE, WA 98103

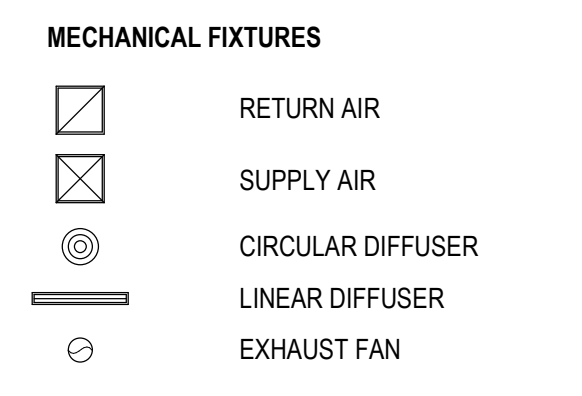
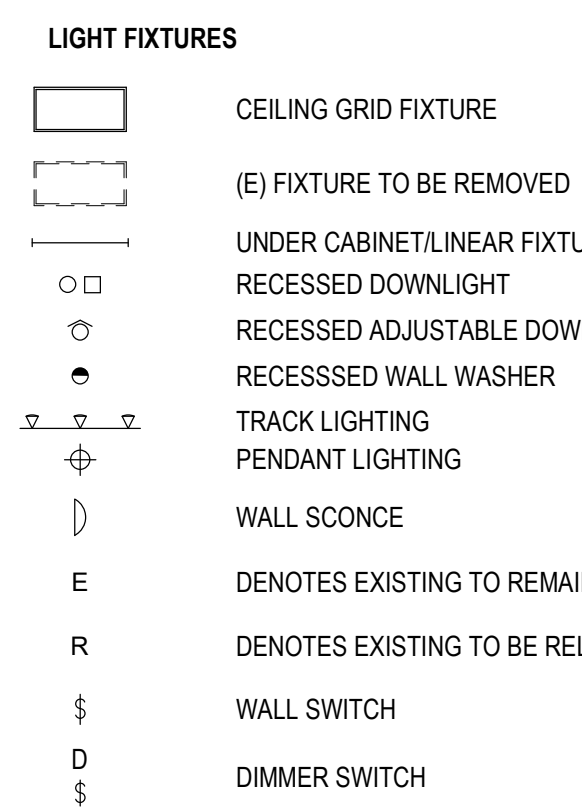
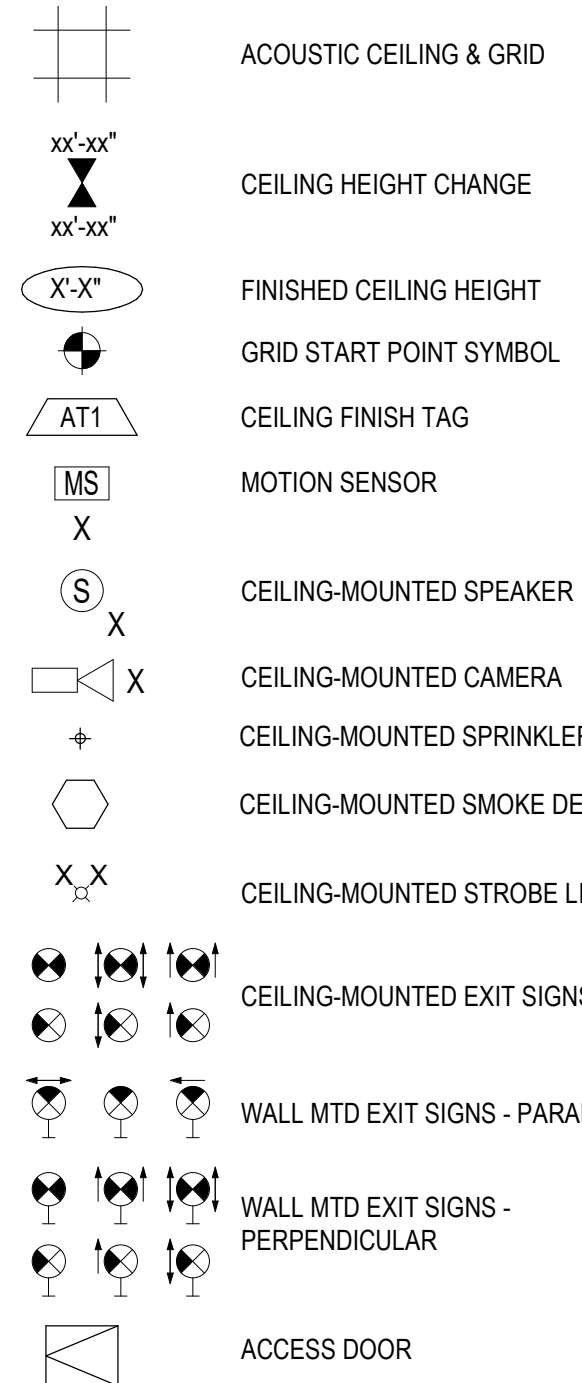
ARUP
MEP ENGINEER
1191 SECOND AVENUE, SUITE 400
SEATTLE, WA 98101

GRAPHIC SYMBOLS

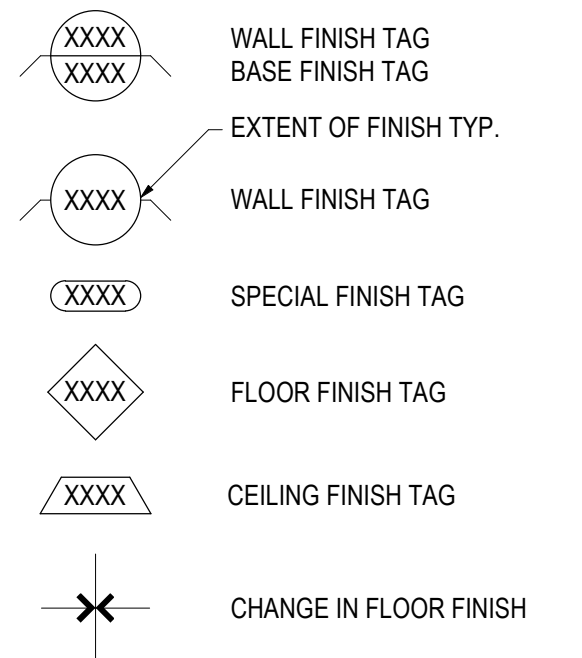
ELEVATION INDICATION



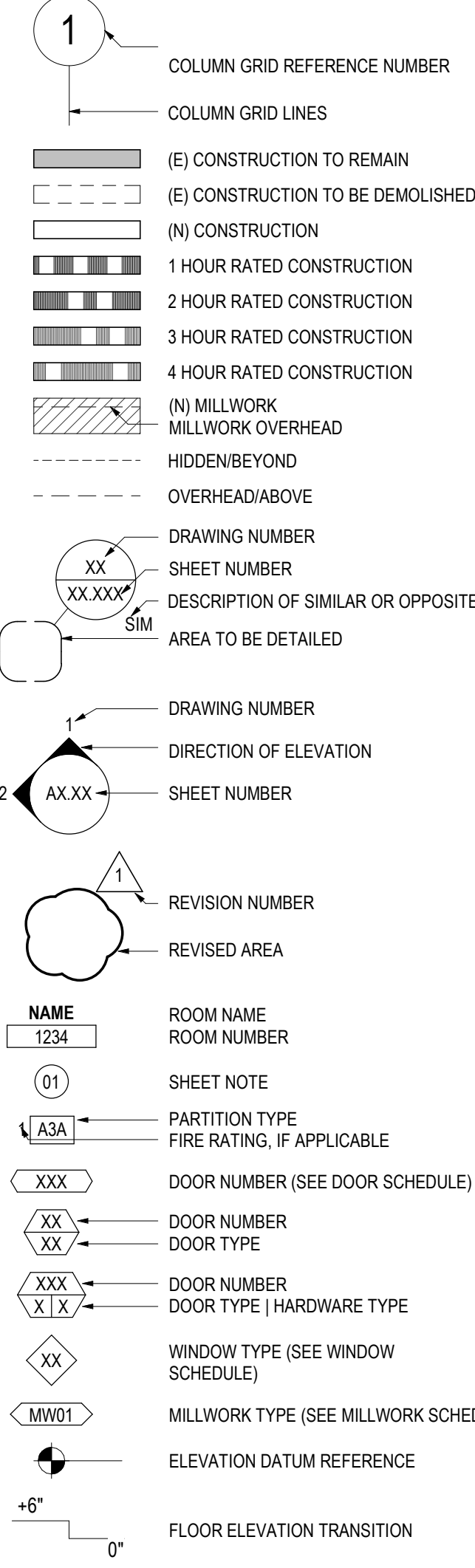
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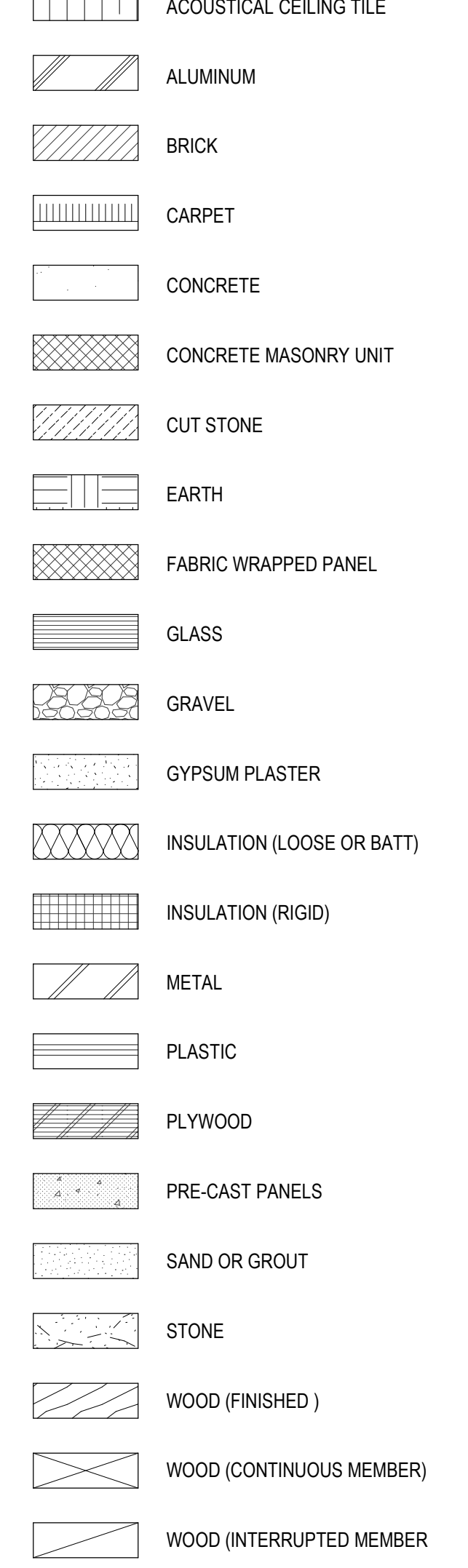
FINISH



