

# allister

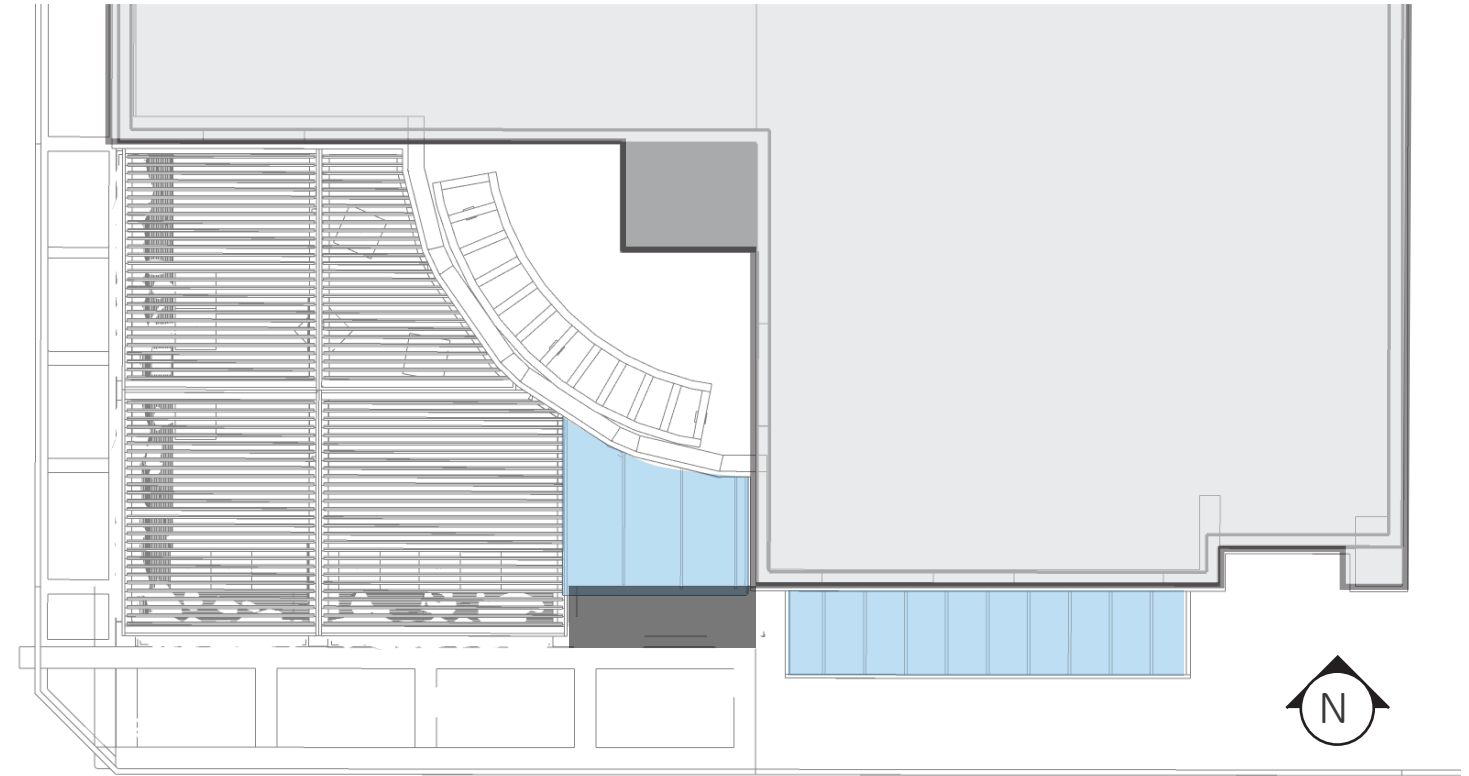
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Design Review and Signage

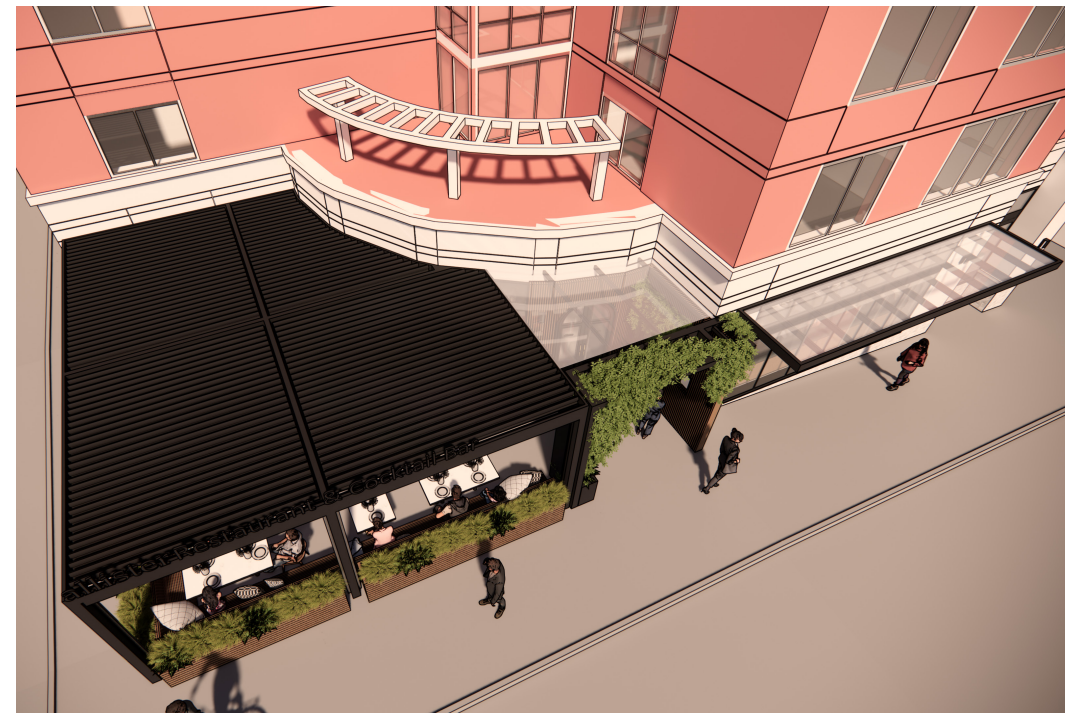
# Allister- Garden



Entry Approach



Plan



Aerial

# Allister- Exterior Design Proposal



Exterior walls painted white to match existing building colors.

Existing window mullions and canopies painted charcoal, color will be coordinated with Pergola by StruXure. Glass in existing canopies to be replaced.

New Sconces

A low window film may be applied to windows. Film is removable.

New Steel arbor, painted charcoal

New Glass canopy.

Fluted wood screen covering existing building facade

New Arched Entry door

StruXure Pergola, by others

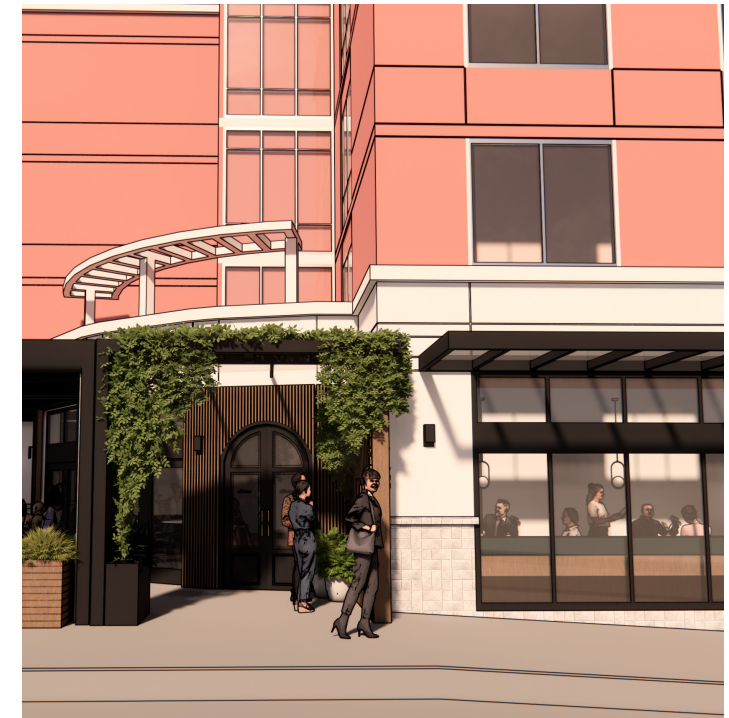
New planters with wood plank exterior, drain holes to be located over patio trench drains

# Allister- Exterior Design Proposal



Existing canopy painted charcoal, new glass

Existing Nanawall system, painted charcoal, hardware removed, set in locked position. Potential to apply a charcoal film on the lower half. Film is removable.



New steel arbor with rectangular pot below to grow vines up

Planters with wood plank exterior treatment with drains located over trench drains in patio.

New glass canopy

Fluted wood screen covering existing building facade, extended out to align to pergola and arbor

# Allister- Exterior Design Proposal



Plants hung from slat wall in pots or on a shelf

New Arched door



Fluted wood screen covering existing building facade

New Sconces



Existing doors, painted charcoal, set in locked position, hardware removed. Potential to apply a charcoal film on the lower half. Film is removable