CONSTRUCTION



SECTION INDICATIONS



ABBREVIATIONS

A	ACCESS	K	KIT	KITCHEN
ACOUS	ACOUSTICAL	L	LAVATORY	
AFF	ABOVE FINISHED FLOOR	LB	LOAD	
AL	ALUMINUM	LL	LEASE LINE	
ALT	ALTERNATE	LOU	LOUVER	
ANNUN	ANNUNCIATOR	LP	LOW POINT	
ANOD	ANODIZED	LT	LIGHT	
APC	ACOUSTIC PANEL CEILING	LVLG	LEVELING	
APPL	APPLIANCE	M	MAXIMUM	
AUTO	AUTOMATIC	MECH	MECHANICAL	
AVG	AVERAGE	MEMB	MEMBRANE	
B	BOARD	MET	METAL	
BD	BOARD	MZZ	MEZZANINE	
BLDG	BUILDING	MFR	MANUFACTURER	
BLOCK	BLOCKING	MIN	MINIMUM	
BOLD	BOLLARD	MISC	MISCELLANEOUS	
BOLDM	BROAD MOUNT	MOIST	MOISTURE	
BU	BUILT UP	MOT	MOTOR(IZED)	
C	CABINET	MTD	MOUNTED	
CAB	CABINET	MW	MILLWORK	
CEM	CEMENT(IOUS)	MWV	MILLWORK VENDOR	
CER	CERAMIC	N	NOT IN CONTRACT	
CEILING	CEILING	NO	NUMBER	
CMU	CONCRETE MASONRY UNIT	NTS	NOT TO SCALE	
COATG	COATING	O	OCCUPANT	
COILG	COILING	OCC	OCCUPANT	
CONC	CONCRETE	OH	OPPOSITE HAND	
CONSTR	CONSTRUCTION	OPNG	OPENING(S)	
CONT	CONTINUOUS(ATION)	OPN	OPERABLE	
CONTR	CONTRACTOR	ORNA	ORNAMENTAL	
COVR	COVER	OVLV	OVERFLOW	
CPT	CARPET	OVRHD	OVERHEAD	
D	DOUBLE	P	PARTICLE BOARD	
DBL	DOUBLE	PBD	PARTICLE BOARD	
DEPT	DEPARTMENT	PESTR	PEDESTRIAN	
DES	DESIGNED	PLM	PLASTIC LAMINATE	
DET	DETAIL	PLAS	PLASTER	
DF	DRINKING FOUNTAIN	PLSTC	PLASTIC	
DA	DIAMETER	PLYWD	PLYWOOD	
DIFF	DIFFUSER	PNL	PANEL	
DM	DIMENSION	POLYST	POLYSTYRENE	
DSP	DISPENSER	PORT	PORTABLE	
DIV	DIVISION	PREFAB	PREFABRICATED	
DN	DOWN	PREFIN	PREFINISHED	
DR	DOOR	PRTECN	PROTECTION	
DRN	DRAIN	PTN	PARTITION	
DWR	DRAWER	R	READER	
E	EXISTING	RDR	RECESS(ED)	
(E)	EXISTING	RECES	RECESS(ED)	
ELAST	ELASTOMERIC	RECP	RECEPTACLE	
ELEC	ELECTRICAL	REF	REFERENCED	
EMBED	EMBEDDED(ING)	REFL	REFLECTED	
ENGR	ENGINEER(ED)	REFR	REFRIGERATOR	
ENTR	ENTRANCE	REQD	REQUIRED	
EQ	EQUAL	RESIS	RESISTANT(IVE)	
EQUIP	EQUIPMENT	RFG	ROOF FAN	
EXP JT	EXPANSION JOINT	RM	ROOM	
EXPS	EXPOSED	RN	ROOF DRAIN	
EXT	EXTERIOR	RO	ROUGH OPENING	
F	FABRICATION	S	SCRIBE	
FAB	FLOOR FABRICATION	SCR	SCREED	
FLOOR DRAIN	FLOOR DRAIN	SECUR	SECURITY	
FE	FIRE EXTINGUISHER	SF	SQUARE FEET	
FESG	FIRE EXTINGUISHER AND CABINET	SG	SINGLE	
FHC	FIRE HOSE CABINET	SHOR	SHORING	
FN	FINISH	SM	SIMILAR	
FLDG	FOLDING	SST	STAINLESS STEEL	
FLUR	FLOORING	STD	STANDARD	
FLR	FLOOR	STL	STEEL	
FPLC	FIRE RATING	STRCT	STRUCTURAL	
FR	FIRE RATING(ED)	SURF	SURFACE	
FRMG	FRAMING	SUSP	SUSPENDED	
FURN	FURNITURE	SYS	SYSTEM(S)	
FWC	FABRIC WALL COVERING	T	TONGUE AND GROOVE	
FXD	FIXED	T&G	TONGUE AND GROOVE	
FXTR	FIXTURE	THK	THICK	
G	GAUGE	TLT	TOILET	
GA	GENERAL CONTRACTOR	TOS	TOP OF STEEL	
GC	GENERAL CONTRACTOR	TRAF	TRAFFIC	
GFRG	GLASS FIBER REINFORCED CONCRETE	TRNS	TRANSPARENT	
GFRP	GLASS FIBER REINFORCED GYPSUM	TRTD	TREATED	
GL	GLASS	UTL	UTILITY	
GR	GRADE(ING)	V	VEHICLE	
GNB	GYPSUM WALL BOARD	VEH	VEHICLE	
GYP	GYPSUM	VERT	VERTICAL	
H	HEAD	VF	VERIFY IN FIELD	
HD	HARDWOOD	W	WOOD	
HDWE	HARDWARE	WDW	WINDOW	
HM	HOLLOW METAL	WT	WEIGHT	
HORIZ	HORIZONTAL	WTRP	WATERPROOFING	
HP	HIGH POINT			
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING			
I	INFILTRATION			
INFILTR	INFILTRATION			
INFD	INFORMATION			
INSTRUM	INSTRUMENTATION			
INSUL	INSULATION			
INT	INTERIOR			
INTLK	INTERLOCKING			
J	JANITOR			
JAN	JANITOR			

DRAWING INDEX

Sheet Number	Sheet Name	07/29/22 ISSUE FOR PLAN CHECK EXTERIOR
G0.105	PROJECT INFO - L3 TERRACE	
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AL.103	CONSTRUCTION PLAN - L3 TERRACE	
LD.01	COVER / INDEX	
LD.01	LANDSCAPE DEMO PLAN - TERRACE	
LD.01	LANDSCAPE LAYOUT PLAN - TERRACE	
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LD.01	LANDSCAPE GRADING PLAN - TERRACE	
LD.01	PLANTING PLAN - TERRACE	
LD.01	SECTIONS AND DETAILS - TERRACE	

GENERAL NOTE

- COMPLY WITH CODES, LAWS, ORDINANCES, RULES, AND REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK.
- OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK.
- REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. REPORT ANY CONFLICTS OR OMISSIONS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO BIDDING OR PERFORMING ANY WORK IN QUESTION.
- SUBMIT REQUESTS FOR SUBSTITUTIONS, REVISIONS, OR CHANGES TO ARCHITECT FOR REVIEW PRIOR TO PURCHASE, FABRICATION OR INSTALLATION. SEE ALSO PROJECT SPECIFICATIONS.
- COORDINATE WORK WITH THE OWNER, INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, USE OF BUILDING SERVICES AND FACILITIES, AND USE OF ELEVATORS. MINIMIZE DISTURBANCE OF BUILDING FUNCTIONS AND OCCUPANTS.
- OWNER WILL PROVIDE WORK NOTED "BY OTHERS" OR "N/C" UNDER SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
- PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.
- MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING CONSTRUCTION. COORDINATE WITH TENANT AND LANDLORD TO ENSURE SECURITY.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE ARCHITECT.
- PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNLESS OTHERWISE NOTED. MAINTAIN DIMENSIONS MARKED "CLEAR" ALLOW FOR THICKNESS OF FINISHES.
- GC TO COORDINATE WITH LANDLORD OF ANY RELOCATION OF (E) SERVICE LINES, SUCH AS WATER LINE, GAS LINE, DOMESTIC WATER, ETC.

CONSTRUCTION NOTES

- ALL EXISTING CONSTRUCTION SHOWN TO REMAIN U.O.N.
- CONTRACTOR TO PATCH AND REPAIR ANY AREA AFFECTED BY CONSTRUCTION TO BE IN "LIKE NEW" CONDITION.
- UNLESS OTHERWISE DIRECTED BY OWNER, ARCHITECT, OR PROJECT MANAGER, GC TO PROVIDE KEYING AND SIGNAGE ALLOWANCE.
- ALL PENETRATIONS THROUGH RATED ASSEMBLIES MUST BE FIRE SEALED PER UL METHODS.
- CONTRACTOR SHALL PREPARE AND IMPLEMENT CONSTRUCTION WASTE MANAGEMENT PLAN IN COMPLIANCE WITH LOCAL JURISDICTION REQUIREMENTS AND PROJECT LEED CERTIFICATION GOALS.

PROJECT DIRECTORY

OWNER:
RIOT GAMES
 3003 77TH AVENUE SOUTHEAST
 MERCER ISLAND, WA 98040

ARCHITECT:
GENSLER
 500 SOUTH FIGUEROA STREET
 LOS ANGELES, CALIFORNIA 90071

LANDSCAPE:
BRUNBAUGH & ASSOCIATES
 600 NORTH 85TH STREET, SUITE 102
 SEATTLE, WA 98103

BLUIMING:
ARUP
 1191 SECOND AVENUE, SUITE 400
 SEATTLE, WA 98101

ELECTRICAL:
ARUP
 1191 SECOND AVENUE, SUITE 400
 SEATTLE, WA 98101

PROJECT INFORMATION

NAME:
RIOT GAMES

ADDRESS:
 3003 77TH AVENUE SOUTHEAST, MERCER ISLAND, WA 98040

ASSESSOR'S PARCEL NO.:
 531510-1015

Plot Block:
 11

Plot Lot:
 7 THRU 12

PROJECT DESCRIPTION:
 TENANT IMPROVEMENT FOR EXISTING TERRACE ON LEVEL 3 OF A 5-STORY COMMERCIAL BUILDING, 3,235 SF OF IMPROVEMENT.

LEGAL DESCRIPTION:
 MC GILVERAS ISLAND ADD LESS CO RD

BUILDING HEIGHT:
 5-STORIES

BUILDING AREA:
 LOWER LEVEL: 31,041 SF
 LEVEL 01: 36,956 SF
 LEVEL 02: 36,428 SF
 LEVEL 03: 28,306 SF
 LEVEL 04: 12,956 SF
TOTAL: 145,687 SF

TYPE OF CONSTRUCTION:
 TYPE 1A

FIRE RESISTIVE SYSTEM AND FIRE ALARM SYSTEM:
 SPRINKLER PER NFPA13 QUICK RESPONSE HEADS
 EMERGENCY VOICE / ALARM COMMUNICATION SYSTEM REQUIRED

AUTOMATIC SPRINKLER SYSTEMS:
 NFPA 13 PROVIDED THROUGHOUT (MECHANICAL AS-BUILT SHEET M0.0)

FIRE RESISTANCE RATING - BUILDING ELEMENTS:
 STRUCTURAL FRAME: 3 HOURS
 FLOOR CONSTRUCTION: 2 HOURS
 ROOF CONSTRUCTION: 1.5 HOURS

FIRE DEPARTMENT STANDPIPES:
 STANDPIPE HOSE IS NOT REQUIRED AT HORIZONTAL EXIT PER 905.4 SECTION 2 EXCEPTION

PORTABLE FIRE EXTINGUISHERS:
 REQUIRED THROUGHOUT

MANUAL PULL STATIONS:
 PROVIDED

MECHANICAL SMOKE CONTROL SYSTEM:
 NOT REQUIRED / NOT PROVIDE

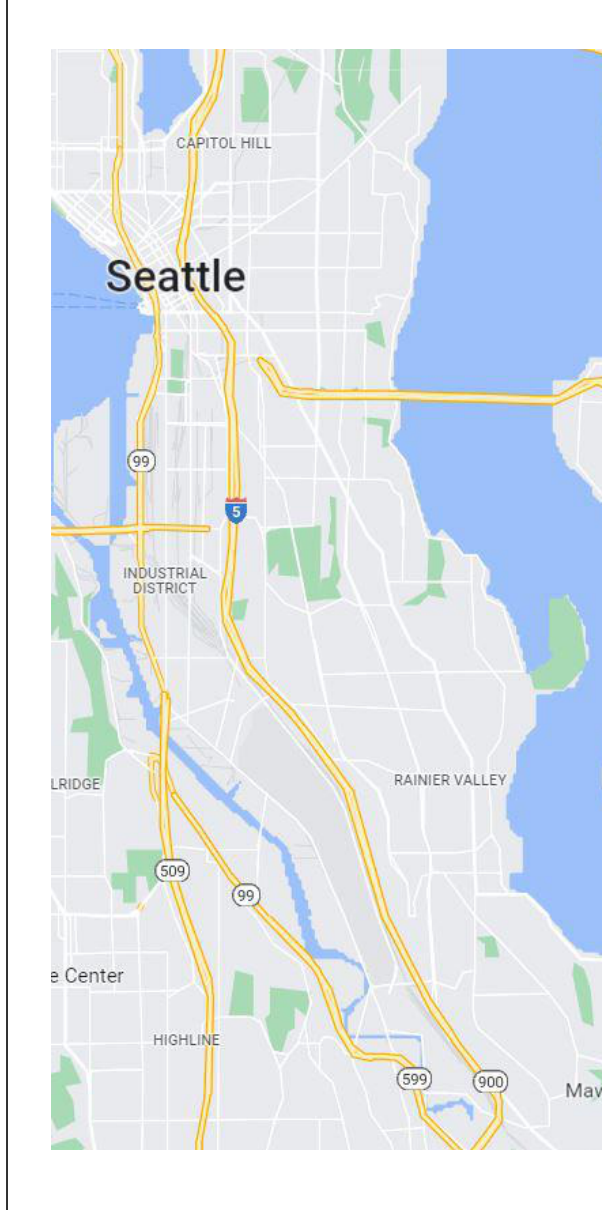
EMERGENCY RESPONDER RADIO COVERAGE:
 PROVIDED THROUGHOUT

MIXED OCCUPANCY CLASSIFICATION:
 SEPARATED MIXED USE (2 HOUR SEPARATIONS AT THE ENTRANCE)
 NON-SEPARATED MIXED USE (ON A FLOOR BY FLOOR BASIS)

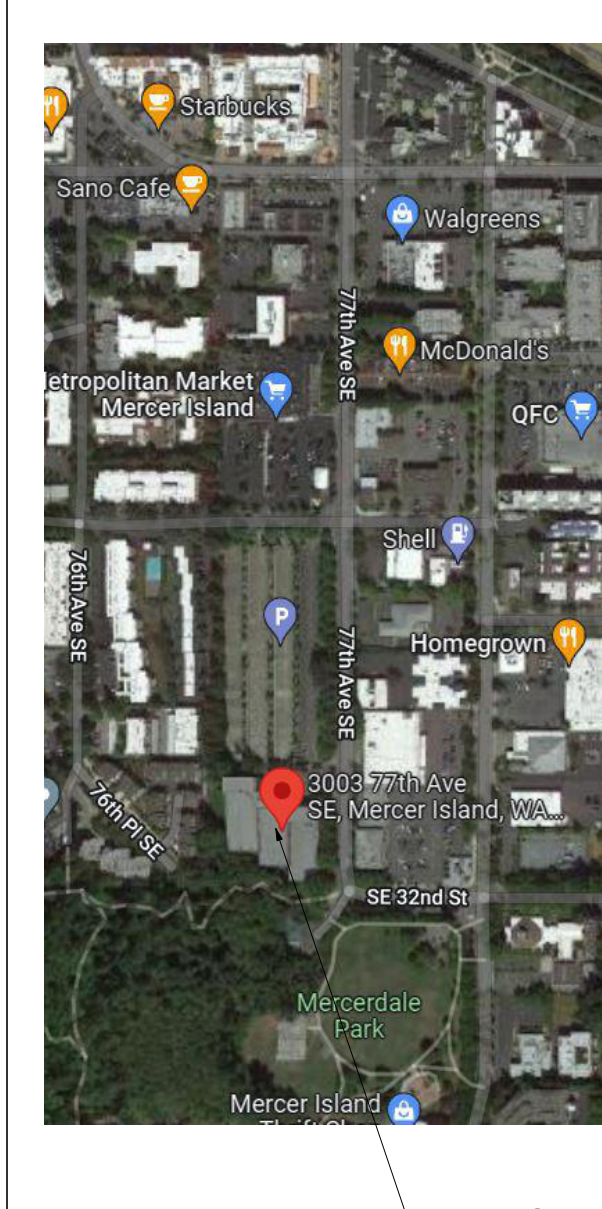
OCCUPANCY TYPE:
 B OFFICE, A-2 ASSEMBLY, A-3 ASSEMBLY, S-1 STORAGE, S-2 STORAGE

APPLICABLE CODES:
 2018 International Building Code (IBC) with Washington State and Mercer Island amendments
 2018 International Fire Code (IFC) with Washington State and Mercer Island amendments
 2018 International Existing Building Code (IEBC) with Washington State and Mercer Island amendments
 2018 International Mechanical Code (IMC)
 2018 International Fuel Gas Code (IFGC)
 2018 Uniform Plumbing Code (UPC)
 2018 International Fire Code (IFC)
 Washington State Energy Code (WSEC)
 ICC/ANSI A117.1-09, Accessible and Usable Buildings and Facilities, with statewide and City amendments

VICINITY MAP



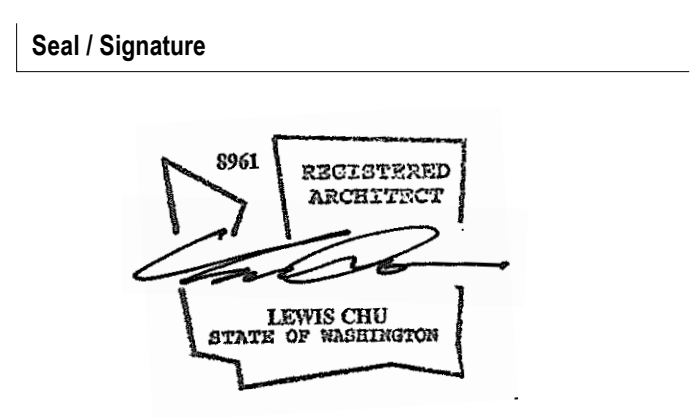
SITE LOCATION MAP



RIOT GAMES
 3003 77th Avenue Southeast Mercer Island WA 98040

Gensler
 500 South Figueroa Street
 Los Angeles, California 90071
 United States
 Tel: 213.327.3600
 Fax: 213.327.3601

Date	Description
09.02.22	ISSUE FOR PLAN CHECK, L3 TERRACE



Project Name:
 Riot Games Mercer Island

Project Number:
 05.3853.000

Description:
 PROJECT INFO_L3 TERRACE

Scale:
 1/8" = 1'-0"

G0.105

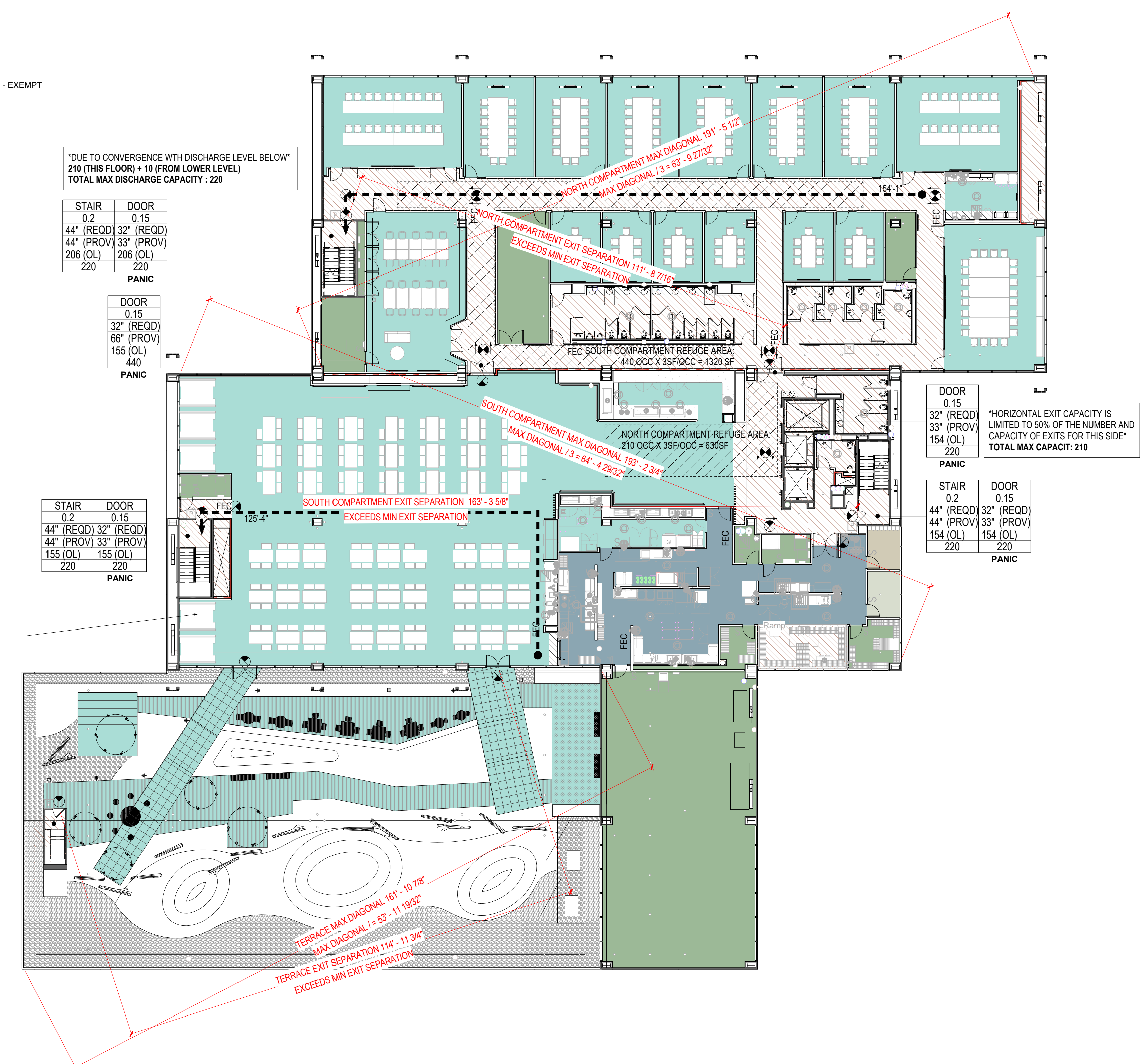
OCC SCHEDULE- LEVEL 3 (SOUTH)				OCC SCHEDULE- LEVEL 3 (NORTH)			
Number	Name	Area	Occ Load	Number	Name	Area	Occ Load
ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM - EXEMPT				ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM - EXEMPT			
3K04	ELECTRICAL	170.29 SF		3Q18	JAV	119.36 SF	
3G15	JAN. CLOS.	54.90 SF		3P10	FURN. STORAGE	411.53 SF	
3K16	ELEC ROOM	85.27 SF		3N07	IDF	197.43 SF	
3K20	DRY STORAGE	147.67 SF		(E)	(E) ELEC	30.71 SF	
3G21	CATERING STORAGE	119.02 SF				750.07 SF	0
(E)	(E) MECH	2805.40 SF		ASSEMBLY - UNCONCENTRATED (TABLES AND CHAIRS) - 15 NSF			
				3S19	FLEX ROOM	587.48 SF	40
				3T08	FLEX ROOM	622.26 SF	42
ASSEMBLY - UNCONCENTRATED (TABLES AND CHAIRS) - 15 NSF				ASSEMBLY - UNCONCENTRATED (TABLES AND CHAIRS) - 15 NSF			
3K13	SERVTRY	1834.71 SF	123	3S12	CONFERENCE	358.86 SF	24
3J08	DINING	6296.21 SF	420	3S13	CONFERENCE	369.17 SF	24
3E04	OUTDOOR SEATING AREA	1123.53 SF	75	3S15	CONFERENCE	368.94 SF	24
3E05	OUTDOOR TERRACE	1164.88 SF	78	3S16	CONFERENCE	369.09 SF	24
3E06	OUTDOOR SEATING AREA	946.09 SF	64	3S17	CONFERENCE	369.23 SF	25
				3S10	CONFERENCE	369.24 SF	24
BUSINESS AREAS - 150 GSF				BUSINESS AREAS - 150 GSF			
3G19	OFFICE	95.23 SF	1	3P08	PC CAFE	766.39 SF	52
				3R13	CONFERENCE	179.64 SF	12
				3R14	CONFERENCE	184.04 SF	13
EXEMPT				EXEMPT			
3M17	WOMENS	206.03 SF		3R15	CONFERENCE	184.30 SF	13
3K17	ALL GENDER	70.81 SF		3Q16	CONFERENCE	180.11 SF	13
3L15	HALLWAY	547.34 SF		3Q17	CONFERENCE	179.58 SF	12
3K03	VEST.	82.00 SF		3R12	CONFERENCE	188.49 SF	13
				3R20	PANTRY	130.70 SF	9
EXERCISE / LOCKER ROOM - 50 GSF				EXERCISE / LOCKER ROOM - 50 GSF			
3G18	LOCKER ROOM	88.68 SF	2	3P20	FLEX ROOM	703.15 SF	47
						6061.67 SF	411
KITCHEN - 200 GSF				KITCHEN - 200 GSF			
3G14	BOH + DISH ROOM	1783.28 SF	9	EXEMPT			
				3P12	MENS	306.86 SF	
				3P14	WOMENS	315.23 SF	
				3R16	HALLWAY	2775.33 SF	
				3P17	ALL GENDER	56.13 SF	
				3P16	ALL GENDER	65.13 SF	
				3P15	ALL GENDER	62.31 SF	
				3N18	VEST.	127.80 SF	
				3P18	ALL GENDER	92.43 SF	
Grand total		17992.75 SF	772	Grand total		10610.95 SF	411

* DUE TO CONVERGENCE, 50% LIMITATION, OR HORIZONTAL EXIT LIMITATIONS (WHERE APPLICABLE), TOTAL EXIT CAPACITY: 1,100

* DUE TO CONVERGENCE, 50% LIMITATION, OR HORIZONTAL EXIT LIMITATIONS (WHERE APPLICABLE), TOTAL EXIT CAPACITY: 420

- ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM - EXEMPT
- ASSEMBLY - UNCONCENTRATED (TABLES AND CHAIRS) - 15 NSF
- BUSINESS AREAS - 150 GSF
- EXEMPT
- EXERCISE / LOCKER ROOM - 50 GSF
- KITCHEN - 200 GSF

INTERIOR SCOPE UNDER SEPARATE PERMIT



* DUE TO CONVERGENCE WITH DISCHARGE LEVEL BELOW* 210 (THIS FLOOR) + 10 (FROM LOWER LEVEL) TOTAL MAX DISCHARGE CAPACITY - 220

STAIR	DOOR
0.2	0.15
44" (REOD) 32" (REOD)	44" (PROV) 33" (PROV)
155 (OL)	154 (OL)
220	220
PANIC	

STAIR	DOOR
0.2	0.15
44" (REOD) 32" (REOD)	44" (PROV) 33" (PROV)
155 (OL)	154 (OL)
220	220
PANIC	

STAIR	DOOR
0.2	0.15
44" (REOD) 32" (REOD)	44" (PROV) 33" (PROV)
155 (OL)	154 (OL)
220	220
PANIC	

STAIR	DOOR
0.2	0.15
44" (REOD) 32" (REOD)	44" (PROV) 33" (PROV)
154 (OL)	154 (OL)
220	220
PANIC	

* HORIZONTAL EXIT CAPACITY IS LIMITED TO 50% OF THE NUMBER AND CAPACITY OF EXITS FOR THIS SIDE* TOTAL MAX CAPACIT: 210

STAIR	DOOR
0.2	0.15
44" (REOD) 32" (REOD)	44" (PROV) 33" (PROV)
154 (OL)	154 (OL)
220	220
PANIC	

L3 OCCUPANCY AND EGRESS (TERRACE)
SCALE: 1/16" = 1'-0"

1

SHEET NOTES

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3003 77th Avenue Southeast Mercer Island WA 98040

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500 South Figueroa Street
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LEGEND

- (N) 2 HR RATED CONSTRUCTION
- (E) CONSTRUCTION TO REMAIN
- (N) NON RATED CONSTRUCTION
- REFUGE AREA
- EXIT SIGN
- FIRE EXTINGUISHER CABINET
75' MAX TRAVEL DISTANCE
- DOOR
- 0.15 - COMPONENT
- 0" (REOD) - WIDTH FACTOR VALUE
- 0" (PROV) - REQUIRED WIDTH
- 0" (PROV) - WIDTH PROVIDED
- (OL) - OCCUPANT LOAD
- 0 - CAPACITY
- PANIC - PANIC HARDWARE REQUIRED
- 0'-0" - COMMON PATH OF TRAVEL WITH TRAVEL DISTANCE
- 0'-0" - EXIT ACCESS TRAVEL WITH TRAVEL DISTANCE
- 0'-0" - DEAD END WITH DISTANCE