# Allister- Garden

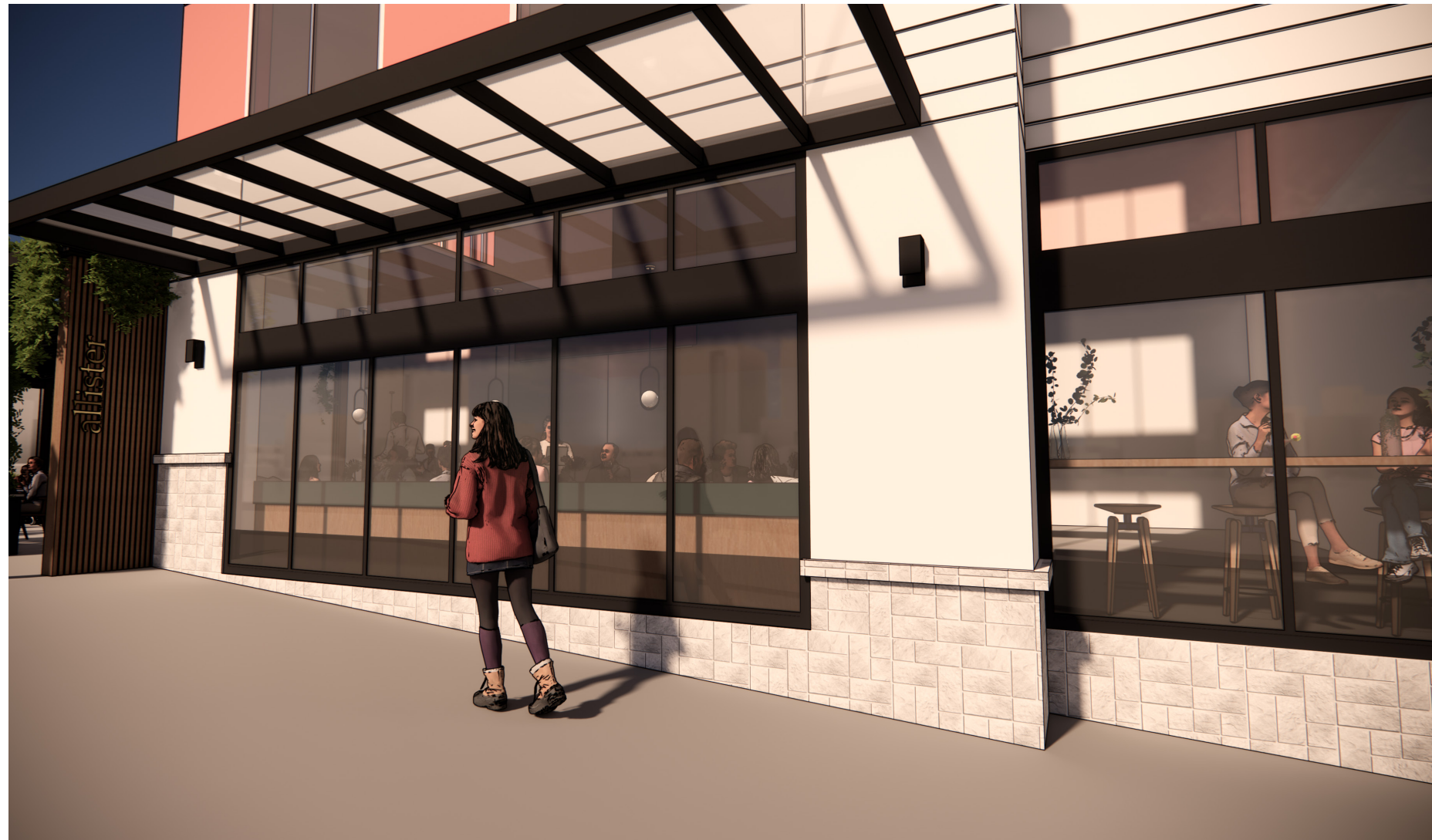


Entry From East



Patio Interior

# Allister- Garden

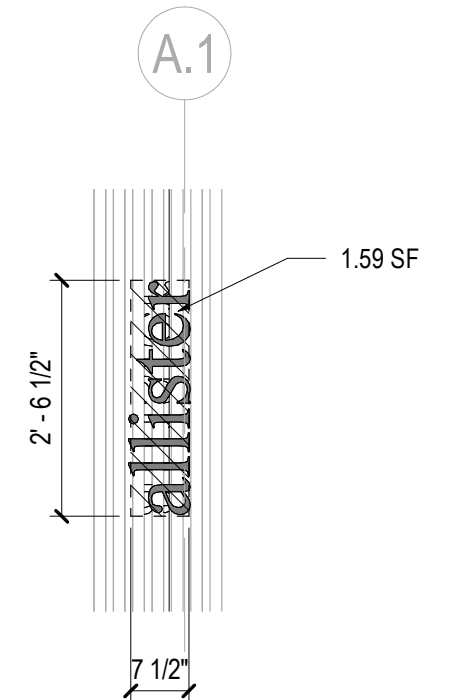
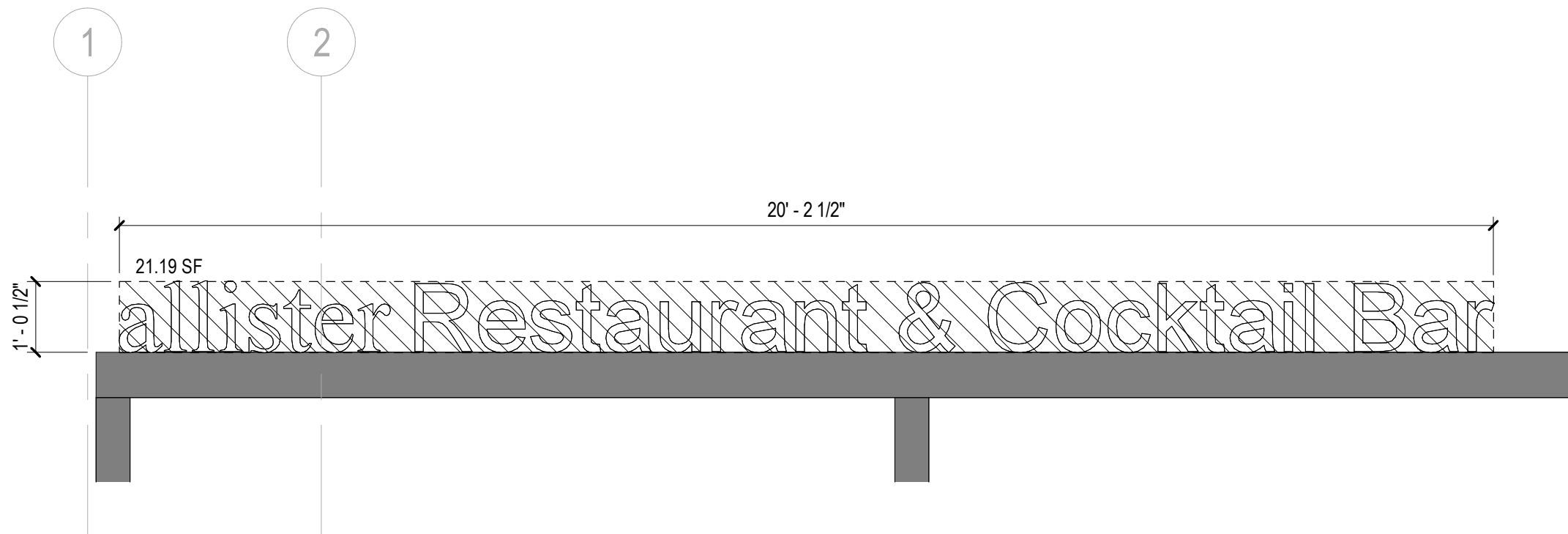


Nanawall Treatment



Entry Door

# allister- Signage





# ALLISTER

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## Allister Exterior Renovation