Seal / Signature

Project Name
Riot Games Mercer Island

Project Number
05.3853.000

Description
OCCUPANCY AND EGRESS PLAN - L3 TERRACE

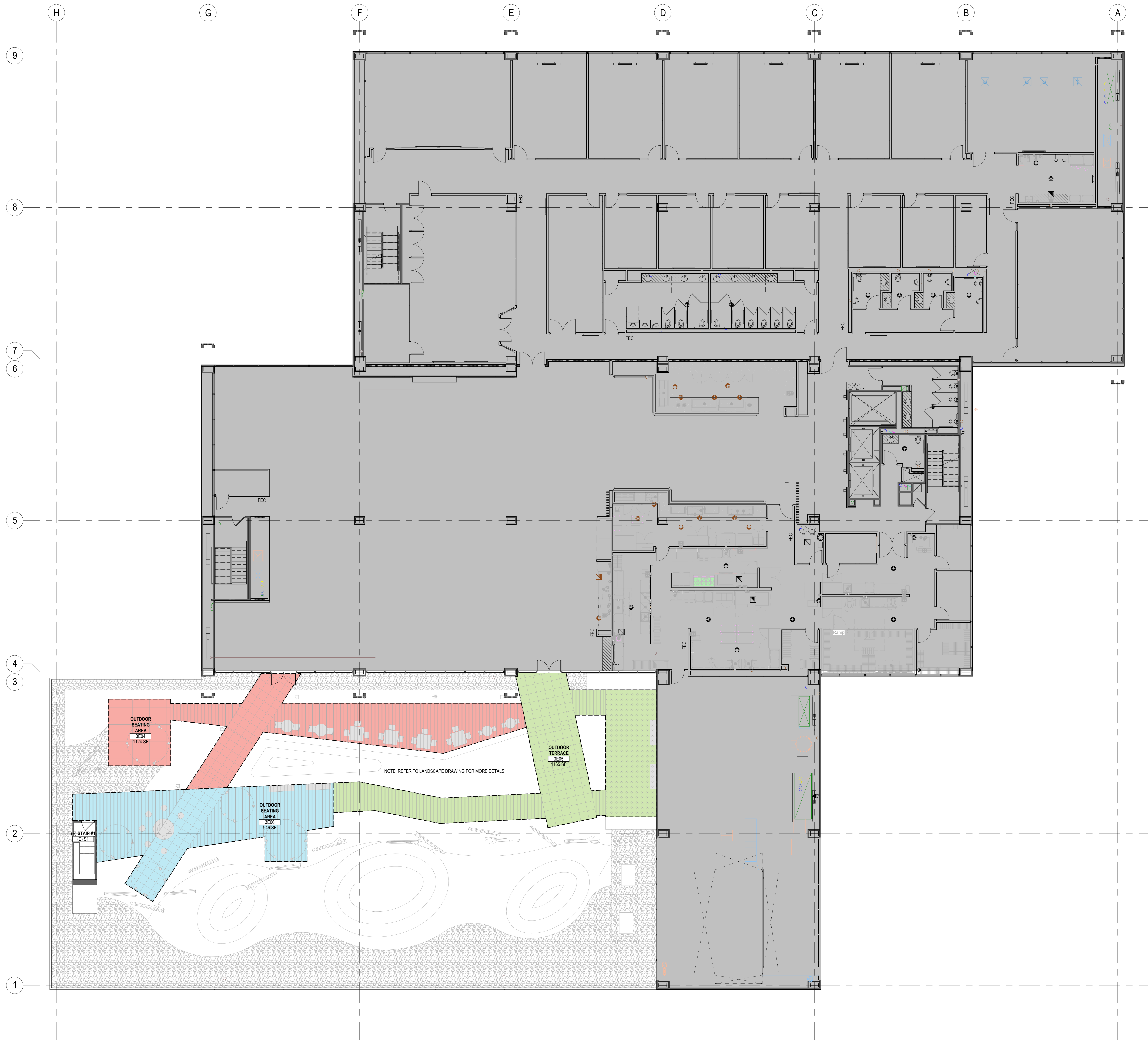
Scale
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G0.202

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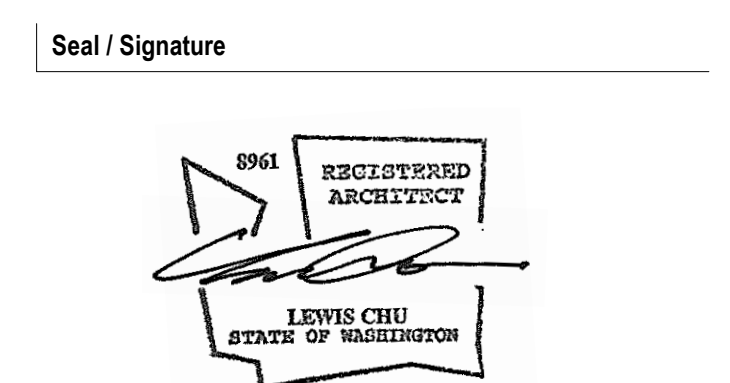
GENERAL NOTES

- REF. GO 105 FOR GRAPHIC SYMBOLS, ABBREVIATIONS, AND GENERAL NOTES.
- GC TO CLEAN / REPAIR EXISTING PERIMETER MULLION / CONNECTOR TO LIKE NEW CONDITION.
- ALL PERIMETER WALLS AND COLUMNS TO RECEIVE CORNER BEADS AND PATCHING TO "AS NEW CONDITION" EXIST GWS FURRING TO BE EXTENDED TO 6" ABOVE C.L.G. U.O.N. WHERE NEW SLAB HEIGHT WALL CONSTRUCTION MEETS COLUMN EXTEND GYP BD ON COLUMN TO DECK.
- PROVIDE FLEXIBLE SEALANT (WHITE) WHERE GYPSUM IS IN THE SAME PLANE OF EXISTING ARCHITECTURE. COORDINATE LOCATIONS IN FIELD FOR APPROVAL BY ARCHITECT.
- NOTIFY ARCHITECT IN WRITING OF CONFLICTS, DIMENSIONAL OR OTHER DISCREPANCIES PRIOR TO PROCEEDING WITH WORK OR AREAS AFFECTED.
- ALL GLASS TO BE TEMPERED. ALL EXPOSED EDGES SHALL BE POLISHED.
- REFER TO PROJECT MANUAL AND DOOR SCHEDULE FOR UNDERCUT OF DOORS TO CLEAR TOP OF FLOOR FINISHES.
- PATCH AND REPAIR SURFACES DAMAGED AS A RESULT OF WORK PERFORMED ON THIS PROJECT. PATCH AND REPAIR EXIST SURFACES AS REQ'D TO RECEIVE NEW FINISH.
- RELAMINATE ANY / ALL PERIMETER OR INTERIOR COLUMNS TO ACHIEVE REQUIRED FIRE RATINGS. COORDINATE FINAL DIMENSIONS WITH ARCHITECT AT EACH LOCATION. SEE PARTITION TYPE D.
- FOR ANY FLOOR PENETRATION - X-RAY SLAB PRIOR TO CUTTING. CUT NO MORE THAN (1) BAR 188 EA DIRECTION, TYP.
- PAINT AND REPAIRING EXISTING ROOFING TO MAINTAIN ROOFING WARRANTY.

Date	Description
09.02.22	ISSUE FOR PLAN CHECK, L3 TERRACE

LEGEND

- EXISTING WALL TO REMAIN
- EXISTING DOOR TO REMAIN
- NEW INTERIOR WALL
- NEW DOOR
- AREA NOT IN SCOPE
- MILLWORK
- SEMI-RECESSED FIRE EXTINGUISHER CABINET



Project Name
Riot Games Mercer Island

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05.3853.000

Description
CONSTRUCTION PLAN - L3 TERRACE

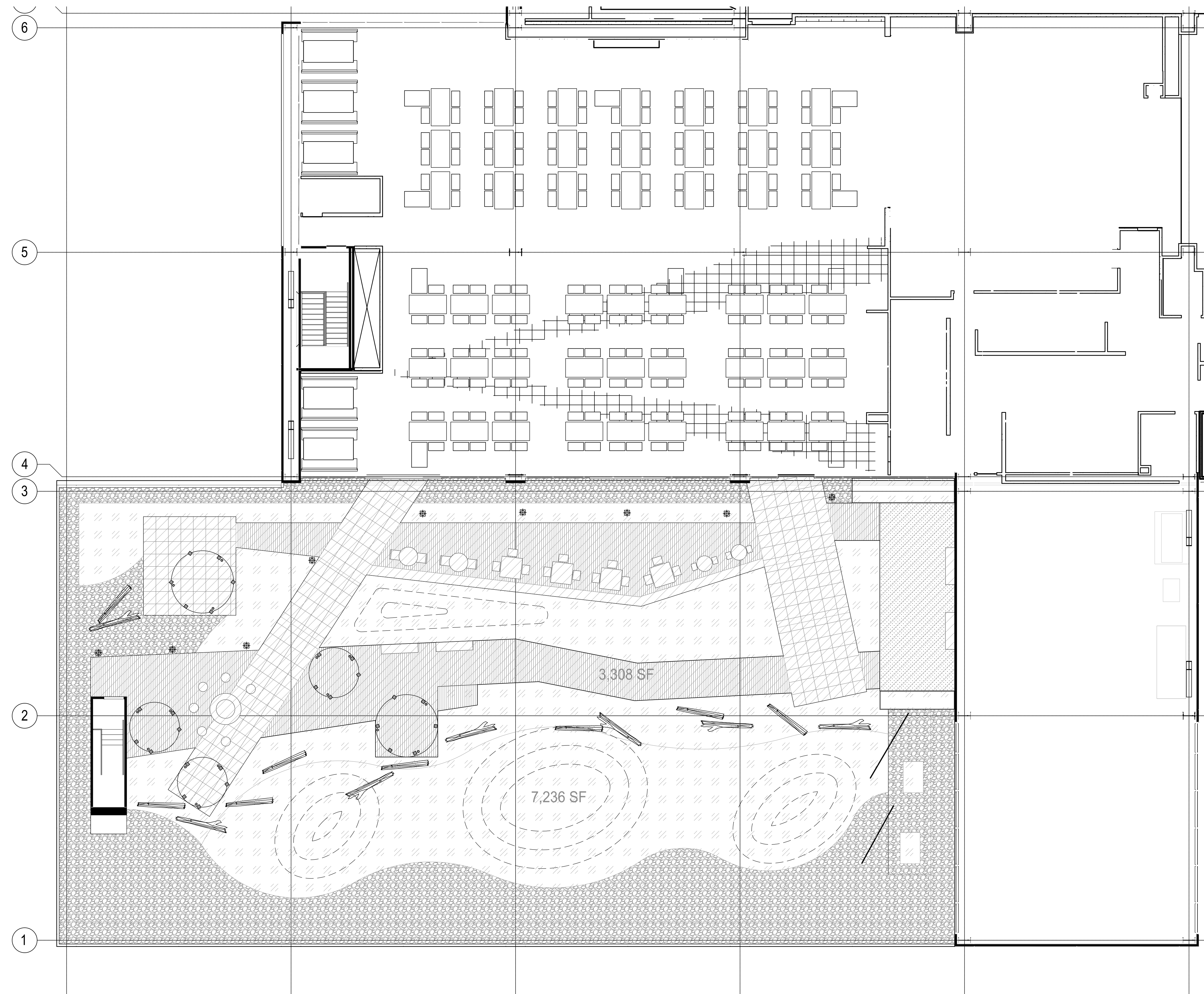
Scale
1/8" = 1'-0"

Ref North

A0.103

SHEET INDEX

SHEET	DESCRIPTION
L0.01	COVER / INDEX
L1.01	DEMO PLAN
L2.01	LAYOUT PLAN
L3.01	LANDSCAPE PLAN
L4.01	LANDSCAPE GRADING PLAN
L5.01	PLANTING PLAN
L6.01	DETAILS



1 LANDSCAPE CALCULATIONS
1/8" = 1'-0"



RIOT GAMES
MERCER ISLAND, WA
98040



SUBMITTAL
09.02.22
ISSUE FOR PLAN CHECK
L3 TERRACE

REVISIONS

REVISION DATE REASON FOR ISSUE

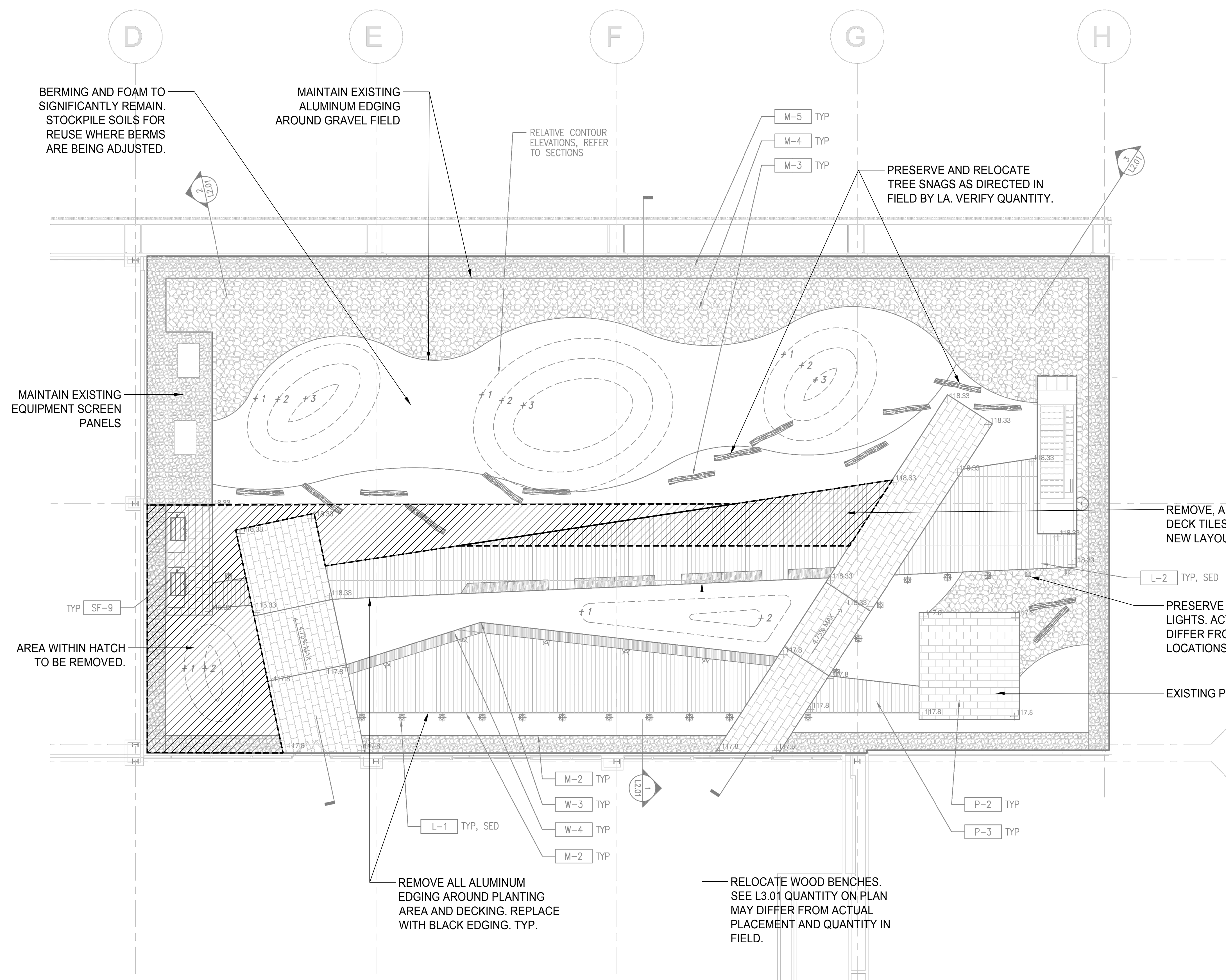
ISSUE DATE 09/02/2022

SHEET NAME

COVER/INDEX

SHEET NUMBER

L0.01



SCHEDULE OF MATERIALS & FINISHES

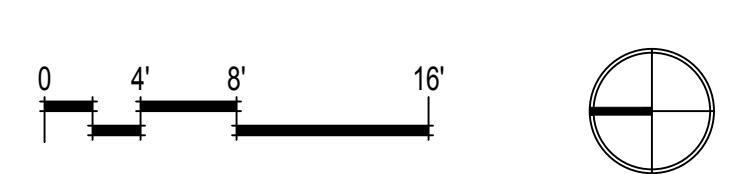
KEY	DESCRIPTION	DETAIL
PAVING AND PAVING ACCESSORIES		
P-2	PEDESTAL SET PAVERS	2/L3.01
P-3	WOOD DECKING OVER PEDESTAL	2/L3.01
P-4	PEDESTAL SYSTEM	2/L3.01
WALLS & LANDSCAPE STRUCTURES		
W-3	PLANTER WALL	5/L3.01
W-4	WOOD BENCH	7/L3.01
DRAINAGE		
D-1	DRAIN MAT	3/L10.04
LIGHTING		
L-1	BOLLARD LIGHT	
L-2	WALL LIGHT	
SITE FURNISHINGS		
SF-9	BBO	-
MISCELLANEOUS		
M-1	MULCH	-
M-2	EDGE CONSTRAINT	6/L3.01
M-3	DRIFTWOOD	
M-4	DECORATIVE AGGREGATE	6/L3.01
M-5	GRAVEL	6/L3.01

LEGEND FROM EXISTING RYAN COMPANIES PLANS SHOWN FOR REFERENCE.

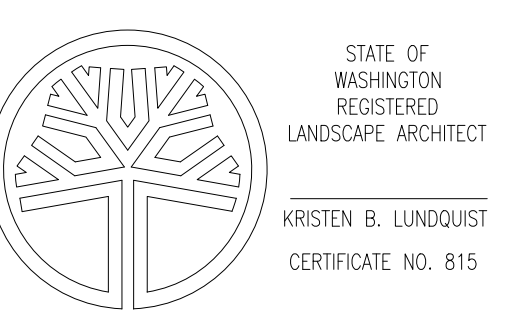
NOTES:

- EXISTING PLAN IS FROM PLAN SET DATED MARCH 15, 2021 FROM RYAN COMPANIES AND IS NOT AN AS-BUILT. AS SUCH DISCREPANCIES BETWEEN PLAN AND ACTUAL CONDITIONS IN FIELD MAY EXIST.
- PRESERVE AND PROTECT EXISTING WATERPROOFING, AND ROOF DRAINS.
- EXISTING IRRIGATION AND VALVE BOXES TO REMAIN. VERIFY SYSTEM FULLY FUNCTIONS PRIOR TO STARTING ANY DEMOLITION. CUT AND CAP ANY IRRIGATION PIPING THAT IS ENCOUNTERED DURING DEMO AND WILL NEED RELOCATION. DOCUMENT LOCATIONS AND FLAG FOR RECONNECTION. LOCATE CONTROLLER AND IDENTIFY ALL ZONES PRIOR TO DEMO. DOCUMENT ACTIVE ZONES FOR REESTABLISHMENT AFTER COMPLETION OF IMPROVEMENTS.
- SOME PAVERS HAVE STAINING ON THEM. REVIEW IN FIELD PRIOR TO REMOVAL. ASSUME 50% REPLACEMENT.
- REVIEW PLANT MATERIALS IN FIELD WITH LA TO IDENTIFY ANY VEGETATION TO BE REMOVED AND REPLACED. ALL OTHER VEGETATION NOT IDENTIFIED FOR REMOVAL OR RELOCATION SHALL BE PROTECTED. PROVIDE TEMPORARY WATER DURING SUMMER SEASON IF IRRIGATION IS NOT RECONNECTED IN TIME.
- CAREFULLY INSPECT PEDESTALS DURING REMOVAL FOR REUSE. AND PEDESTALS WITH VISIBLE DAMAGE OR SIGNS OF CRACKING OR STRESS SHALL NOT BE REUSED. NEW PEDESTALS AND NEOPRENE PADS SHALL MATCH EXISTING MANUFACTURER AND MODEL.
- NOTIFY OWNER / ARCHITECT OF ANY EXISTING CONDITIONS OBSERVED DURING DEMO THAT MAY INDICATE DAMAGE OR REPAIR NEEDED OF WATERPROOFING OR ANY EXISTING MATERIALS TO REMAIN OR BE RELOCATED/ REUSED.
- MAINTAIN EXISTING ROOF DRAINS AND BOXES AROUND PERIMETER OF TERRACE. WHERE ROOF DRAINS FALL UNDER PAVERS. INSTALL STAINLESS PIN ON SW CORNER OF PAVERS THAT SIT OVER DRAIN BODIES.
- RESERVE AND PROTECT EXISTING HOSE BIBS.

1 DEMOLITION PLAN
1/8" = 1'-0"



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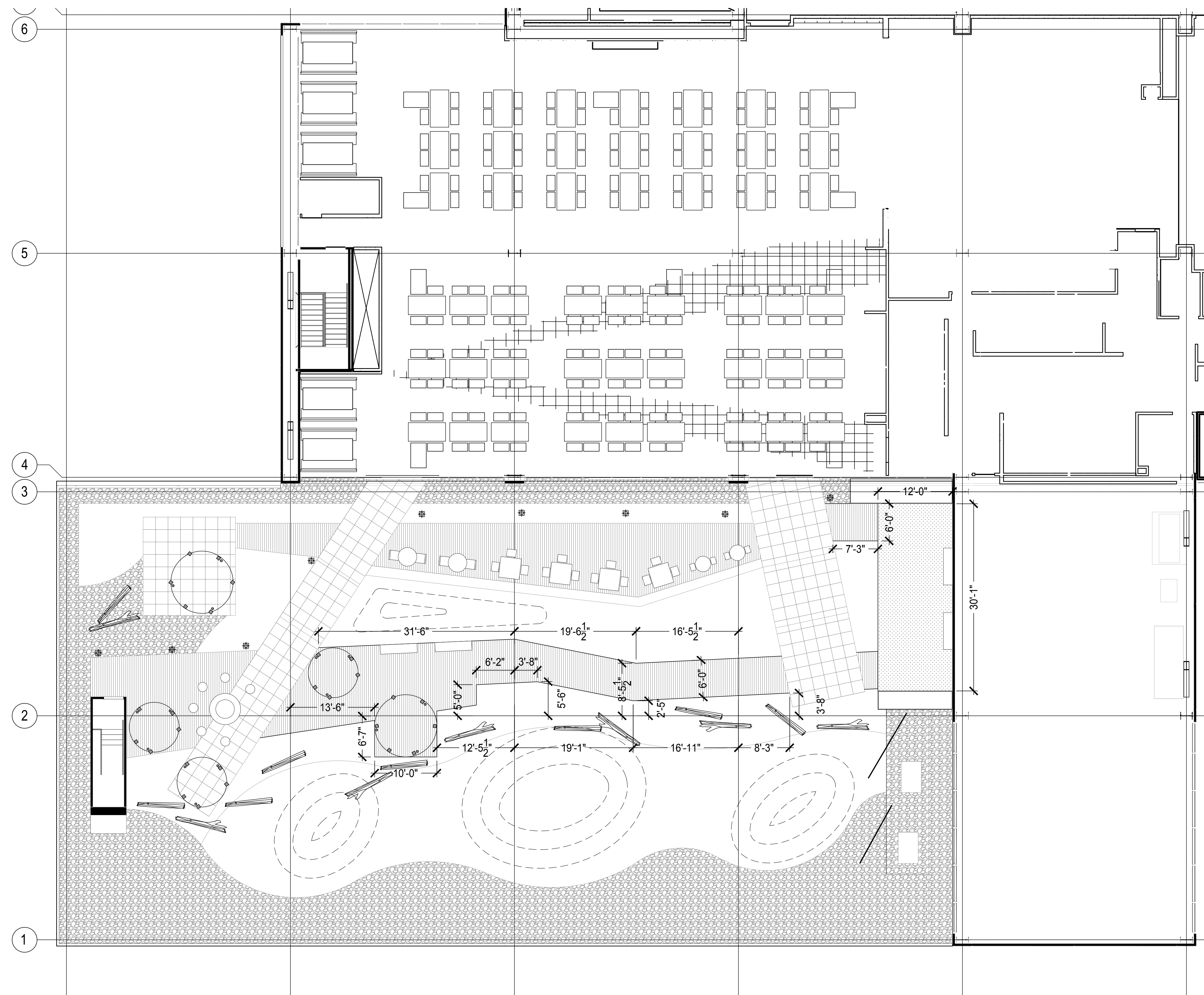
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DEMO PLAN