### ISSUE FOR PERMIT

11/17/2023

7650 SE 27th St, Mercer Island, WA 98040

#### **Gensler**

1200 Sixth Avenue  
Suite 500  
Seattle, WA 98101  
United States

Tel 206.654.2100  
Fax 206.654.2121

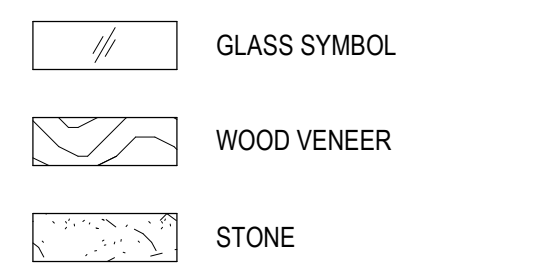
#### **KPFF**

Structural Engineer  
1601 5th Avenue  
Suite 1600  
Seattle, WA 98101

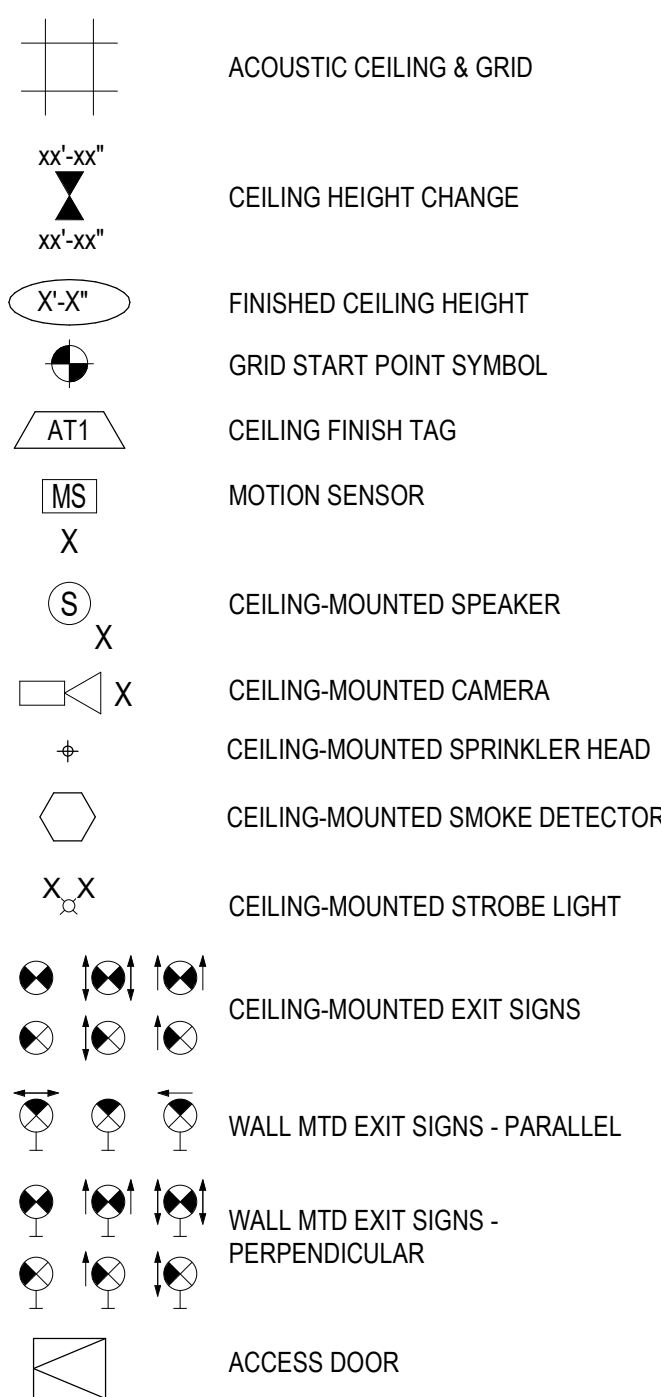
Tel 206.622.5822

**GRAPHIC SYMBOLS**

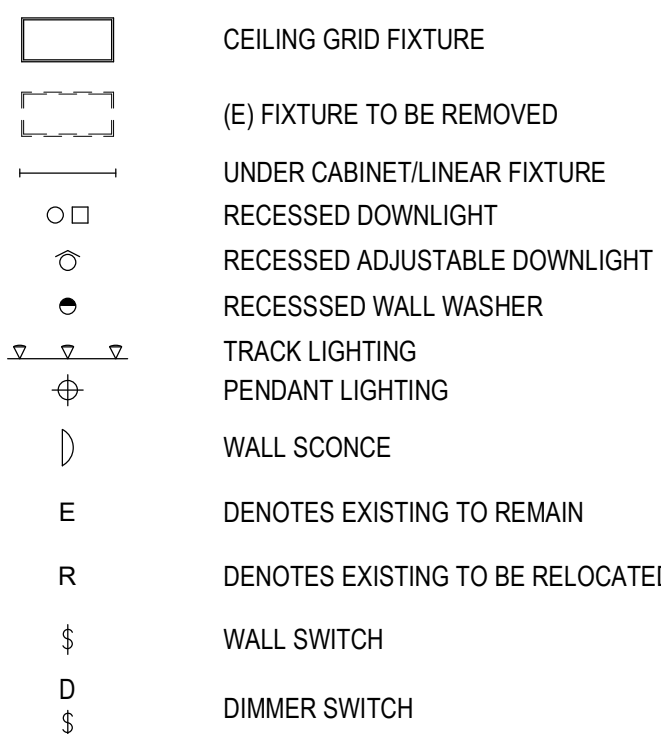
**ELEVATION INDICATION**



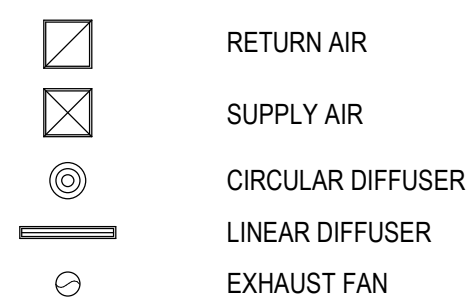
**REFLECTED CEILING**



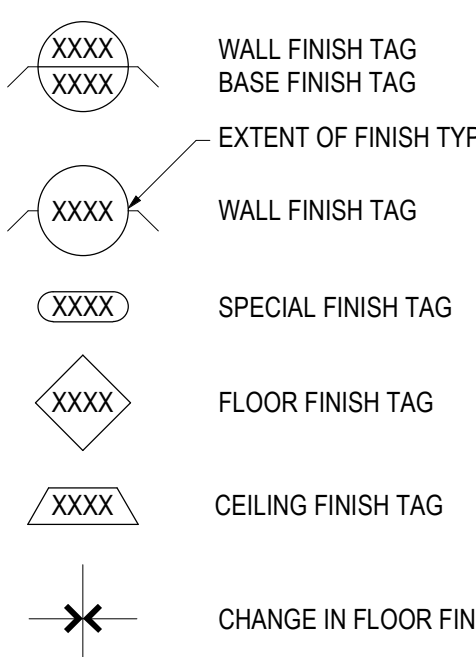
**LIGHT FIXTURES**



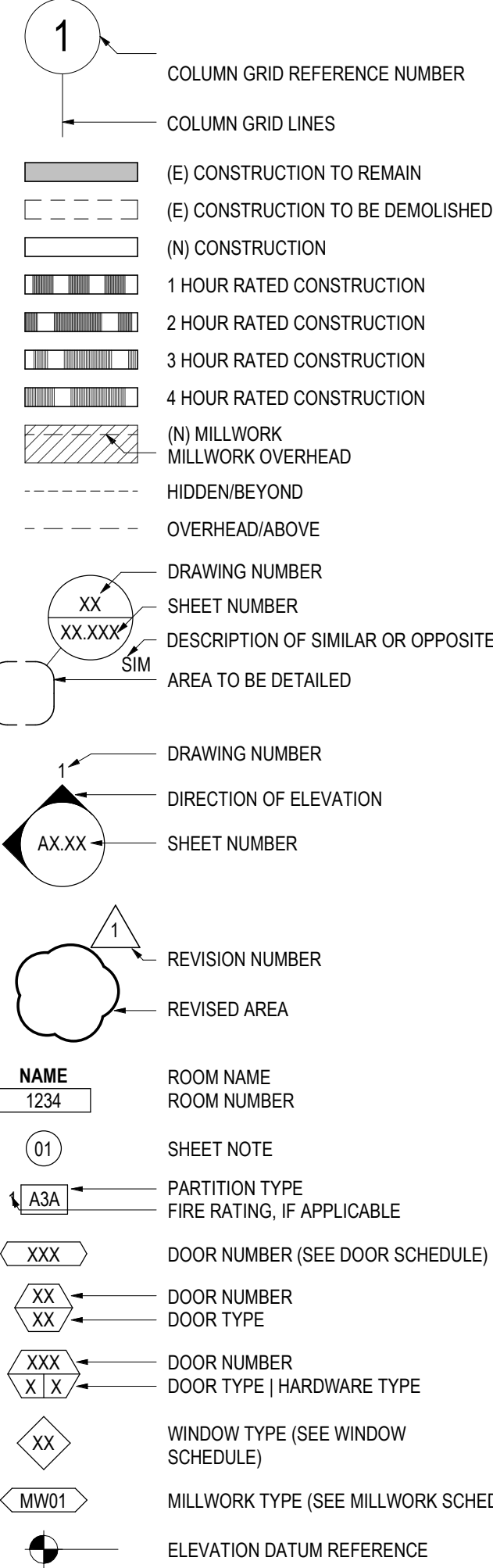
**MECHANICAL FIXTURES**



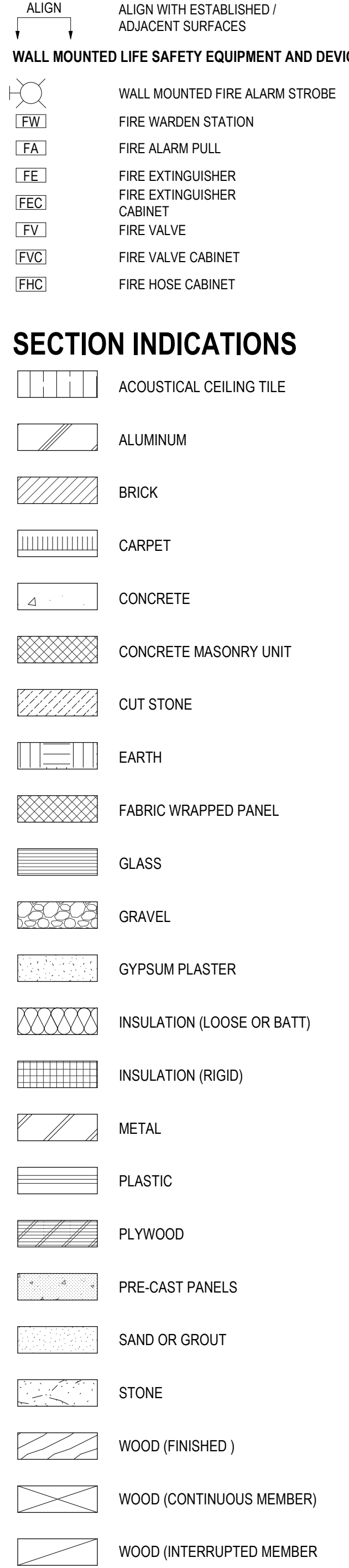
**FINISH**



**CONSTRUCTION**



**SECTION INDICATIONS**



**ABBREVIATIONS**

A	ACCESS	K	KITCHEN
ACCUS	ACCUSTICAL	L	LAVATORY
AFF	ABOVE FINISHED FLOOR	LB	POUND
AL	ALUMINUM	LL	LEASE LINE
ALT	ALTERNATE	LOUVER	LOUVER
ANNUNJC	ANNUNCIATOR	LP	LOW POINT
ANOD	ANODIZED	LI	LIGHT
APC	ACOUSTIC PANEL CEILING	LVLG	LEVELING
APPL	APPLIANCE	M	MAXIMUM
AUTO	AUTOMATIC	MECH	MECHANICAL
AVG	AVERAGE	MEMB	MEMBRANE
B	BOARD	MET	METAL
BD	BUILDING	MEZZ	MEZZANINE
BLKG	BLOCKING	MFD	MANUFACTURED
BOLLD	BOLLARD	MFR	MANUFACTURER
BRODLM	BROADLOOM	MIN	MINIMUM
BU	BUILT UP	MISC	MISCELLANEOUS
C	CABINET	MOIST	MOISTURE
CAB	CABINET	MOT	MOTORIZED
CEM	CEMENT(TIOUS)	MTD	MOUNTED
CER	CERAMIC	MW	MILLWORK
CLG	CEILING	MWV	MILLWORK VENDOR
CMU	CONCRETE MASONRY UNIT	N	NOT IN CONTRACT
COATS	COATING	NO	NUMBER
COGLS	COILING	NTS	NOT TO SCALE
CONC	CONCRETE	O	OCCUPANT
CONSTR	CONSTRUCTION	OCC	OCCUPANT
CONT	CONTINUOUS(ATION)	OH	OPPOSITE HAND
CONTR	CONTRACT(OR)	OPNG	OPENING(S)
COV	COVER	OPR	OPERABLE
CPT	CARPET	ORNA	ORNAMENTAL
D	DOUBLE	OVFL	OVERFLOW
DBL	DOUBLE	OVHD	OVERHEAD
DEPT	DEPARTMENT	P	PARTICLE BOARD
DES	DESIGN(ED)	PBD	PEDESTRIAN
DET	DETAIL	PEDTR	PEDESTRIAN
DF	DRINKING FOUNTAIN	PLAM	PLASTIC LAMINATE
DIA	DIAMETER	PLAS	PLASTER
DIFF	DIFFUSER	DN	DOWN
DIM	DIMENSION	PLYWD	PLYWOOD
DISP	DISPENSER	PNL	PANEL
DIV	DIVISION	PORT	PORCELAIN
DN	DOWN	PREFAB	PREFABRICATED
DR	DOOR	PREFIN	PREFINISHED
DSCON	DISCONNECT	PRTECN	PROTECTION
DWR	DRAWER	PTN	PARTITION
E	EXISTING	R	READER
(E)	EXISTING	RECES	RECESS(ED)
ELAST	ELASTOMERIC	RECP	RECEPTACLE
ELEC	ELECTRICAL	REF	REFERENCE
EMBED	EMBED(ED)(ING)	REFL	REFLECTED
ENGR	ENGINEER(ED)	REFR	REFRIGERATOR
ENR	ENTRANCE	REQD	REQUIRED
ENTR	EQUAL	RESS	RESISTANT(I)VE
EQ	EQUIPMENT	RFG	ROOFING
EQUIP	EQUIPMENT	RM	ROOM
EXP JT	EXPANSION JOINT	RN	ROUGH OPENING
EXPS	EXPOSE(D)	RO	ROUGH OPENING
EXT	EXTERIOR	S	SCRIBE
F	FABRICATION	SCR	SECURITY
FAB	FLOOR DRAIN	SCUR	SECURITY
FD	FIRE EXTINGUISHER	SF	SQUARE FEET
FE	FIRE EXTINGUISHER	SQL	SINGLE
FE&C	FIRE EXTINGUISHER AND CABINET	SHORG	SHORING
FHC	FIRE HOSE CABINET	SIM	SIMILAR
FIN	FINISH	SST	STAINLESS STEEL
FLDG	FOLDING	STD	STANDARD
FLR	FLOOR(ING)	STL	STEEL
FPIC	FIRE PLACE	STRFR	STOREFRONT
FR	FIRE RAT(ING)(ED)	STRUCT	STRUCTURAL
FRMG	FRAMING	SURF	SURFACE
FURN	FURNITURE	SUSP	SUSPENDED
FWC	FABRIC WALL COVERING	SYS	SYSTEM(S)
FXD	FIXED	T	TONGUE AND GROOVE
FXTR	FIXTURE	T&G	THICK
G	GALVE	THK	THICK
GA	GAUGE	TLT	TOILET
GC	GENERAL CONTRACTOR	TOS	TOP OF STEEL
GFR	GLASS FIBER REINFORCED CONCRETE	TRAF	TRAFFIC
GFRP	GLASS FIBER REINFORCED GYPSUM	TRANS	TRANSPARENT
GFRP	GLASS FIBER REINFORCED PLASTER	TRTD	TREATED
GL	GLASS	TYP	TYPICAL
GR	GRAD(E)(ING)	U	UNDERLAYMENT
GWB	GYPSUM WALL BOARD	UNDRLY	UNDERLAYMENT
GYP	GYPSUM	UTIL	UTILITY
H	HEAD	V	VEHICLE
HD	HARDWOOD	VERT	VERTICAL
HDWD	HARDWARE	VIF	VERIFY IN FIELD
HW	HOLLOW METAL	W	WITH
HORIZ	HORIZONTAL	W/O	WITHOUT
HP	HIGH POINT	WC	WATER CLOSET
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	WD	WOOD
I	INFILTRATION	WDW	WINDOW
INFILTR	INFILTRATION	WT	WEIGHT
INFO	INFORMATION	WTRPRF	WATERPROOFING
INSTRUM	INSTRUMENTATION		
INSUL	INSULATION		
INT	INTERIOR		
INTLK	INTERLOCK(ING)		
J	JANITOR		
JAN	JANITOR		

**PROJECT INFORMATION**

**NAME:** ALLISTER  
**ADDRESS:** 7650 SE 27TH ST, MERCER ISLAND, WA 98040  
**ZONING:** TOWER CENTER  
**ASSESSOR'S PARCEL NO.:** 531510-1491  
**LOT AREA:** 77,379 SF  
**PROJECT NARRATIVE:** THIS IS A MINOR EXTERIOR MODIFICATION THAT IS BEING DONE IN CONJUNCTION WITH AN INTERIOR TI PERMIT (NOT IN THIS SCOPE OF WORK). THE WORK PERTAINING TO THIS PERMIT TAKES PLACE WITHIN AN EXISTING PATIO SPACE, FORMALLY USED FOR OUTDOOR RESTAURANT SEATING. THE EXTERIOR SCOPE CONSISTS OF DEMO OF TWO EXISTING CANOPIES, INSTALL OF A STEEL ARBOR AND NEW GLASS CANOPY. ANUPDATE TO EXTERIOR FINISHE, PAINT AND A WOOD SCREEN WALL, AND NEW LIGHTING. EXTERIOR IMPROVEMENTS TO MEET ADA REQUIREMENTS.  
**RELATED PERMITS - NOT IN SCOPE:**  
 - INTERIOR TI SCOPE  
 - STRUCTURE PERGOLA  
 - EXTERIOR PATIO REPAVING  
**LEGAL DESCRIPTION:** MCGUIRAS ISLAND ADD LOTS 7 AND 8 LESS THAT POR OF LOT 7 CONV FOR ROAD UNDER REC NO 2861857 ALSO LESS THAT POR THOF CONV TO STATE OF WASHINGTON UNDER REC NO 8909130204 PLAT BLOCK: 18 PLAT LOT: 7-8  
**EXISTING CONSTRUCTION TYPE:** II-B, FULLY SPRINKLERED BUILDING  
**OCCUPANCY TYPE:** A-2  
**AREA OF WORK:** 830 SF  
**NOT INCLUDED:**  
 - TITLE REPORT: MINOR EXTERIOR MODIFICATION WILL NOT REQUIRE A TITLE REPORT  
 - CRITICAL AREAS STUDY: NO CRITICAL AREAS PRESENT ON SITE  
 - ARBORIST REPORT: NO TREES ARE PRESENT ON SITE, OR BEING REMOVED  
 - SEPA CHECKLIST: MINOR EXTERIOR MODIFICATION WILL NOT IMPACT SEPA  
 - TRANSPORTATION CONCURRENCY APPLICATION OR CERTIFICATE: THE PROJECT HAS BEEN EXEMPT FROM TIA REQUIREMENTS

**PROJECT CODE INFORMATION**

<b>BUILDING CODE:</b>	2018 INTERNATIONAL BUILDING CODE WITH WASHINGTON STATE AND MERCER ISLAND CITY AMENDMENTS
<b>ELECTRICAL CODE:</b>	2018 NATIONAL ELECTRICAL CODE
<b>MECHANICAL CODE:</b>	2018 INTERNATIONAL MECHANICAL CODE
<b>PLUMBING CODE:</b>	2018 UNIFORM PLUMBING CODE
<b>ENERGY CODE:</b>	2018 WASHINGTON STATE ENERGY CODE
<b>FIRE CODE:</b>	2018 INTERNATIONAL FIRE CODE

**PROJECT DIRECTORY**

**OWNER:** SARA MCALLISTER  
 7650 SE 27TH ST, #100  
 MERCER ISLAND, WA 98040  
**ARCHITECT:** GENSLER  
 1200 6TH AVENUE, SUITE 500  
 SEATTLE, WA 98101  
 206-654-2100  
**CONTRACTOR:** ALEX ARDO  
 BLINDHEIM CO  
 P.O. BOX 5907  
 LYNNWOOD, WA 98046  
 206-730-5026  
**STRUCTURAL ENGINEER:** KPFF  
 1601 5TH AVE, SUITE #1600  
 SEATTLE, WA 98101  
 206-622-9822

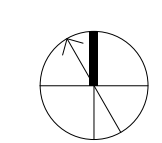
**DRAWING INDEX**

SHEET NAME		11.17.23 ISSUE FOR PERMIT
GENERAL	COVER	•
G0.01	PROJECT INFORMATION	•
G2.01	OCCUPANCY AND EGRESS PLANS	•
G6.01	DOOR ELEVATIONS AND HARDWARE GROUPS	•
ARCHITECTURE		
AS0.01	SITE PLAN	•
ARCHITECTURE		
A0.01	DEMOLITION PLAN - LEVEL 01	•
A0.02	BUILDING ELEVATIONS - DEMO	•
A1.01	CONSTRUCTION PLAN - LEVEL 01	•
A1.02	CONSTRUCTION PLAN - LEVEL 02	•
A1.21	REFLECTED CEILING PLAN - LEVEL 01	•
A2.01	OVERALL BUILDING ELEVATIONS	•
A3.01	BUILDING ENLARGED ELEVATIONS	•
A3.02	BUILDING ENLARGED ELEVATIONS	•
A4.01	SECTIONS	•
A6.01	ENLARGED DETAILS	•
A6.02	ENLARGED DETAILS	•
STRUCTURE		
SSK-1	STRUCTURAL SKETCHES	•
SSK-2	STRUCTURAL SKETCHES	•

**VICINITY MAP**



SITE



**ALLISTER**  
 7650 SE 27th St, Mercer Island, WA 98040

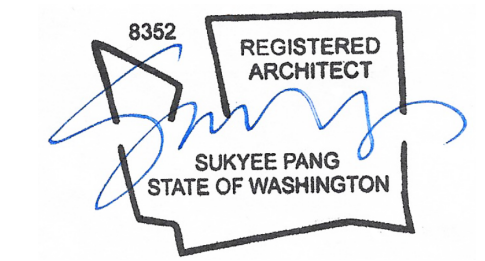
**Gensler**

1200 Sixth Avenue  
 Suite 500  
 Seattle, WA 98101  
 United States  
 Tel 206.654.2100  
 Fax 206.654.2121

Date	Description
11.17.2023	ISSUE FOR PERMIT

Municipal Stamp

Seal / Signature



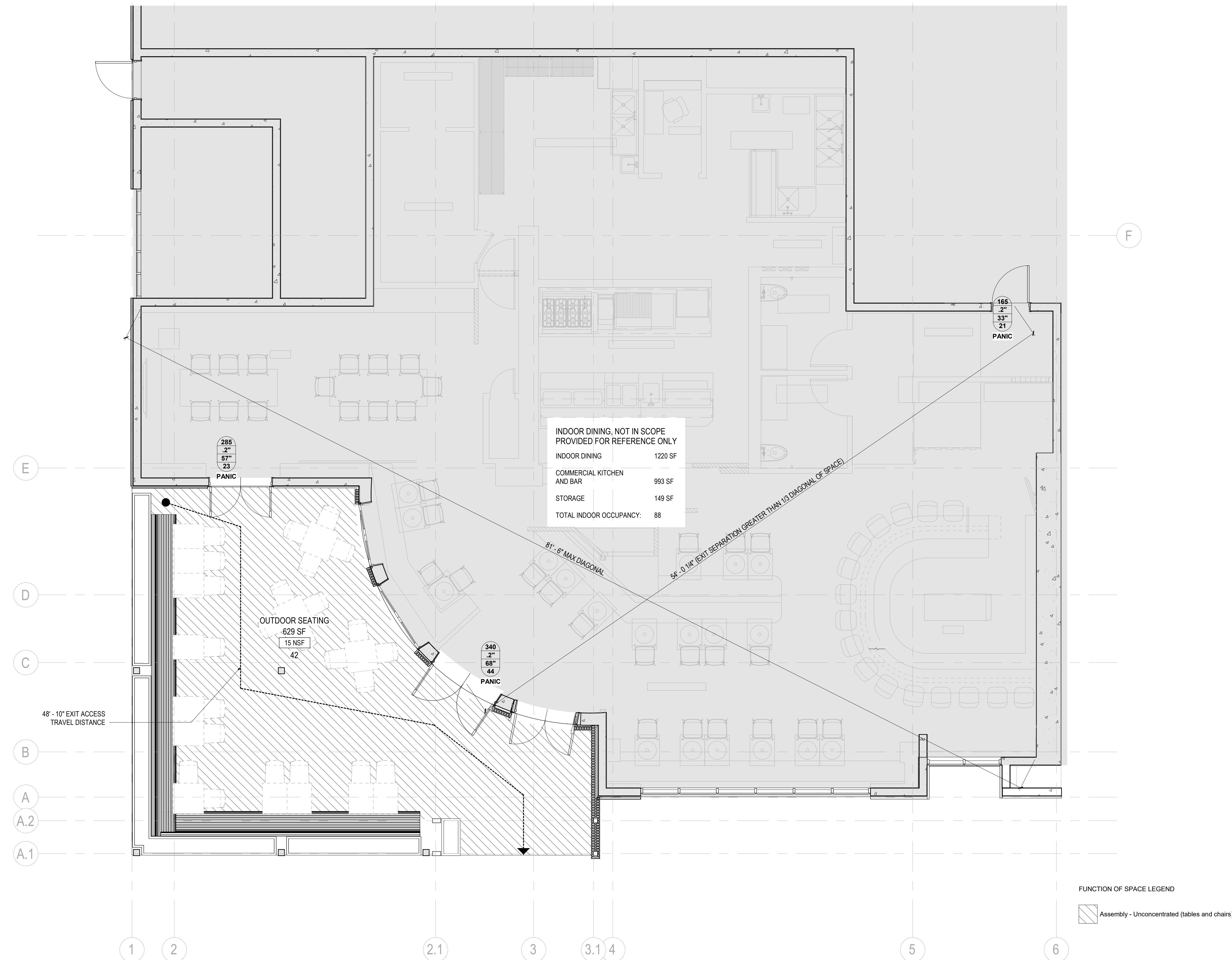
Project Name  
**Allister Exterior Renovation**