SHEET NUMBER
L1.01



1 LANDSCAPE LAYOUT PLAN
1/8" = 1'-0"



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LAYOUT PLAN -
TERRACE

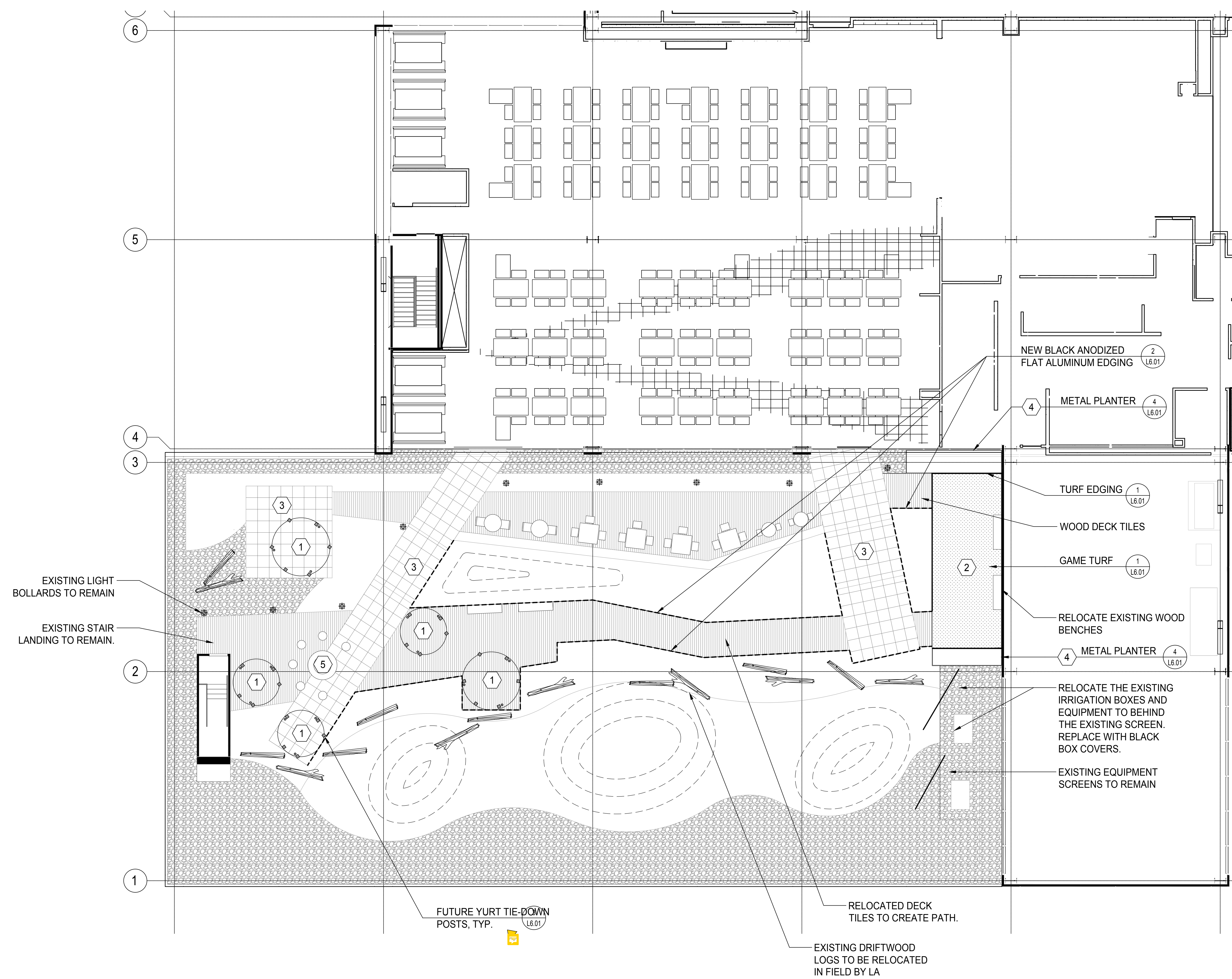
SHEET NUMBER

L2.01

PAVING / MATERIALS LEGEND	
SYMBOL	DESCRIPTION
①	FUTURE CANVAS YURTS BY RAINIER OUTDOORS. KESTREL YURTS WITH SINGLE DOOR AND WINDOW. (3) 8' AND (2) 10' SIZES.
②	SYNTHETIC TURF - PEDESTAL SET. FUSION PRO SYNTHETIC TURF BY EASTSIDE FOREVER LAWN.
③	CONCRETE PAVERS, 2X2'. CHARCOAL. REPLACE STAINED AND MARKED UP PAVERS WITH NEW CHARCOAL PAVERS. ALLOW FOR 50% OF EXISTING TO BE REPLACED.
④	ALUMINUM PLANTERS BY ORE. RECTANGLE PLANTERS. SIZES: X X 24" HT.
⑤	FIRE BOWL: BY LUMACAST. BOLA SLIM. 48" DIA. COLOR INKWELL. SMOOTH BASALT INFILL. INCLUDE ALUMINUM TABLETOP. ELECTRONIC IGNITION. PROVIDE AUTO TIMER AND EMERGENCY SHUTOFF. NG FUEL. PROVIDE PROPANE TANK AND KIT AS ALTERNATE.

NOTES:

- FURNITURE SHOWN FOR REFERENCE ONLY.
- MAINTAIN EXISTING ROOF DRAINS AND BOXES AROUND PERIMETER OF TERRACE. WHERE ROOF DRAINS FALL UNDER PAVERS, INSTALL STAINLESS PIN ON SW CORNER OF PAVERS THAT SIT OVER DRAIN BODIES.
- REUSE EXISTING DRIFTWOOD LOGS ON TERRACE. RELOCATE IN LANDSCAPE AREAS AS DIRECTED IN THE FIELD WITH LANDSCAPE ARCHITECT.
- COVER ANY BARE SOIL EXPOSED DURING CONSTRUCTION.
- UTILIZE FOAM AS NECESSARY TO ACHIEVE GRADES SHOWN. DO NOT EXCEED LOADING CAPACITY AS IDENTIFIED BY THE STRUCTURAL ENGINEER.
- PROVIDE ELECTRICAL RECEPTACLES FOR FUTURE AV SYSTEMS, INCLUDING MICROPHONE HOOKUPS AND SPEAKERS. SEE ELECTRICAL PLANS.



① LANDSCAPE MATERIALS PLAN
1/8" = 1'-0"



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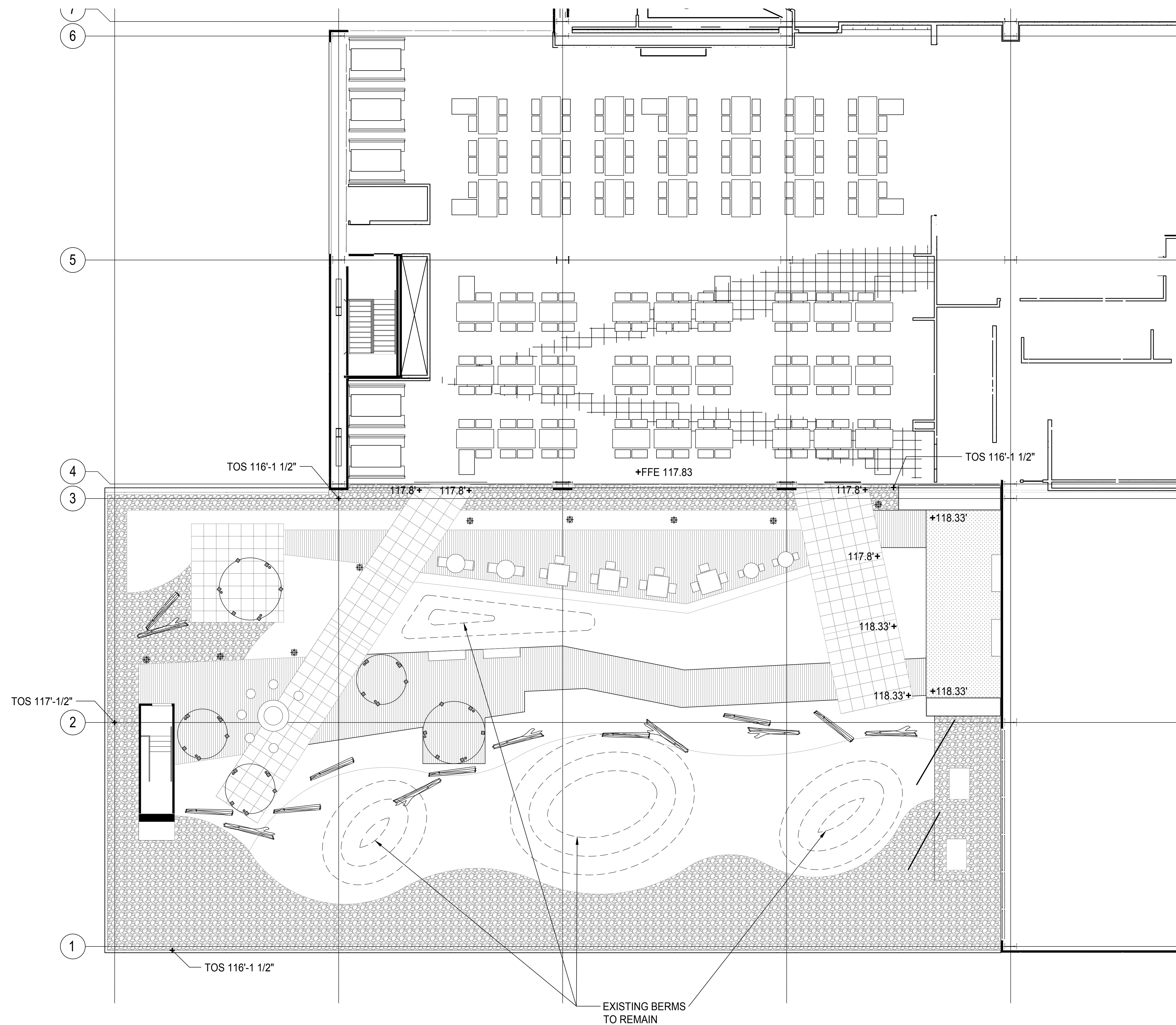
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ISSUE DATE 09/02/2022
SHEET NAME

LANDSCAPE MATERIALS PLAN - TERRACE

SHEET NUMBER
L3.01



NOTES AND ABBREVIATIONS:

- 1. ALL EXISTING GRADES FOR FFE AND TOP OF STRUCTURE ARE BASED ON EXISTING EXTERIOR PLANS BY RYAN COMPANY. INFORMATION SHOULD BE FIELD VERIFIED FOR ACCURACY.

FFE: FINISHED FLOOR ELEVATION
 TOS: TOP OF STRUCTURE
 TP: TOP OF PLANTER EDGING

1 LANDSCAPE GRADING PLAN
 1/8" = 1'-0"



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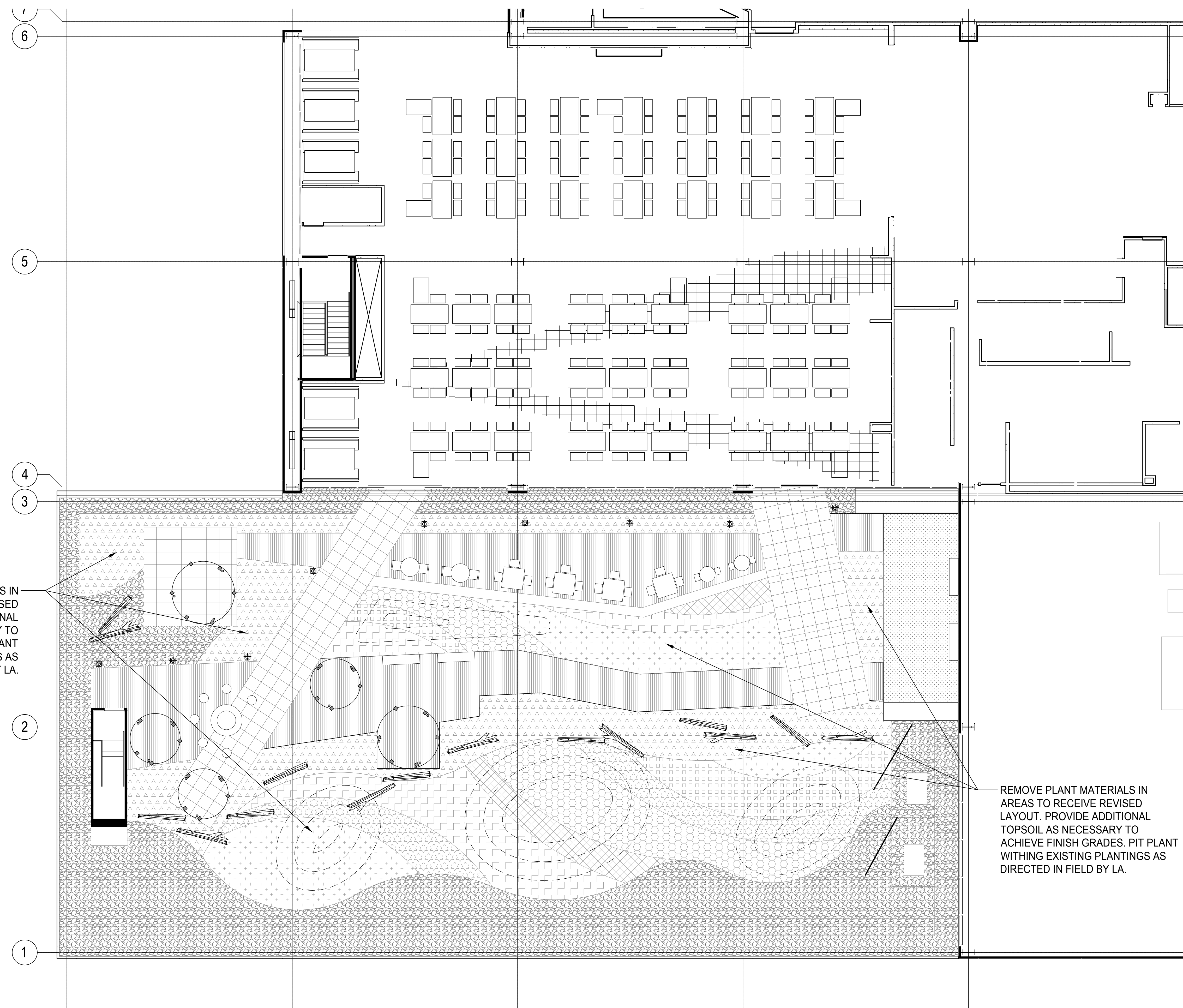
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	09/02/2022	

LANDSCAPE GRADING
 PLAN - TERRACE

SHEET NUMBER

L4.01



LANDSCAPE NOTES

1. CONTRACTOR TO REMOVE ALL EXISTING PLANT MATERIALS, NOT INDICATED TO REMAIN, FROM ALL AREAS INDICATED TO RECEIVE NEW LANDSCAPE IMPROVEMENTS. PRIOR TO REMOVAL, VERIFY LIMITS IN THE FIELD WITH LA.
2. ALL LANDSCAPE AREAS TO BE FULLY IRRIGATED BY A FULLY FUNCTIONING IRRIGATION SYSTEM SPECIFIED ON THE EXISTING IRRIGATION PLANS. RESET AND REPAIR AS NECESSARY TO PROVIDE FULL COVERAGE TO ALL LANDSCAPE AREAS IMPACTED BY IMPROVEMENTS.
3. PLANTS TO BE LAID OUT BY LA IN FIELD PRIOR TO PIT PLANTING. PROVIDE QUANTITIES PRE SCHEDULE BELOW.
4. EXISTING PLANTING PER EXISTING PLANS SHOWN FOR REFERENCE ONLY.

PLANT SCHEDULE

QUANTITY	BOTANICAL NAME / COMMON NAME	SIZE	SPACING
15	DESCHAMPSIA CESPITOSA / TUFTED HAIR GRASS	1 GAL	18" oc
25	DIANELLA REVOLUTA 'DR5000' TM / LITTLE REV FLAX LILY	1 GAL	12" oc
15	ELYMUS ARENARIUS BLUE DUNE / BLUE DUNE LYME GRASS	1 GAL	18" oc
20	FESTUCA GLAUCA 'ELIJAH BLUE' / ELIJAH BLUE FESCUE	1 GAL	18" oc
15	GAURA LINDHEIMERI 'SISKIYOU PINK' / SISKIYOU PINK GAURA	1 GAL	18" oc
5	HESPERALOE PARVIFLORA 'STRAIGHT UP RED' / STRAIGHT UP RED YUCCA	1 GAL	24" oc
12	HESPERALOE PARVIFLORA 'YELLOW' / YELLOW YUCCA	1 GAL	24" oc
12	KNIPHOFIA X 'POCO YELLOW' / POCO YELLOW HOT POKER	1 GAL	18" oc
50	MOLINIA CAERULEA ARUNDINACEA 'SKYRACER' / SKYRACER MOOR GRASS	1 GAL	24" oc
15	PANICUM VIRGATUM 'SHENANDOAH' / SHENANDOAH SWITCH GRASS	1 GAL	24" oc
50	PENNISETUM ALOPECUROIDES 'HAMELN' / HAMELN FOUNTAIN GRASS	1 GAL	18" oc
25	PENNISETUM ORIENTALE 'KARLEY ROSE' / KARLEY ROSE FOUNTAIN GRASS	1 GAL	24" oc
15	ROSMARINUS OFFICINALIS 'BLUE SPIRES' / BLUE SPIRES ROSEMARY	1 GAL	24" oc
50	SEDUM SPECTABILE 'AUTUMN JOY' / AUTUMN JOY STONECROP	1 GAL	18" oc
25	SEDUM TELEPHIUM 'DARK MAGIC' / DARK MAGIC STONECROP	1 GAL	18" oc
25	VERBENA BONARIENSIS 'LOLLIPOP' / LOLLIPOP TALL VERBENA	1 GAL	24" oc
20	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER FEATHER REED GRASS	1 GAL	18" oc

REMOVE PLANT MATERIALS IN AREAS TO RECEIVE REVISED LAYOUT. PROVIDE ADDITIONAL TOPSOIL AS NECESSARY TO ACHIEVE FINISH GRADES. PIT PLANT WITHING EXISTING PLANTINGS AS DIRECTED IN FIELD BY LA.

REMOVE PLANT MATERIALS IN AREAS TO RECEIVE REVISED LAYOUT. PROVIDE ADDITIONAL TOPSOIL AS NECESSARY TO ACHIEVE FINISH GRADES. PIT PLANT WITHING EXISTING PLANTINGS AS DIRECTED IN FIELD BY LA.

1 PLANTING PLAN
1/8" = 1'-0"



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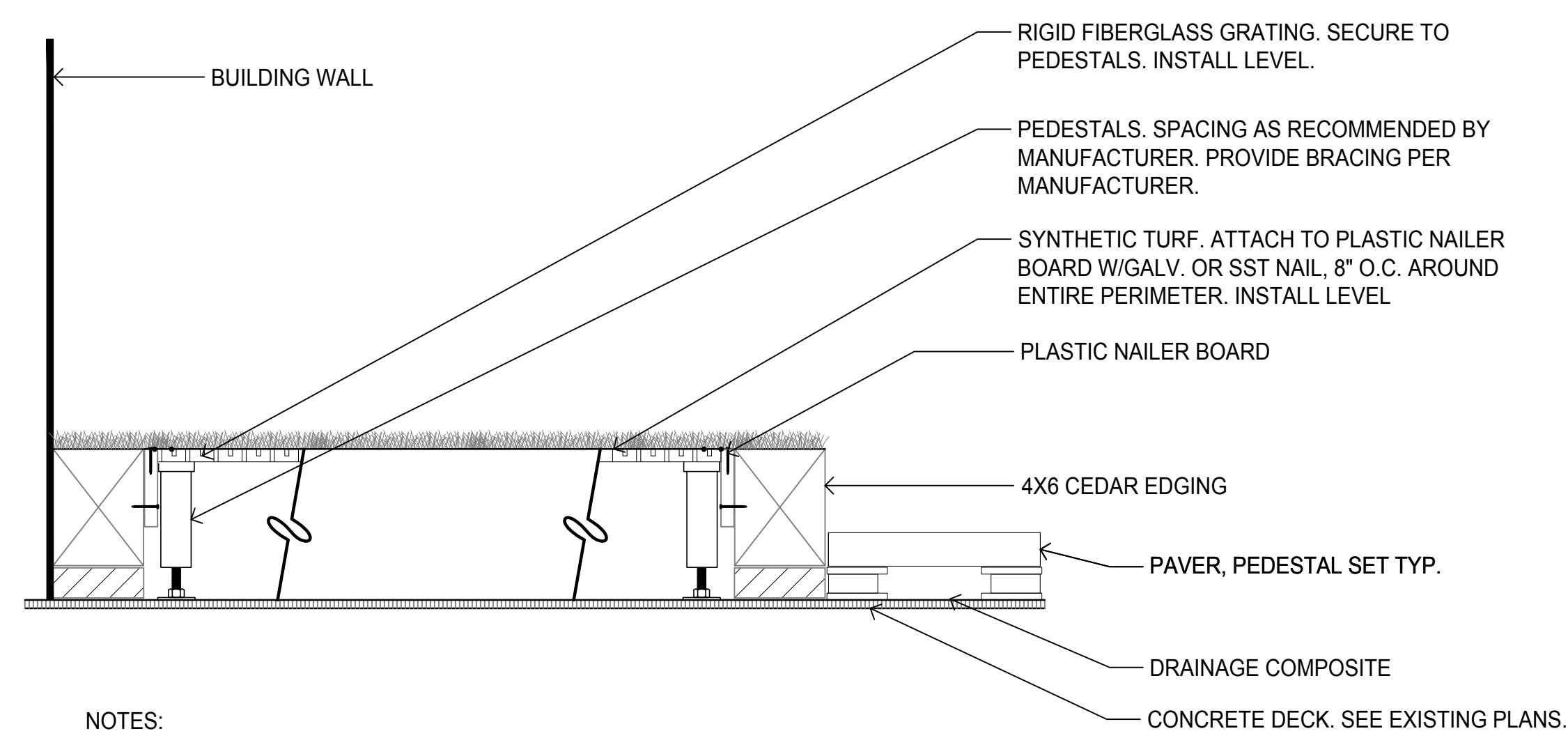
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PLANTING PLAN -
TERRACE

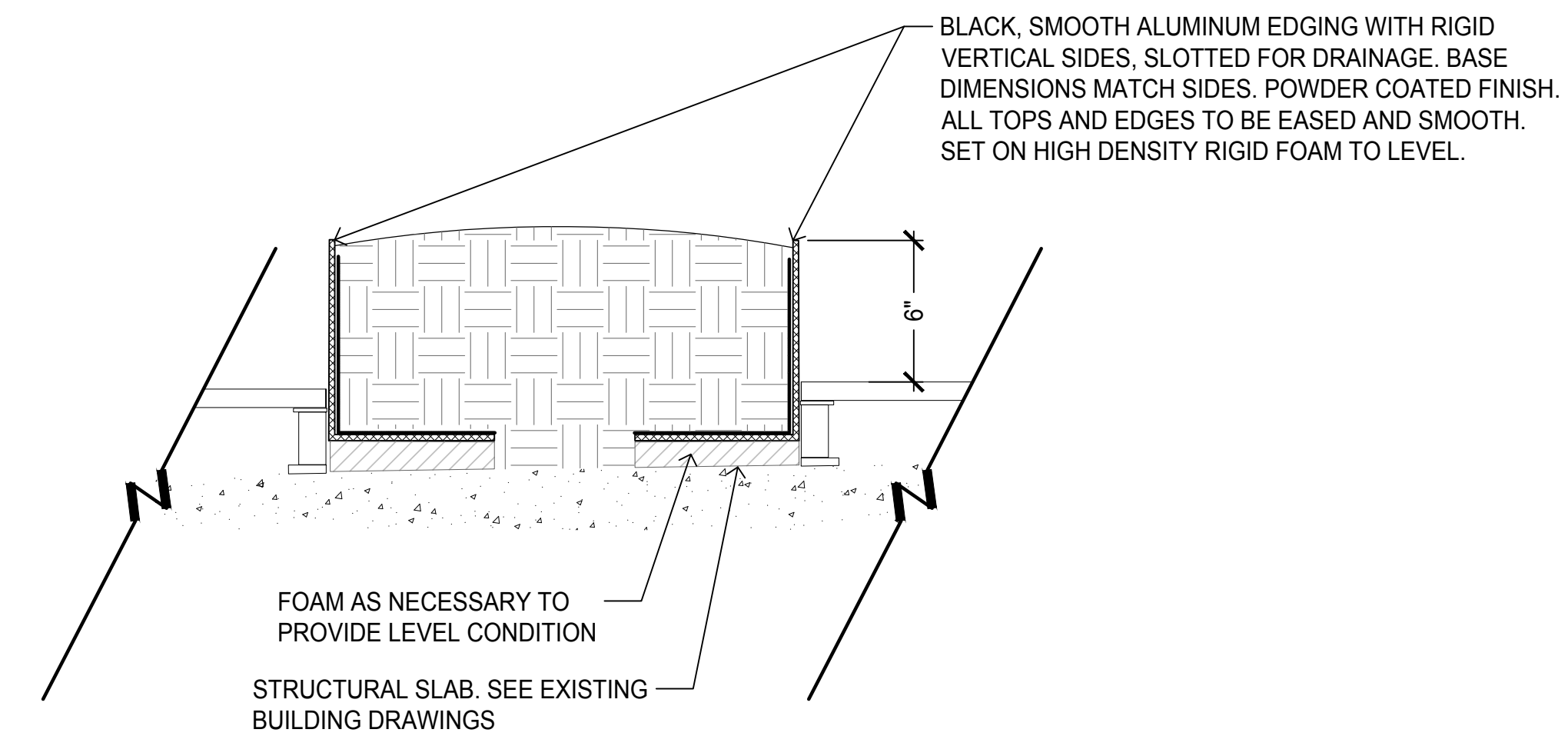
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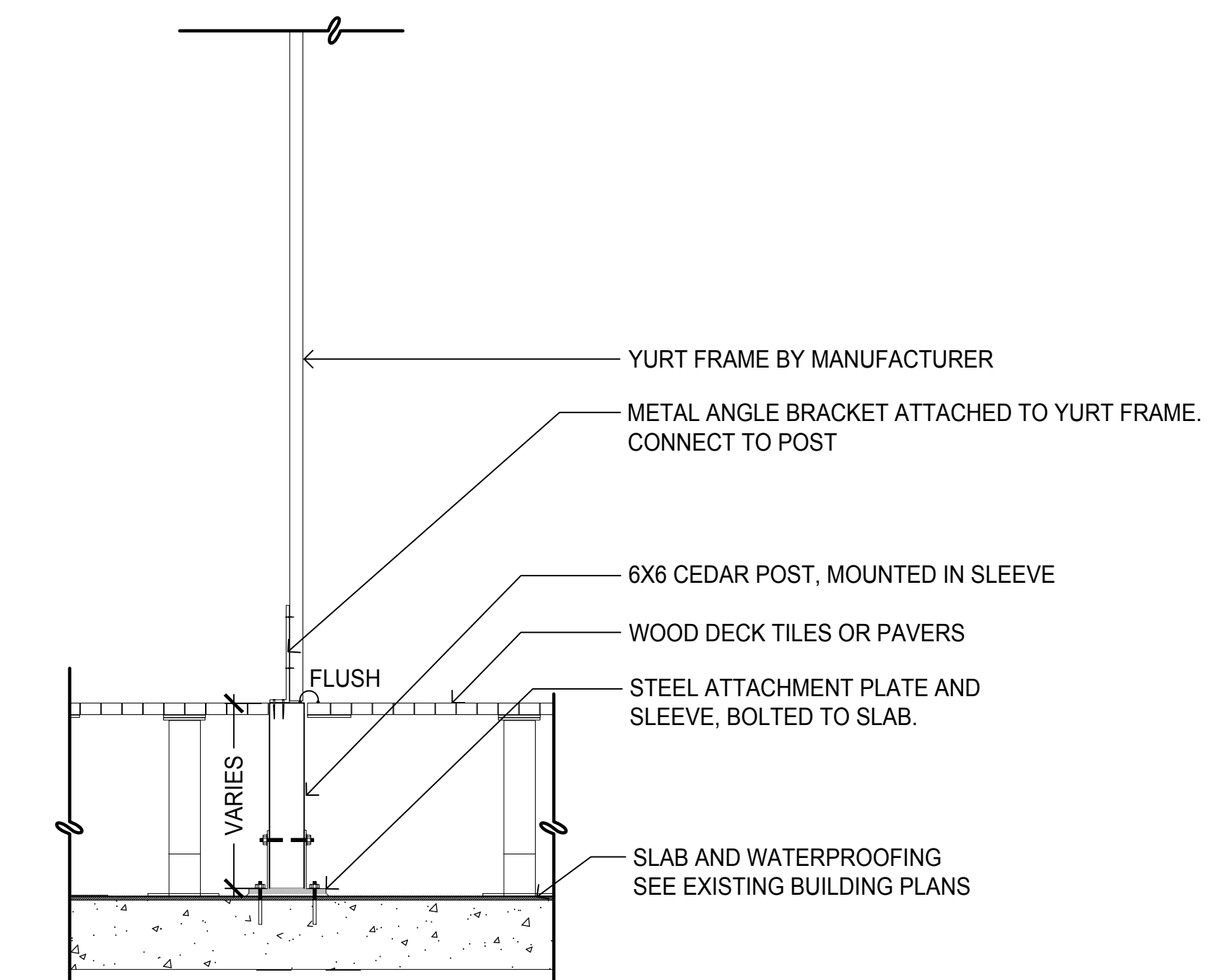
NOTES:

1. SYNTHETIC TURF: BOOCEGRASS PLAY BY FOREVERLAWN BELLEVUE.
2. MOLDED FIBERGLASS GRATING: 1-1/2" THICK 3/4" MINI-GRID DURAGRATE.
3. PEDESTALS: DURAGRATE ELEVATED FLOOR SYSTEM OR APPROVED EQUAL.
4. NAILER BOARD: 1"x6" PLASTIC LUMBER. RIP TO FIT LOWER CURB HEIGHT.
5. DRAINAGE COMPOSITE: AMERICAN WICK DRAIN, STRIP DRAIN 6000 OR APPROVED EQUAL. INSTALL BENEATH PT EDGING.