Project Number  
**032.3223.000**

Description  
**PROJECT INFORMATION**

Scale  
**NOT TO SCALE**

**G0.01**



INDOOR DINING, NOT IN SCOPE PROVIDED FOR REFERENCE ONLY  
INDOOR DINING 1220 SF  
COMMERCIAL KITCHEN AND BAR 993 SF  
STORAGE 149 SF  
TOTAL INDOOR OCCUPANCY: 88

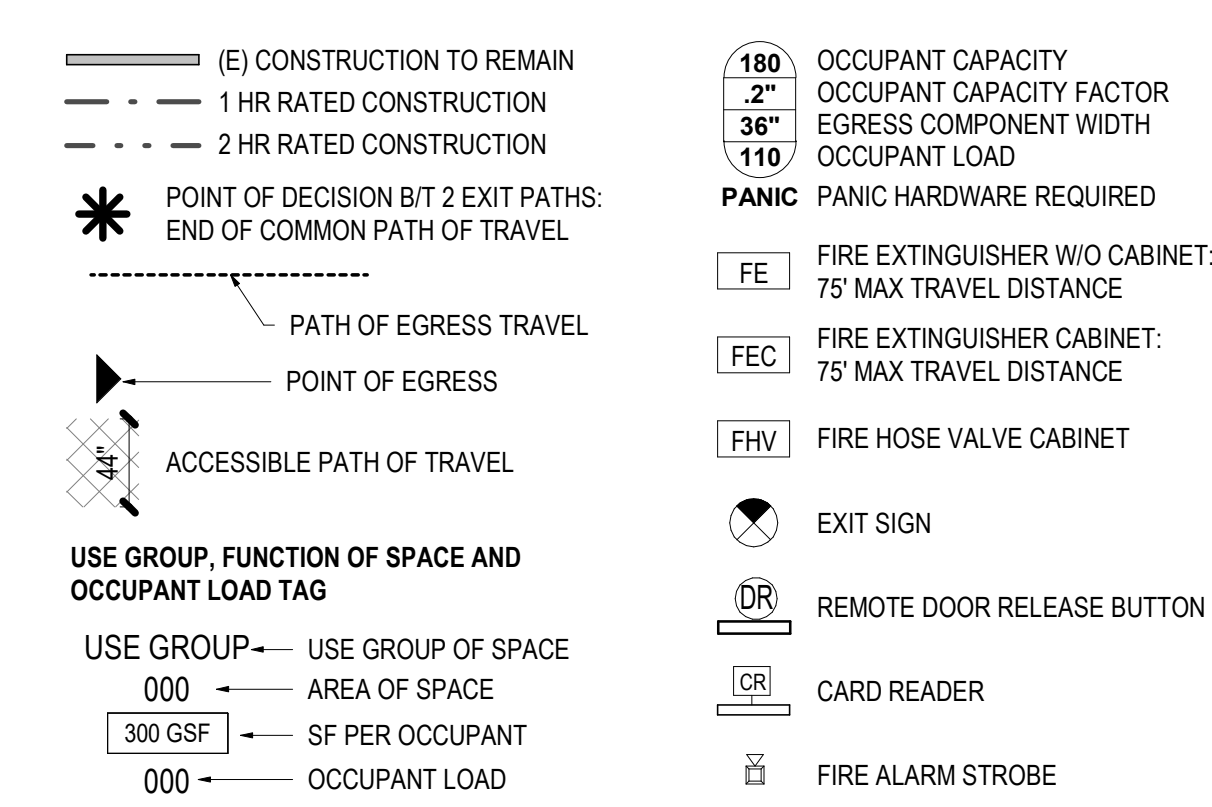
FUNCTION OF SPACE LEGEND  
Assembly - Unconcentrated (tables and chairs)

**02 LIFE SAFETY PLAN - LEVEL 01**  
SCALE: 1/4" = 1'-0"

Function of Space	Area (sf)	sf per Occ.	Net/Gross	No. of Occs.
Assembly without fixed seats: Unconcentrated (tables and chairs)	629 (sf)	15	net	42
Kitchens Commercial	0 (sf)	200	gross	0
Accessory storage areas, mechanical equipment room	0 (sf)	300	gross	0
<b>Total</b>	<b>629 (sf)</b>			<b>42</b>

Function of Space	Area (sf)	sf per Occ.	Net/Gross	No. of Occs.
Assembly without fixed seats: Unconcentrated (tables and chairs)	1,220 (sf)	15	net	82
Kitchens Commercial	993 (sf)	200	gross	5
Accessory storage areas, mechanical equipment room	149 (sf)	300	gross	1
<b>Total</b>	<b>2,362 (sf)</b>			<b>88</b>

Classification	Occupancy Load	Toilets Occ. Load Split Evenly		Lavatories Occ. Load Split Evenly	
		(+Urinals) Male	Female	Male	Female
<b>Assembly</b> <i>Restaurants, Banquet halls, Food court</i>	122	0.81	0.81	0.81	0.81
<b>Business</b> <i>Commercial Kitchen</i>	7	0.14	0.14	0.09	0.09
<b>Storage</b> <i>storage of goods, warehouses, storehouses, low and med. hazard</i>	1	0.01	0.01	0.01	0.01
Sub-Total	130	0.96	0.96	0.91	0.91
Required (Rounded Up)		<b>1</b>	<b>1</b>	<b>1</b>	<b>1</b>
<b>Provided</b>		<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>
By Gender					
Single User / All Gender		<b>2</b>		<b>2</b>	



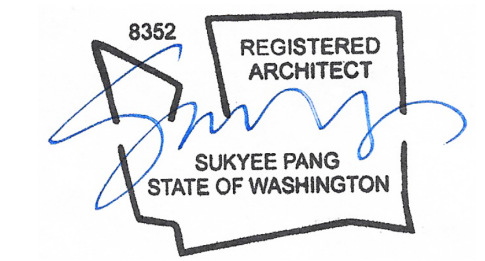
**01 OCCUPANCY & PLUMBING CALCULATIONS**  
SCALE: 1/2" = 1'-0"