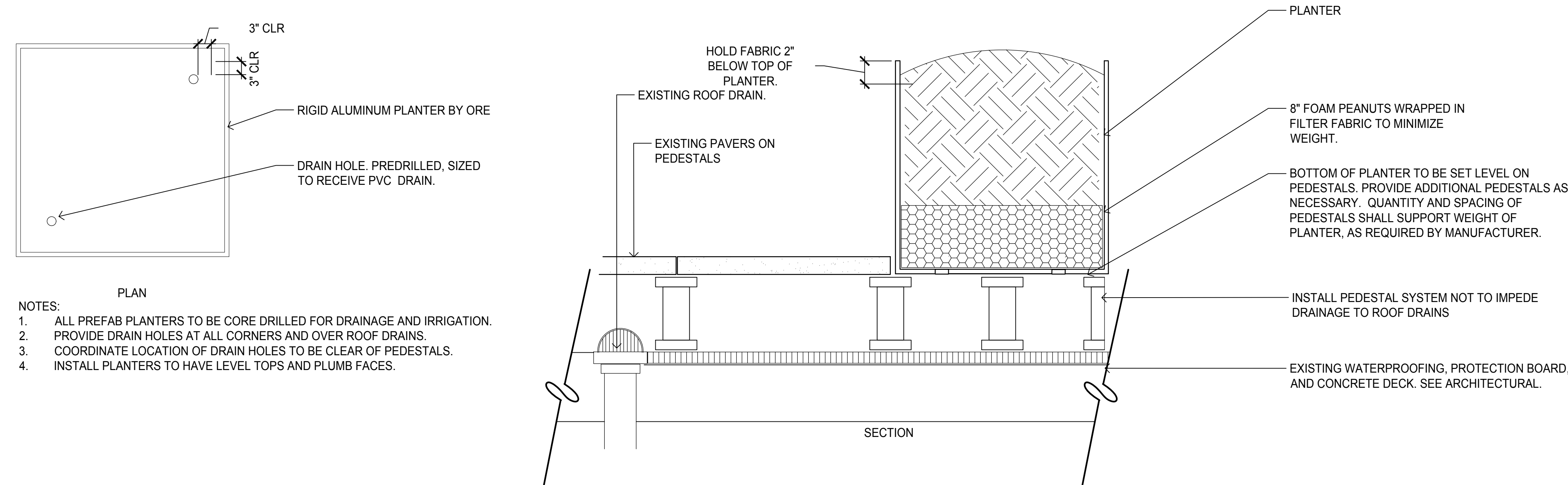
1 SYNTHETIC GAME TURF ON PEDESTALS
NTS



2 ALUMINUM PLANTER EDGING
NTS



3 FUTURE YURT FRAME CONNECTION POST
NTS



NOTES:

1. ALL PREFAB PLANTERS TO BE CORE DRILLED FOR DRAINAGE AND IRRIGATION.
2. PROVIDE DRAIN HOLES AT ALL CORNERS AND OVER ROOF DRAINS.
3. COORDINATE LOCATION OF DRAIN HOLES TO BE CLEAR OF PEDESTALS.
4. INSTALL PLANTERS TO HAVE LEVEL TOPS AND PLUMB FACES.

4 PEDESTAL SET METAL PLANTER WITH FOAM PEANUTS FOR WEIGHT MANAGEMENT
NTS

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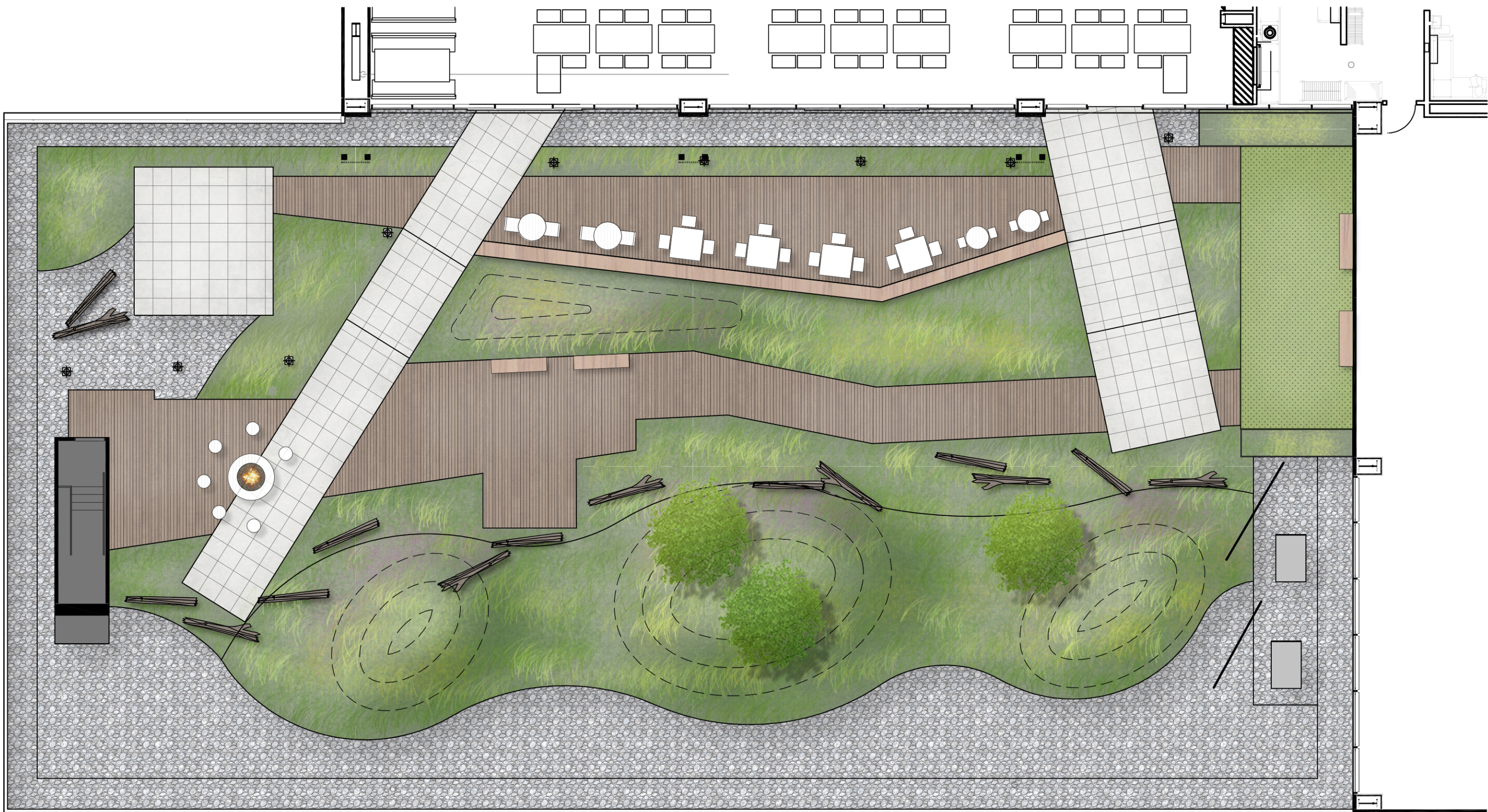
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SHEET NOTES

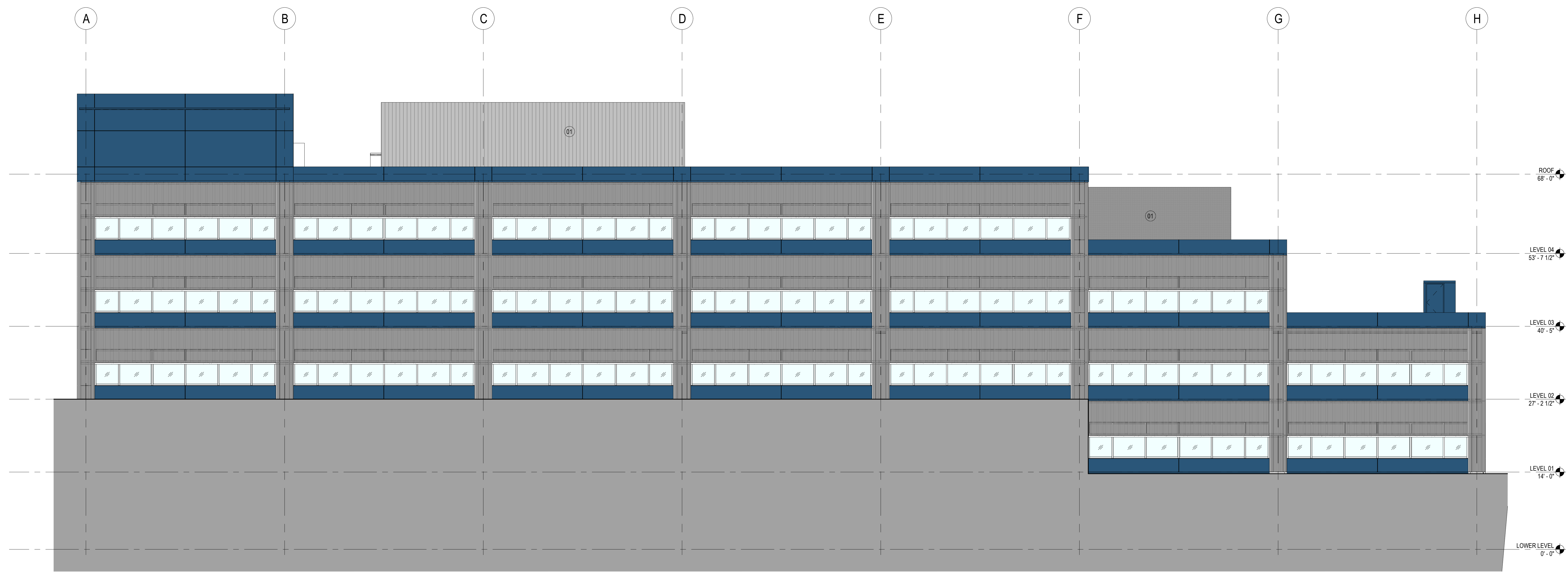
01 (N) PROPOSE ROOF SCREEN

RIOT GAMES
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Gensler

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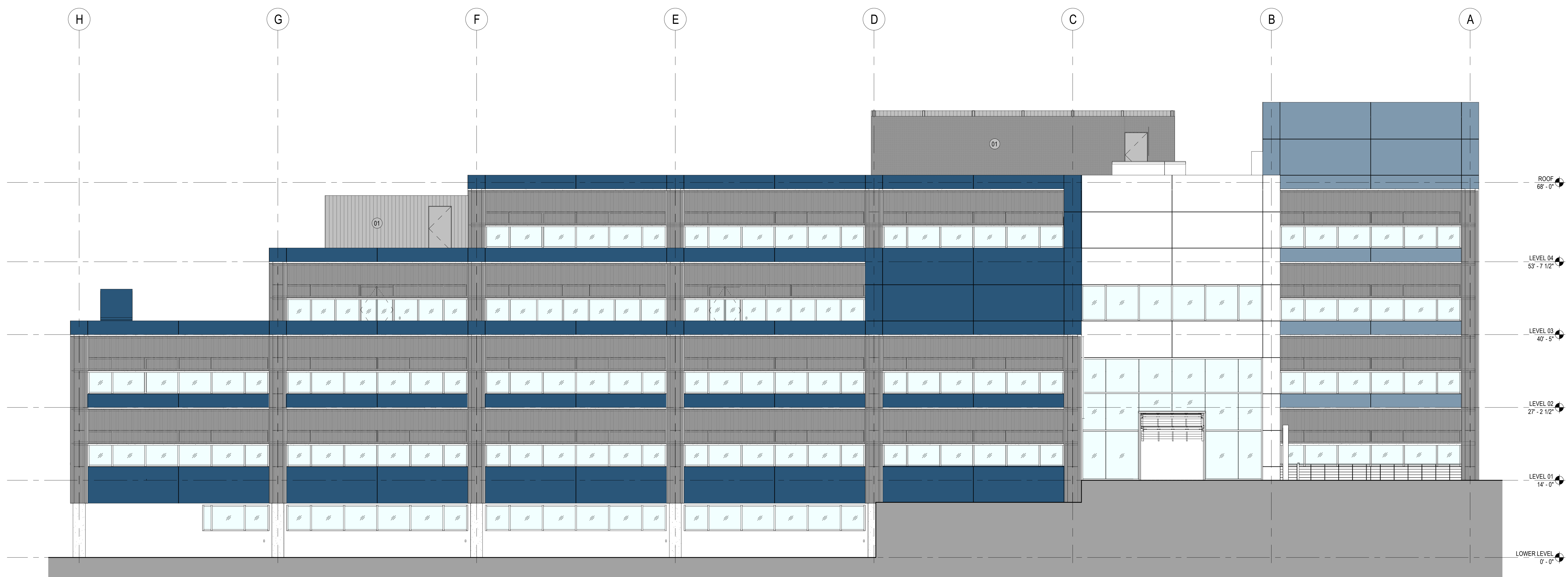
GENERAL NOTES



EXT ELEV WEST ELEVATION

SCALE: 1/8" = 1'-0"

2



EXT ELEV EAST ELEVATION

SCALE: 1/8" = 1'-0"

1

Date	Description

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
Riot Games Mercer Island

Project Number
05.3853.000

Description
EXTERIOR BUILDING ELEVATIONS

Scale
1/8" = 1'-0"

EXT ELEV