**Egress Legend**  
SCALE: 1/8" = 1'-0"

Date	Description
11.17.2023	ISSUE FOR PERMIT

Municipal Stamp

Seal / Signature



Project Name  
**Allister Exterior Renovation**

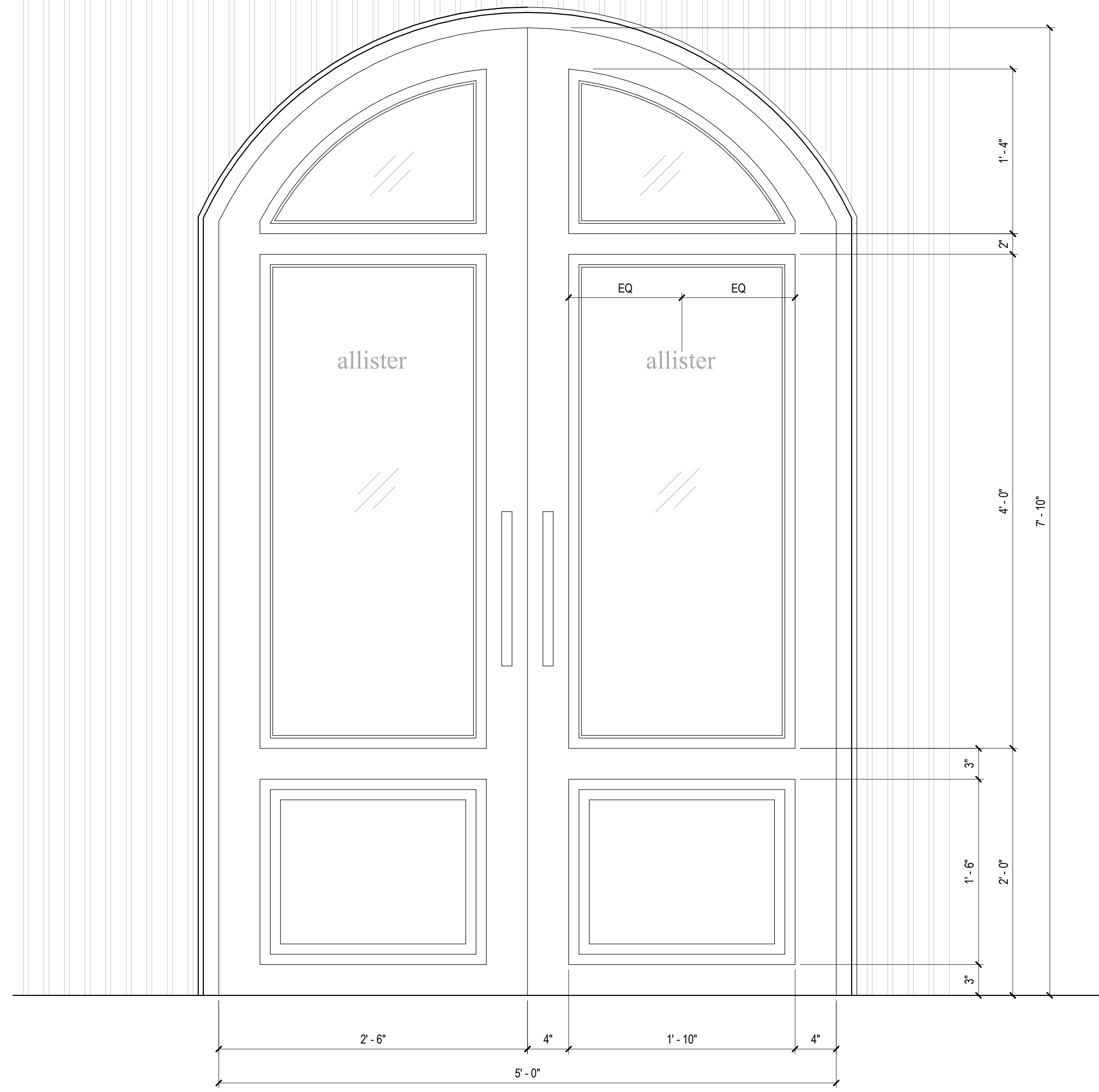
Project Number  
**032.3223.000**

Description  
**OCCUPANCY AND EGRESS PLANS**

Scale  
As indicated

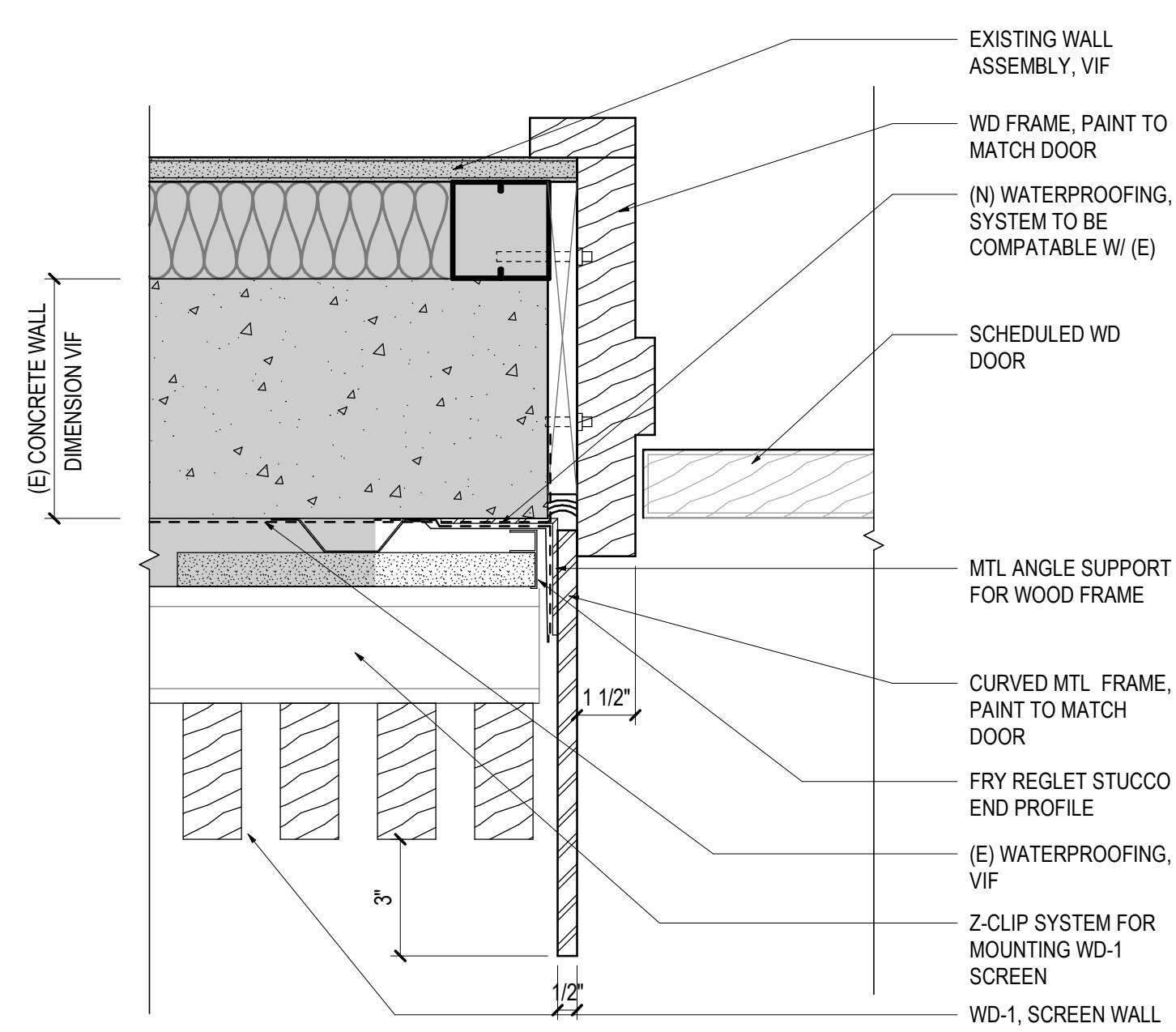
**G2.01**

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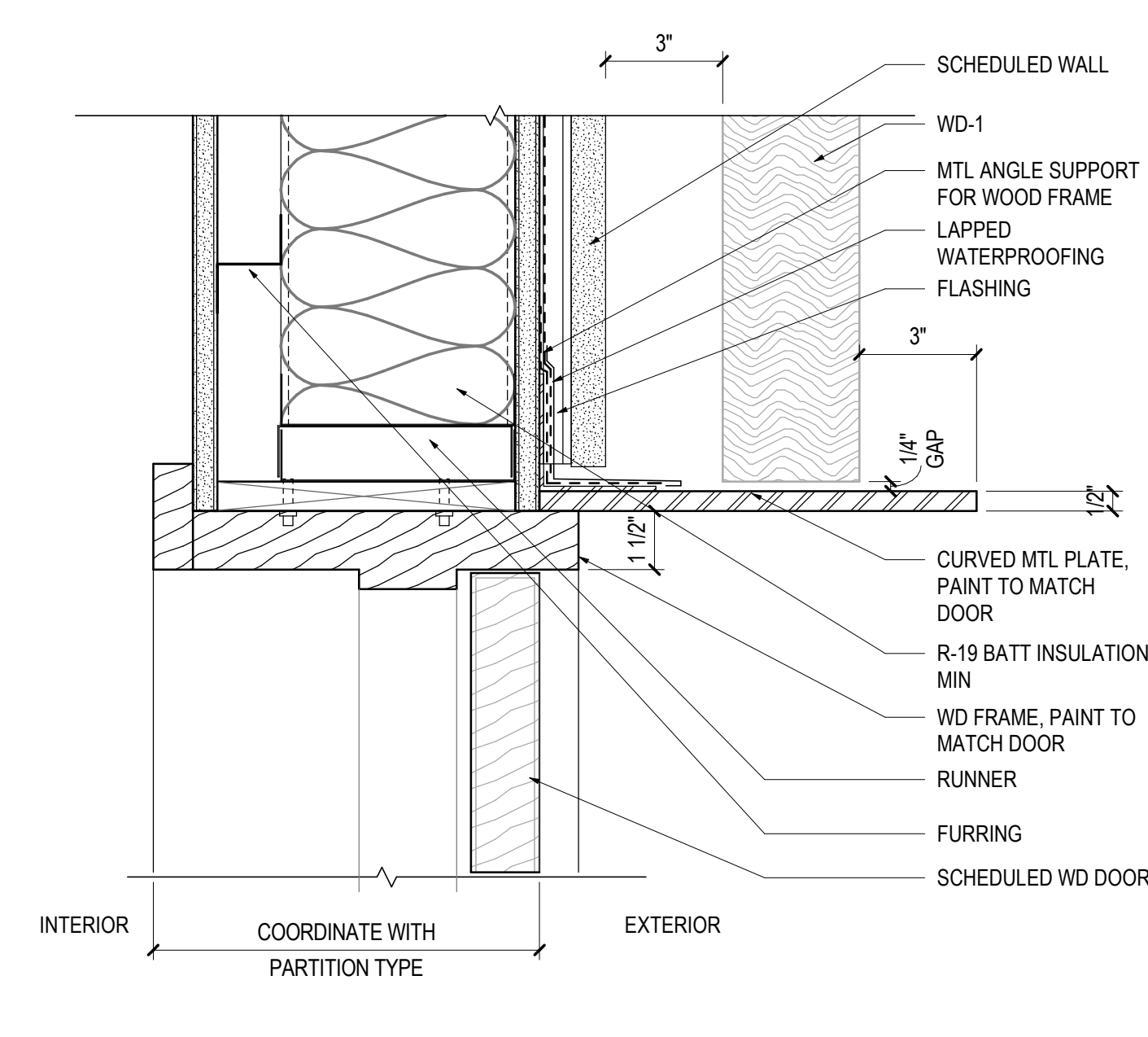


**08 ENLARGED ELEVATION - ENTRY DOOR**  
SCALE: 1 1/2" = 1'-0"

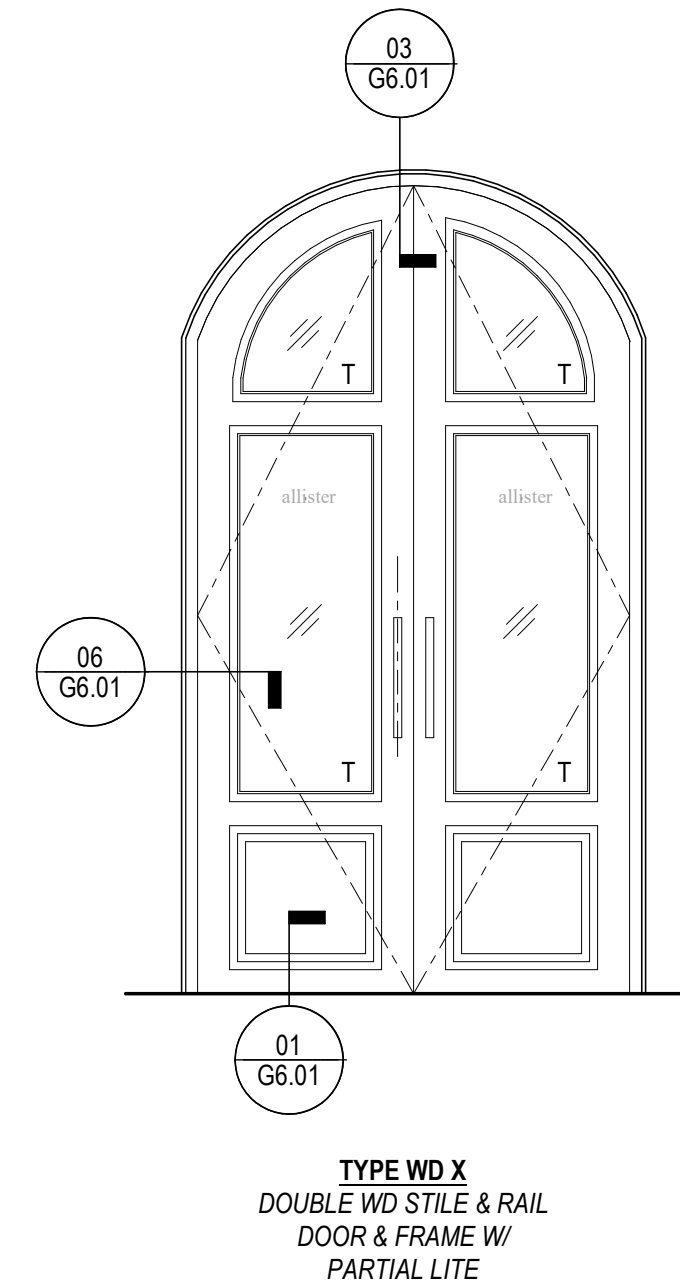
**06 WOOD DOOR JAMB**  
SCALE: 3" = 1'-0"



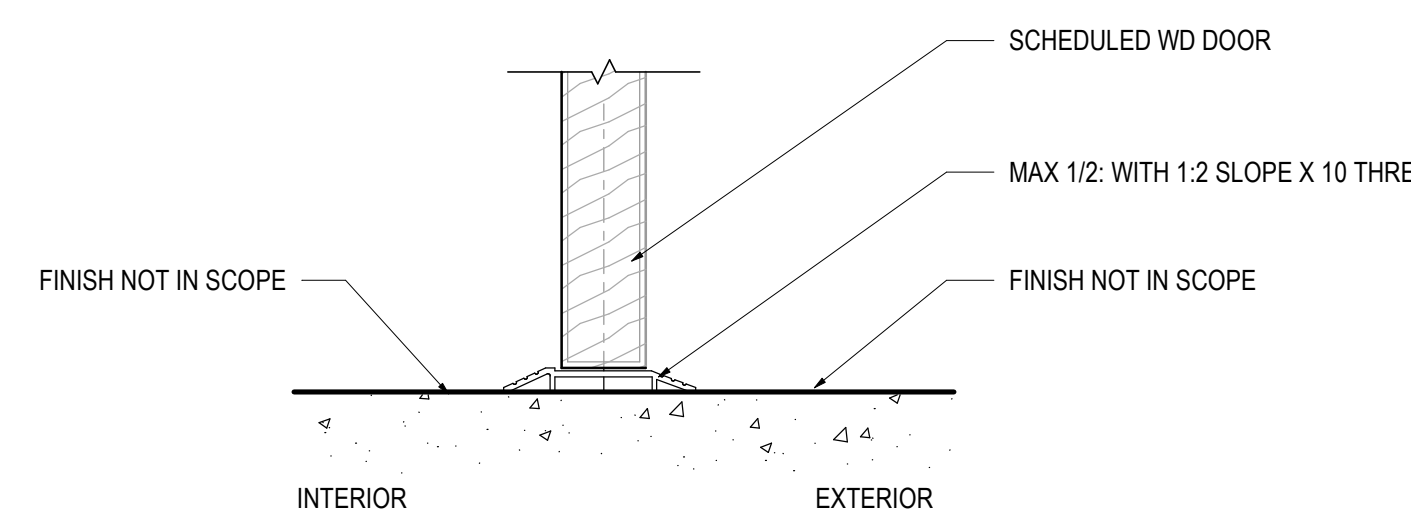
**03 WOOD DOOR HEAD**  
SCALE: 3" = 1'-0"



**05 DOOR HARDWARE GROUPS**  
SCALE: 1/2" = 1'-0"



**01 WOOD DOOR SILL**  
SCALE: 3" = 1'-0"



NUMBER	TYPE	DOOR ASSEMBLY				FRAME ASSEMBLY					ASSEMBLY RATING	HARDWARE	REMARKS	
		WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	MATERIAL	FINISH	HEAD DETAIL	JAMB DETAIL				SILL DETAIL
101	WD X	5'-0"	7'-10"	0'-1 3/4"	MD/GL	PT-2	WD	PT-2	03/A0.601	JAMB DETAIL	02/A0.601	01/A0.601	TBD	ADA COMPLIANT HARDWARE, MAX U VALUE 0.6, TEMPERED GLASS
102	(E)	8'-0"	7'-10"	0'-1 3/4"	AL/GL	PT-4	(E)	PT-4	-	-	-	-	(E) PANIC	
103	(E)	6'-0"	7'-10"	0'-1 3/4"	AL/GL	PT-4	(E)	PT-4	-	-	-	-	N/A	REMOVE HARDWARE, PATCH HOLES AND KEEP IN LOCKED POSITION, GLASS FILM APPLIED PER ELEVATIONS
104	(E)	5'-0"	7'-10"	0'-1 3/4"	AL/GL	PT-4	(E)	PT-4	-	-	-	-	N/A	REMOVE HARDWARE, PATCH HOLES AND KEEP IN LOCKED POSITION, GLASS FILM APPLIED PER ELEVATIONS
105	(E)	5'-0"	7'-10"	0'-1 3/4"	AL/GL	PT-4	(E)	PT-4	-	-	-	-	(E) PANIC	

**LIGHT FIXTURE SCHEDULE**

TYPE	LOCATION	DESCRIPTION	SIZE (NOMINAL)	LAMP	INPUT WATTS	VOLTS	CONTROLS / GEAR	MANUFACTURER AND SERIES	FINISH	NOTES
LT-1	WALLS	GEOMETRIC SCONCE WITH INDIRECT AMBIENT LIGHT ITH METAL FINISH, UL LISTED	5" WIDE, 11" HIGH, 4" DEEP	LED (BUILT IN) 665 LUMENS, 2700K, 80+ CRI	11	120	CONNECT TO EXISTING BUILDING SCONCE CONTROLS	ELK HOME PIERRE 45231 LED WALL SCONCE	TEXTURED MATTED BLACK	FIXTURE MOUNTED AT EXISTING SCONCE LOCATIONS
LT-2	CANOPY LIGHTING	RECESSED WET-LOCATION LENSED DOWNLIGHT	NOMINAL 1.5" DIAMETER	LED (INCLUDED) 359 LUMENS, 2700K, 80+ CRI	7	TBD/24	HOUSING: ALUMINUM / OPTICS; FLOOD / SHIELDING: LENS / MOUNTING: RECESSED - METAL CANOPY STRUCTURE	KLIK SYSTEMS LEDPOD XL32 FLAT	CUSTOM PAINT FINISH TO MATCH CAONOPY STRUCTURE	PROVIDE POWER SUPPLY IN SIZE, TYPE, AND LOCATION REQUIRED FOR COMPLETE OPERATING INSTALLATION. SEE DRAWINGS FOR MOUNTING DETAILS.
LT-2	OUTDOOR MENU	LINEAR LED RECESSED LIGHT	1/2" WIDE X 40" LONG	LED (INCLUDED) TBD LUMENS, 2700K, TBD + CRI	TBD	TBD/24	TBD	TBD	TBD	RECESSED UL WET LISTED LED STRIP LIGHT FOR MENU ILLUMINATION

**SHEET NOTES**

**GENERAL NOTES**

- A. SEE A0 SHEET SERIES FOR SYMBOLS, ABBREVIATIONS, GENERAL NOTES & TYPICAL MOUNTING LOCATIONS, HEIGHTS AND ALIGNMENTS
- B. GC TO VERIFY LIMITS OF DEMOLITION SCOPE WITH NEW CONSTRUCTION SCOPE PRIOR TO COMMENCING WORK
- C. CONTRACTOR TO PATCH AND REPAIR ANY AREA AFFECTED BY CONSTRUCTION TO BE IN "LIKE NEW" CONDITION
- D. SEE CONSULTANT AND VENDOR DRAWINGS FOR RELATED SCOPE OF WORK AND ADDITIONAL INFORMATION.
- E. ALL NEW DOORS SHALL COMPLY WITH 2019 CBC 11B-404
- F. ALL DOORS SHALL BE 1-3/4" THICK, U.O.N.
- G. ALL PANIC HARDWARE SHALL COMPLY WITH 2019 CBC SECTION 1010.1.3, AND ALL PANIC HARDWARE AT FIRE-RATED DOORS SHALL ADDITIONALLY COMPLY WITH 2019 CBC SECTION 715 & 716
- H. TOP OF DOOR FRAMES SHALL BE LEVEL AND ALIGNED, REGARDLESS OF ANY SLOPE IN FLOOR SURFACE, U.O.N.
- I. ALL EXIT DOOR SHALL SWING IN TO THE DIRECTION OF THE EXIT PATH OF TRAVEL. DOOR AT FULLY OPEN POSITION SHALL NOT PROJECT MORE THAN 7" INTO THE REQUIRED PATH OF EGRESS TRAVEL WIDTH.
- J. VERIFY AND MATCH LOCKSETS WITH BLDG. STANDARD. CONTRACTOR TO COORDINATE WITH OWNER TO ENSURE SUB-CONTRACTOR PROVIDES ACCURATE LOCKSETS.
- K. ALL ELECTRIC LOCKS TO BE FAILSAFE, U.O.N.
- L. EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT
- M. PROVIDE SAFETY GLASS AT ALL LOCATIONS REQUIRED BY 2019 CBC 2406.1.
- N. DOORS AS ANNOTATED TO HAVE SIGN WHICH READS: "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS." VERIFY WITH ARCHITECT ON SIGN MOUNTING LOCATION

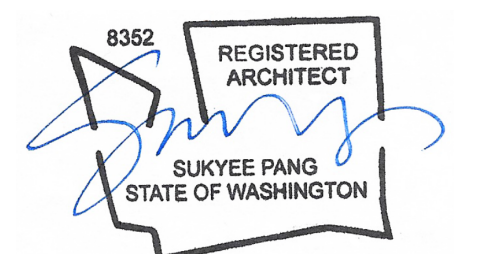
**ALLISTER**  
7650 SE 27th St, Mercer Island, WA 98040

**Gensler**  
1200 Sixth Avenue  
Suite 500  
Seattle, WA 98101  
United States  
Tel 206.654.2100  
Fax 206.654.2121

Date	Description
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Municipal Stamp

Seal / Signature



Project Name  
**Allister Exterior Renovation**

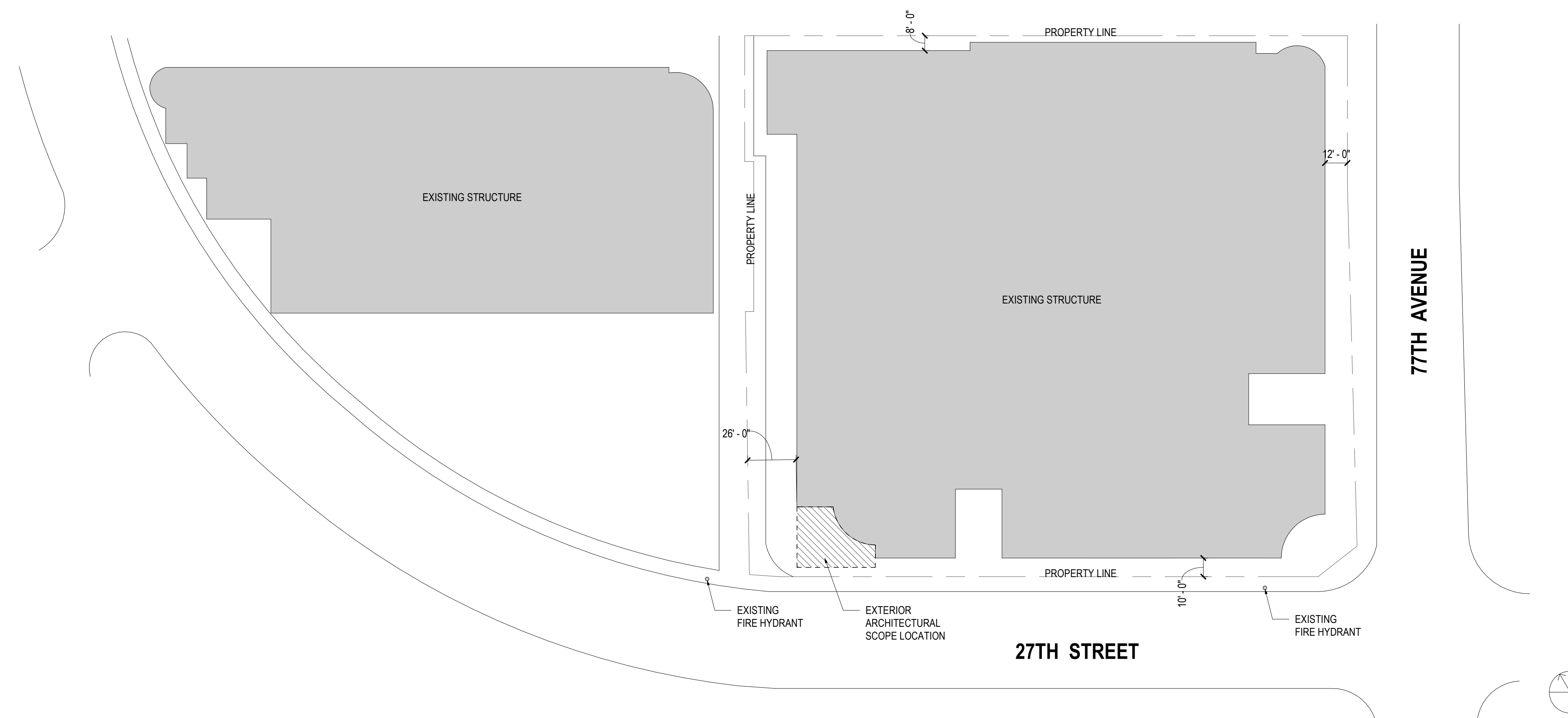
Project Number  
**032.3223.000**

Description  
**DOOR ELEVATIONS AND HARDWARE GROUPS**

Scale  
As indicated

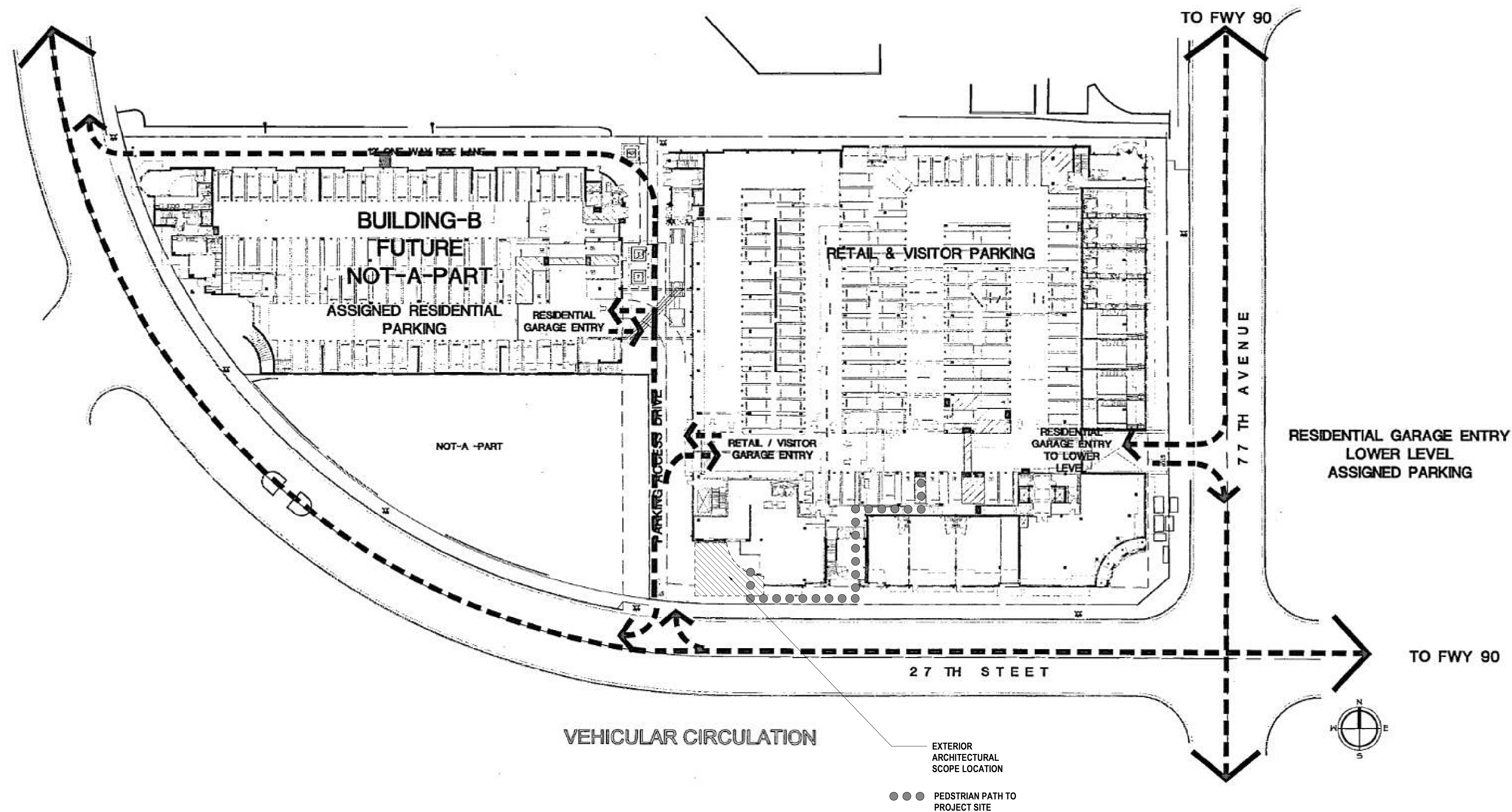
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**02 SITE PLAN**  
SCALE: 1" = 40'-0"

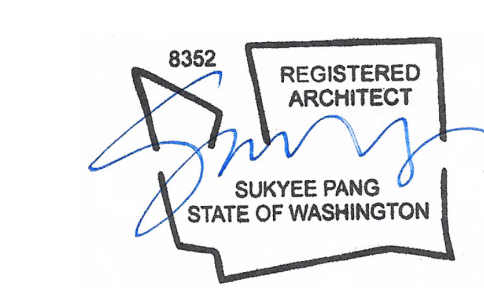
**GENERAL NOTES**



**01 EXISTING GARAGE PLAN**  
SCALE: 1" = 40'-0"

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Project Name  
**Allister Exterior Renovation**

Project Number  
**032.3223.000**

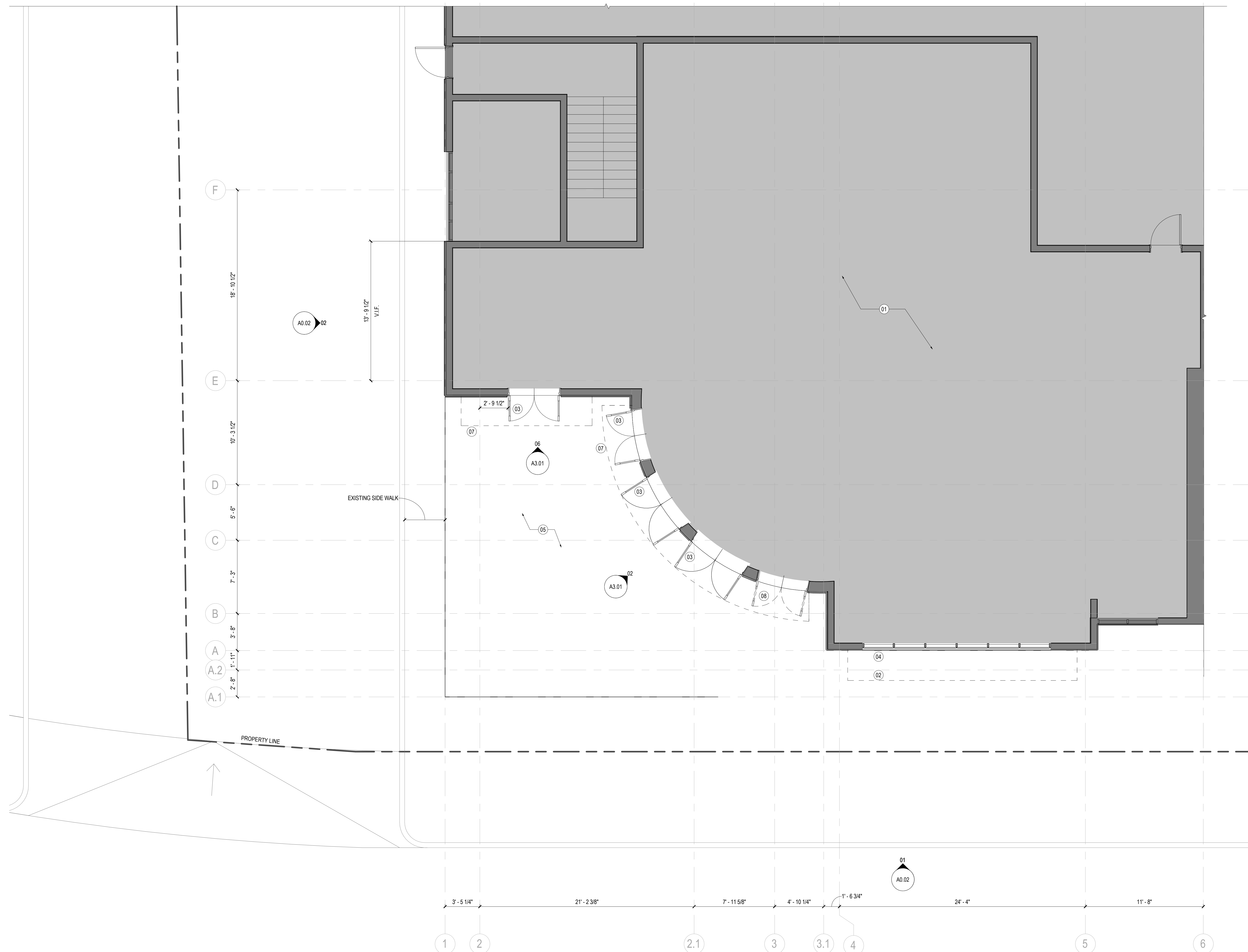
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**SITE PLAN**

Scale  
**1" = 40'-0"**

**AS0.01**

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**SHEET NOTES**

- 01 AREA NOT IN SCOPE
- 02 EXISTING CANOPY TO REMAIN, GLASS TO BE REPLACED, PREP FOR NEW PAINT
- 03 EXISTING DOOR TO REMAIN, PREP FOR NEW PAINT, PREP GLASS FOR FILM APPLICATION
- 04 EXISTING WINDOW WALL, PREP FRAME FOR NEW PAINT, PREP GLASS FOR FILM APPLICATION
- 05 EXISTING PATIO
- 07 EXISTING CANOPY TO BE REMOVED, PATCH AND REPAIR WALLS AS NEEDED, PREP FOR NEW PAINT AND NEW PERGOLA SYSTEM (UNDER SEPARATE PERMIT) CONNECTIONS
- 08 EXISTING DOOR TO BE REMOVED, PATCH WALLS AS NEEDED, AND PREP FOR NEW ENTRY DOOR AND NEW PERGOLA SYSTEM (UNDER SEPARATE PERMIT) CONNECTIONS

**GENERAL NOTES**

- A. SEE GO SHEET SERIES FOR SYMBOLS, ABBREVIATIONS, GENERAL NOTES & TYPICAL MOUNTING LOCATIONS, HEIGHTS AND ALIGNMENTS.
- B. GC TO VERIFY LIMITS OF DEMOLITION SCOPE WITH NEW CONSTRUCTION SCOPE PRIOR TO COMMENCING WORK.
- C. SEE CONSULTANT AND VENDOR DRAWINGS FOR RELATED SCOPE OF WORK AND ADDITIONAL INFORMATION. ARCHITECTURAL DRAWINGS TAKE PRECEDENCE ON LOCATION OF DEVICES.
- D. ALL PARTITIONS TO BE TYPE A3A. U.O.N. ALL FURRED OUT PARTITIONS TO BE D3A. U.O.N. SEE SHEET A8.00 FOR PARTITIONS TYPES.
- E. LOCATE THE HINGE SIDE OF DOOR OPENINGS IN PARTITIONS NOT DIMENSIONED 4" FROM ADJACENT PERPENDICULAR PARTITIONS.
- G. ALL DIMENSIONS ARE BASED OFF OF THE FACE OF FINISH OR GRIDLINES. MAINTAIN DIMENSIONS MARKED AS CLEAR. ALLOW FOR THICKNESSES OR MOUNTING OF FINISHES. GC TO VERIFY VALIDITY OF GRIDLINES IN FIELD AND ADVISE ARCHITECT OF ANY VARIANCES.
- H. ALL NEW PENETRATIONS AND OPENINGS IN THE BUILDING ENVELOPE SHALL BE SEALED TO LIMIT INFILTRATION AND EXFILTRATION. PATCH WATERPROOFING TO MAINTAIN WATER TIGHT BUILDING ENVELOPE.
- I. COORDINATE AND ALIGN ALL ACCESS PANELS WITH NEW CONSTRUCTION. WHERE ACCESS PANELS CONFLICT WITH CONSTRUCTION, RELOCATE PANELS AS REQUIRED. VERIFY LAYOUT WITH ARCHITECT PRIOR TO INSTALLATION.
- J. FURNITURE SHOWN ARE FOR REFERENCE ONLY.

**LEGEND**

- AREA NIC
- (E) CONSTRUCTION TO REMAIN
- (E) 1 HR RATED CONSTRUCTION TO REMAIN
- (E) 2 HR RATED CONSTRUCTION TO REMAIN
- (E) DOOR & FRAME TO REMAIN
- PARTITION TYPE TAG
- (N) NON-RATED CONSTRUCTION
- (N) 1 HR RATED CONSTRUCTION
- (N) 2 HR RATED CONSTRUCTION
- DOOR NUMBER
- (N) DOOR & FRAME
- MILL WORK
- FIRE EXTINGUISHER CABINET
- RATED FIRE EXTINGUISHER CABINET

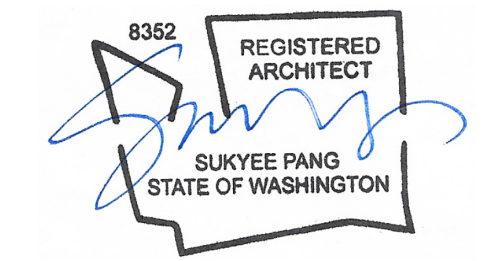
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Project Name  
**Allister Exterior Renovation**

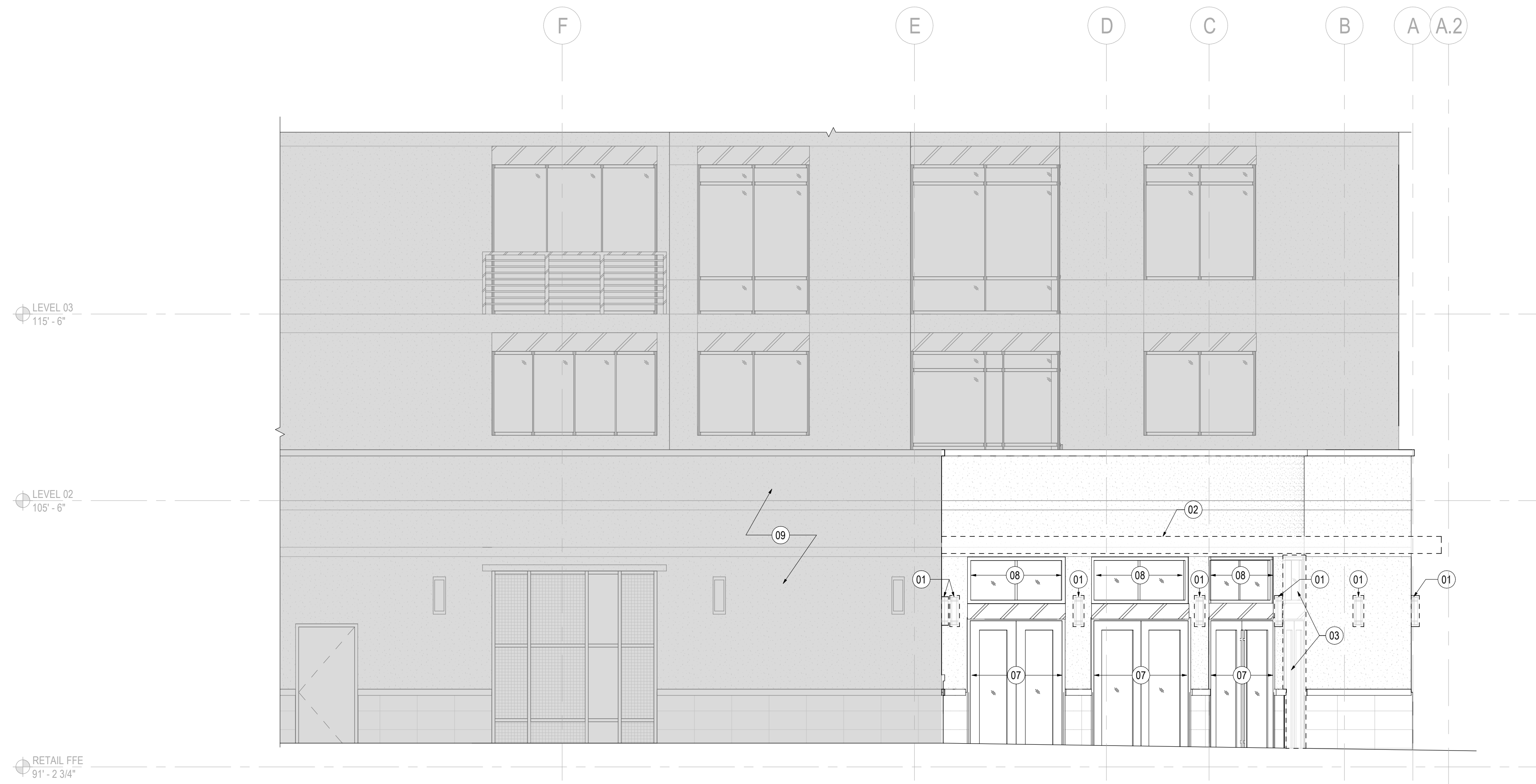
Project Number  
**032.3223.000**

Description  
**DEMOLITION PLAN - LEVEL 01**

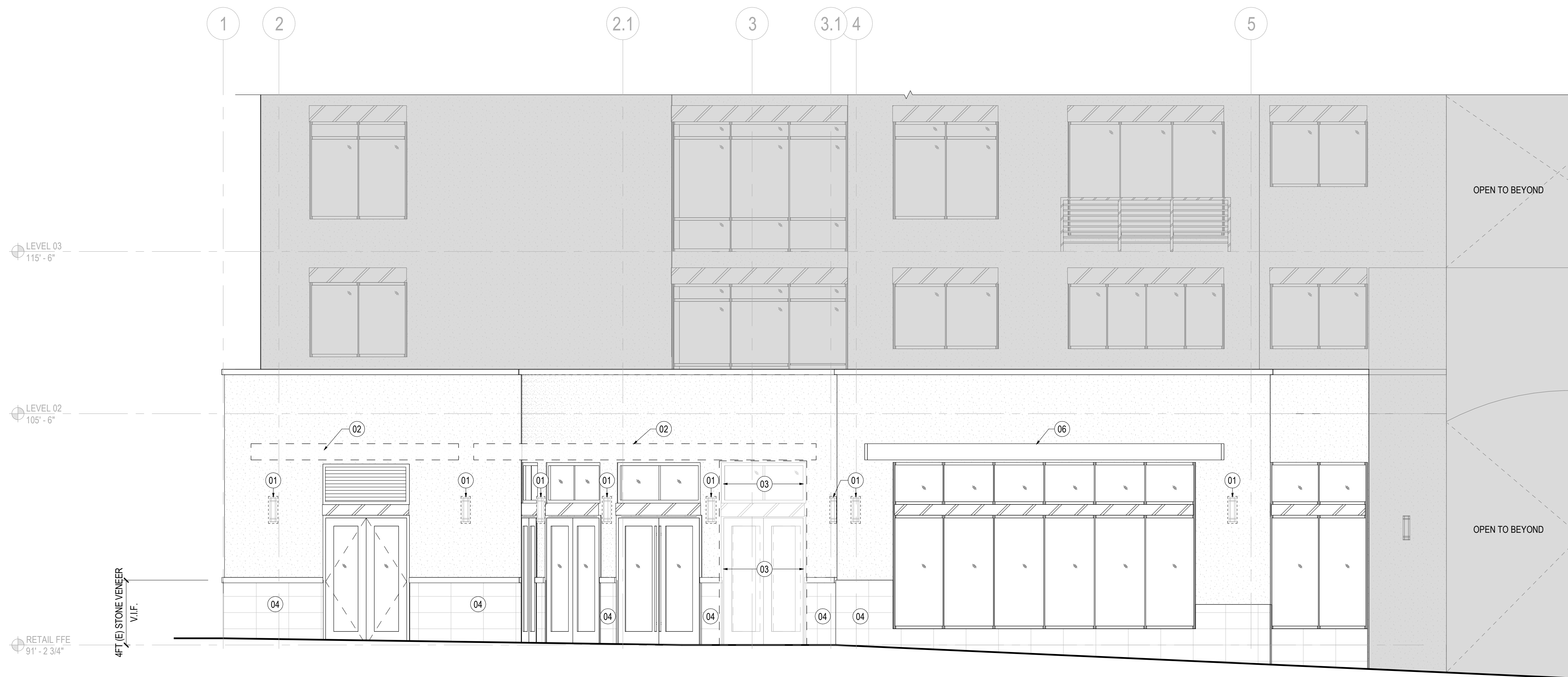
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As indicated

**A0.01**

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**02 WEST ELEVATION - DEMO**  
SCALE: 1/4" = 1'-0"



**01 NORTH ELEVATION - DEMO**  
SCALE: 1/4" = 1'-0"

**SHEET NOTES**

- 01 REMOVE EXISTING LIGHT FIXTURE. PATCH AND REPAIR WALL AS NEEDED. PREP AREA FOR NEW LIGHTING, ELECTRICAL TO REMAIN
- 02 EXISTING CANOPY TO BE REMOVED. PATCH AND REPAIR WALLS AS NEEDED. PREP FOR NEW PAINT
- 03 EXISTING DOOR AND TRANSOM WINDOW TO BE REMOVED. PATCH WALLS AS NEEDED, AND PREP FOR NEW ENTRY DOOR
- 04 EXISTING STONE VENEER TO REMAIN
- 06 EXISTING CANOPY TO REMAIN, GLASS TO BE REPLACED, PREP FOR NEW PAINT
- 07 EXISTING DOOR TO REMAIN. PREP FRAME FOR NEW PAINT. PREP GLASS FOR FILM APPLICATION
- 08 EXISTING WINDOW TO REMAIN, PREP FRAME FOR NEW PAINT
- 09 NOT IN SCOPE

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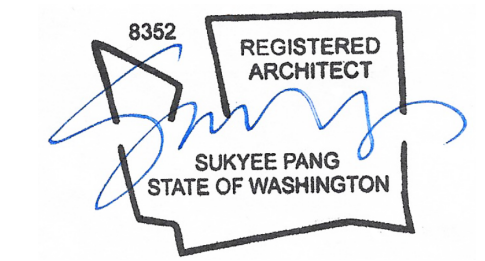
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**GENERAL NOTES**

- A. SEE A0 SHEET SERIES FOR SYMBOLS, ABBREVIATIONS, GENERAL NOTES & TYPICAL MOUNTING LOCATIONS, HEIGHTS AND ALIGNMENTS.
- B. GC TO VERIFY LIMITS OF DEMOLITION SCOPE WITH NEW CONSTRUCTION SCOPE PRIOR TO COMMENCING WORK.
- C. SEE CONSULTANT AND VENDOR DRAWINGS FOR RELATED SCOPE OF WORK AND ADDITIONAL INFORMATION. ARCHITECTURAL DRAWINGS TAKE PRECEDENCE ON LOCATION OF DEVICES.
- D. ITEMS SHOWN AS DASHED TO BE DEMOLISHED, TYP.
- E. DEMOLISH ALL FLOOR FINISHES IN CONTRACT AREA & PREPARE SUBFLOOR AS REQUIRED FOR (N) FINISHES. U.O.N.
- F. G.C. TO PROTECT ALL WINDOW BLINDS FOR REUSE WHERE POSSIBLE. COORDINATE W/ (N) WORK. U.O.N.
- G. DEMO (E) CEILING & LIGHT FIXTURES THROUGHOUT AS SHOWN. U.O.N.
- H. G.C. TO COORDINATE W/ FIRE ALARM VENDOR TO VERIFY SCOPE OF DEMOLITION WORK AS REQUIRED.
- I. GC TO COORDINATE WITH LANDLORD ON CORE DRILLING OR SLAB TRENCHING PER NEW WORK. DO NOT START WORK WITHOUT APPROVAL FROM LANDLORD.

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Project Name  
**Allister Exterior Renovation**

Project Number  
**032.3223.000**

Description  
**BUILDING ELEVATIONS - DEMO**

Scale  
As indicated

**A0.02**

**SHEET NOTES**

- 01 AREA NOT IN SCOPE
- 02 EXISTING CANOPY ABOVE TO REMAIN, PREP FOR NEW PAINT
- 03 NEW DOOR, SEE DOOR SCHEDULE
- 04 NEW PERGOLA SYSTEM UNDER SEPARATE PERMIT
- 05 NEW CEDAR PLANK PLANTERS
- 07 NEW WOOD BANQUETTE

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**GENERAL NOTES**

- A. SEE G0 SHEET SERIES FOR SYMBOLS, ABBREVIATIONS, GENERAL NOTES & TYPICAL MOUNTING LOCATIONS, HEIGHTS AND ALIGNMENTS.
- B. GC TO VERIFY LIMITS OF DEMOLITION SCOPE WITH NEW CONSTRUCTION SCOPE PRIOR TO COMMENCING WORK.
- C. SEE CONSULTANT AND VENDOR DRAWINGS FOR RELATED SCOPE OF WORK AND ADDITIONAL INFORMATION. ARCHITECTURAL DRAWINGS TAKE PRECEDENCE ON LOCATION OF DEVICES.
- D. ALL PARTITIONS TO BE TYPE A3A, U.O.N. ALL FURRED OUT PARTITIONS TO BE D3A, U.O.N.
- E. SEE SHEET A8.00 FOR PARTITIONS TYPES.
- F. LOCATE THE HINGE SIDE OF DOOR OPENINGS IN PARTITIONS NOT DIMENSIONED 4' FROM ADJACENT PERPENDICULAR PARTITIONS.
- G. ALL DIMENSIONS ARE BASED OFF OF THE FACE OF FINISH OR GRIDLINES. MAINTAIN DIMENSIONS MARKED AS CLEAR. ALLOW FOR THICKNESSES OR MOUNTING OF FINISHES. GC TO VERIFY VALIDITY OF GRIDLINES IN FIELD AND ADVISE ARCHITECT OF ANY VARIANCES.
- H. ALL NEW PENETRATIONS AND OPENINGS IN THE BUILDING ENVELOPE SHALL BE SEALED TO LIMIT INFILTRATION AND EXFILTRATION. PATCH WATERPROOFING TO MAINTAIN WATER TIGHT BUILDING ENVELOPE.
- I. COORDINATE AND ALIGN ALL ACCESS PANELS WITH NEW CONSTRUCTION. WHERE ACCESS PANELS CONFLICT WITH CONSTRUCTION, RELOCATE PANELS AS REQUIRED. VERIFY LAYOUT WITH ARCHITECT PRIOR TO INSTALLATION.
- J. FURNITURE SHOWN ARE FOR REFERENCE ONLY.

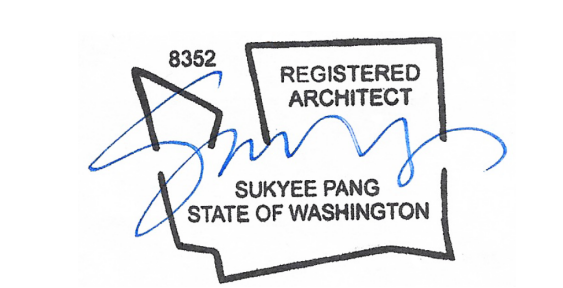
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**LEGEND**

- AREA NIC
- (E) CONSTRUCTION TO REMAIN
- (E) 1 HR RATED CONSTRUCTION TO REMAIN
- (E) 2 HR RATED CONSTRUCTION TO REMAIN
- (E) DOOR & FRAME TO REMAIN
- PARTITION TYPE TAG
- (N) NON-RATED CONSTRUCTION
- (N) 1 HR RATED CONSTRUCTION
- (N) 2 HR RATED CONSTRUCTION
- DOOR NUMBER
- (N) DOOR & FRAME
- MILLWORK
- FIRE EXTINGUISHER CABINET
- RATED FIRE EXTINGUISHER CABINET

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Project Name  
**Allister Exterior Renovation**

Project Number  
**032.3223.000**

Description  
**CONSTRUCTION PLAN - LEVEL 01**

Scale  
As indicated

**A1.01**

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**01 CONSTRUCTION PLAN - LEVEL 01**  
SCALE: 1/4" = 1'-0"

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**SHEET NOTES**

- 01 AREA NOT IN SCOPE
- 02 EXISTING TERRACE, NOT IN SCOPE
- 03 EXISTING CANOPY TO REMAIN, NEW GLASS PANELS, SEE ELEVATION FOR PAINT
- 04 NEW PERGOLA SYSTEM UNDER SEPARATE PERMIT

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**GENERAL NOTES**

- A. SEE A0 SHEET SERIES FOR SYMBOLS, ABBREVIATIONS, GENERAL NOTES & TYPICAL MOUNTING LOCATIONS, HEIGHTS AND ALIGNMENTS
- B. GC TO VERIFY LIMITS OF DEMOLITION SCOPE WITH NEW CONSTRUCTION SCOPE PRIOR TO COMMENCING WORK
- C. CONTRACTOR TO PATCH AND REPAIR ANY AREA AFFECTED BY CONSTRUCTION TO BE IN "LIKE NEW" CONDITION
- D. PAINT ALL CONDUIT AND OTHER EQUIPMENT TO MATCH ADJACENT FINISHES, U.O.N.
- E. ALL EXISTING CONSTRUCTION SHOWN TO REMAIN U.O.N.
- F. U.O.N. ALL GLASS USED IN PROJECT SHALL BE TEMPERED AND ALL EXPOSED EDGES POLISHED
- G. ALL PENETRATIONS THROUGH RATED ASSEMBLIES MUST BE FIRE SEALED PER UL METHODS
- H. CONTRACTOR SHALL PREPARE AND IMPLEMENT CONSTRUCTION WASTE MANAGEMENT PLAN IN COMPLIANCE WITH LOCAL JURISDICTION REQUIREMENTS AND PROJECT LEED CERTIFICATION GOALS
- I. NEW CANOPY TO HAVE 1/4"=1'-0" SLOPE

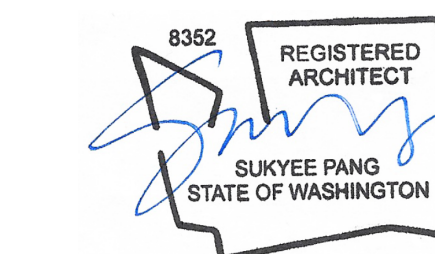
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**LEGEND**

- AREA NIC
- (E) PARTITION TO REMAIN
- (E) 1 HR RATED CONSTRUCTION TO REMAIN
- (E) 2 HR RATED CONSTRUCTION TO REMAIN
- (E) DOOR & FRAME TO REMAIN
- (E) APC CEILING TO REMAIN
- (N) DOOR & FRAME
- (N) APC CEILING
- (N) GYP BD CEILING OR SOFFIT
- XX-XX FINISHED CEILING HEIGHT
- XX CEILING FINISH
- CEILING GRID START POINT
- CEILING HEIGHT CHANGE
- LIGHT SWITCH
- DIMMER SWITCH
- CEILING MOUNTED EXIT SIGN
- F-00 LIGHT FIXTURE, SEE SCHEDULE
- CEILING MOUNTED CAMERA
- MS MOTION SENSOR
- SD CEILING MOUNTED SMOKE DETECTOR
- FIRE SPRINKLER

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**Allister Exterior Renovation**

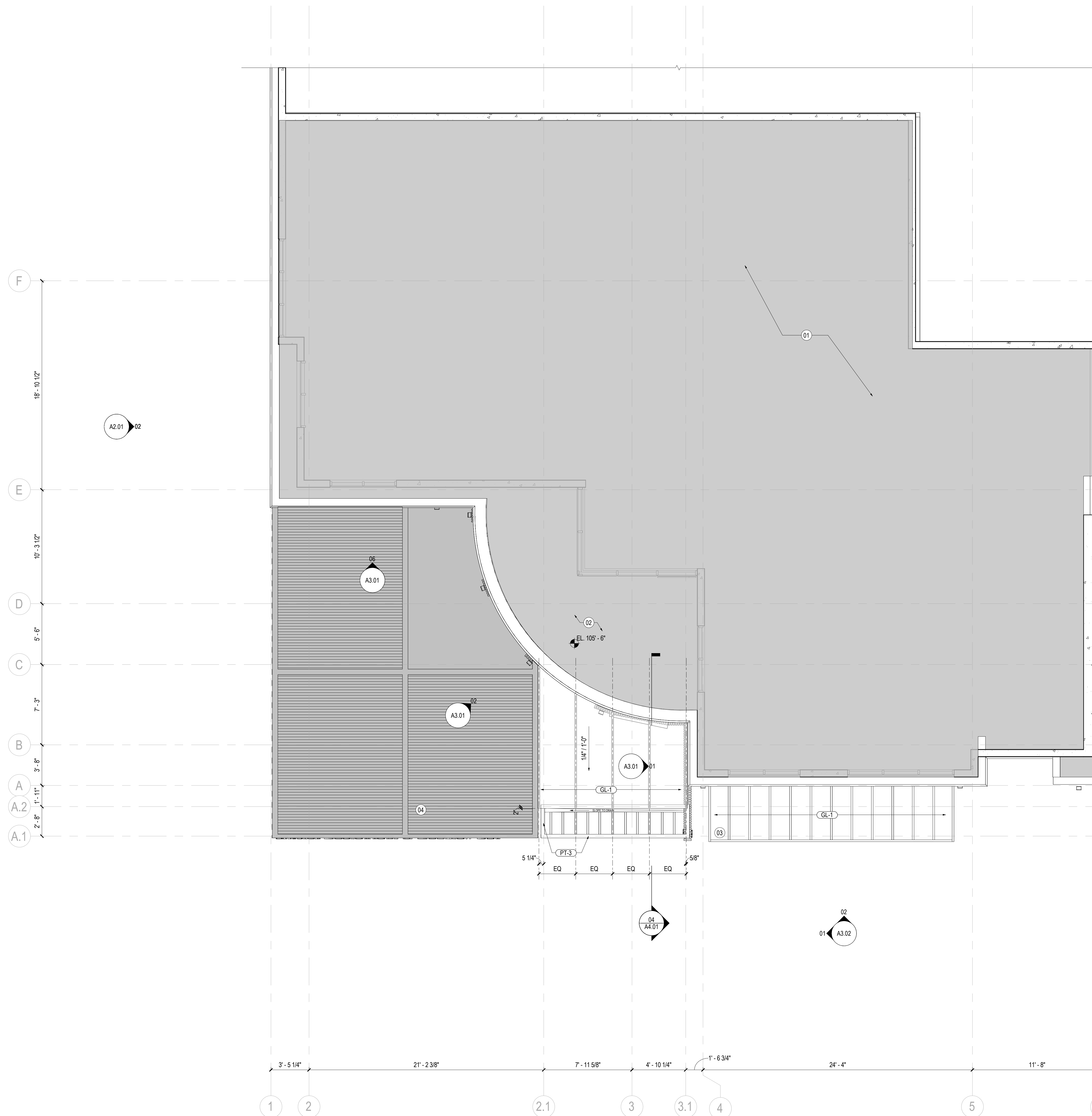
Project Number  
**032.3223.000**

Description  
**CONSTRUCTION PLAN - LEVEL 02**

Scale  
As indicated

**A1.02**

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**01 ROOF PLAN - LEVEL 01**

SCALE: 1/4" = 1'-0"

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### SHEET NOTES

- 01 NEW PERGOLA SYSTEM UNDER SEPARATE PERMIT
- 02 AREA NOT IN SCOPE
- 03 EXISTING CANOPY TO REMAIN, PREP FOR NEW PAINT
- 05 PLANT NETS AT ARBOR FOR VEGETATION

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### GENERAL NOTES

- A. SEE A0 SHEET SERIES FOR SYMBOLS, ABBREVIATIONS, GENERAL NOTES & TYPICAL MOUNTING LOCATIONS, HEIGHTS AND ALIGNMENTS.
- B. GC TO VERIFY LIMITS OF DEMOLITION SCOPE WITH NEW CONSTRUCTION SCOPE PRIOR TO COMMENCING WORK.
- C. SEE CONSULTANT AND VENDOR DRAWINGS FOR RELATED SCOPE OF WORK AND ADDITIONAL INFORMATION. ARCHITECTURAL DRAWINGS TAKE PRECEDENCE ON LOCATION OF DEVICES.
- D. ALL CEILING HEIGHTS TO BE TAKEN FROM FINISH FLOOR TO FINISH OF SURFACE OF CEILING NOTED.
- E. ALL EXIT SIGNS TO BE GREEN EDGE LIT SIGNS, U.O.N. VERIFY WITH BUILDING STANDARD.
- F. CENTER ALL EXIT SIGNS, SMOKE DETECTORS, ETC. IN THE CENTERLINE OF CORRIDORS AND CENTERLINE OF LIGHT FIXTURES, U.O.N.
- G. PAINT ALL CONDUIT AND OTHER EQUIPMENT TO MATCH ADJACENT FINISHES. U.O.N. COORDINATE AND ALIGN ALL ACCESS PANELS WITH NEW CONSTRUCTION. WHERE ACCESS PANELS CONFLICT WITH CONSTRUCTION, RELOCATE PANELS AS REQUIRED. VERIFY LAYOUT WITH ARCHITECT PRIOR TO INSTALLATION.
- H.

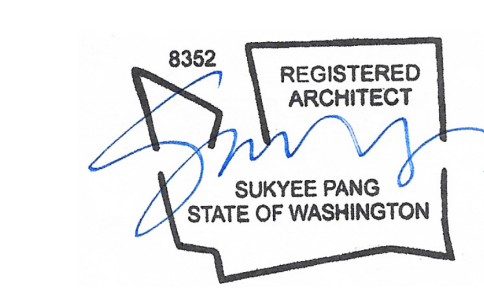
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### LEGEND

- AREA NIC
- (E) PARTITION TO REMAIN
- (E) 1 HR RATED CONSTRUCTION TO REMAIN
- (E) 2 HR RATED CONSTRUCTION TO REMAIN
- (E) DOOR & FRAME TO REMAIN
- (E) APC CEILING TO REMAIN
- (N) DOOR & FRAME
- (N) APC CEILING
- (N) GYP BD CEILING OR SOFFIT
- XX-XX FINISHED CEILING HEIGHT
- XX CEILING FINISH
- CEILING GRID START POINT
- CEILING HEIGHT CHANGE
- X-X LIGHT SWITCH
- DIMMER SWITCH
- CEILING MOUNTED EXIT SIGN
- F-00 LIGHT FIXTURE, SEE SCHEDULE
- CEILING MOUNTED CAMERA
- MS MOTION SENSOR
- SD CEILING MOUNTED SMOKE DETECTOR
- FIRE SPRINKLER

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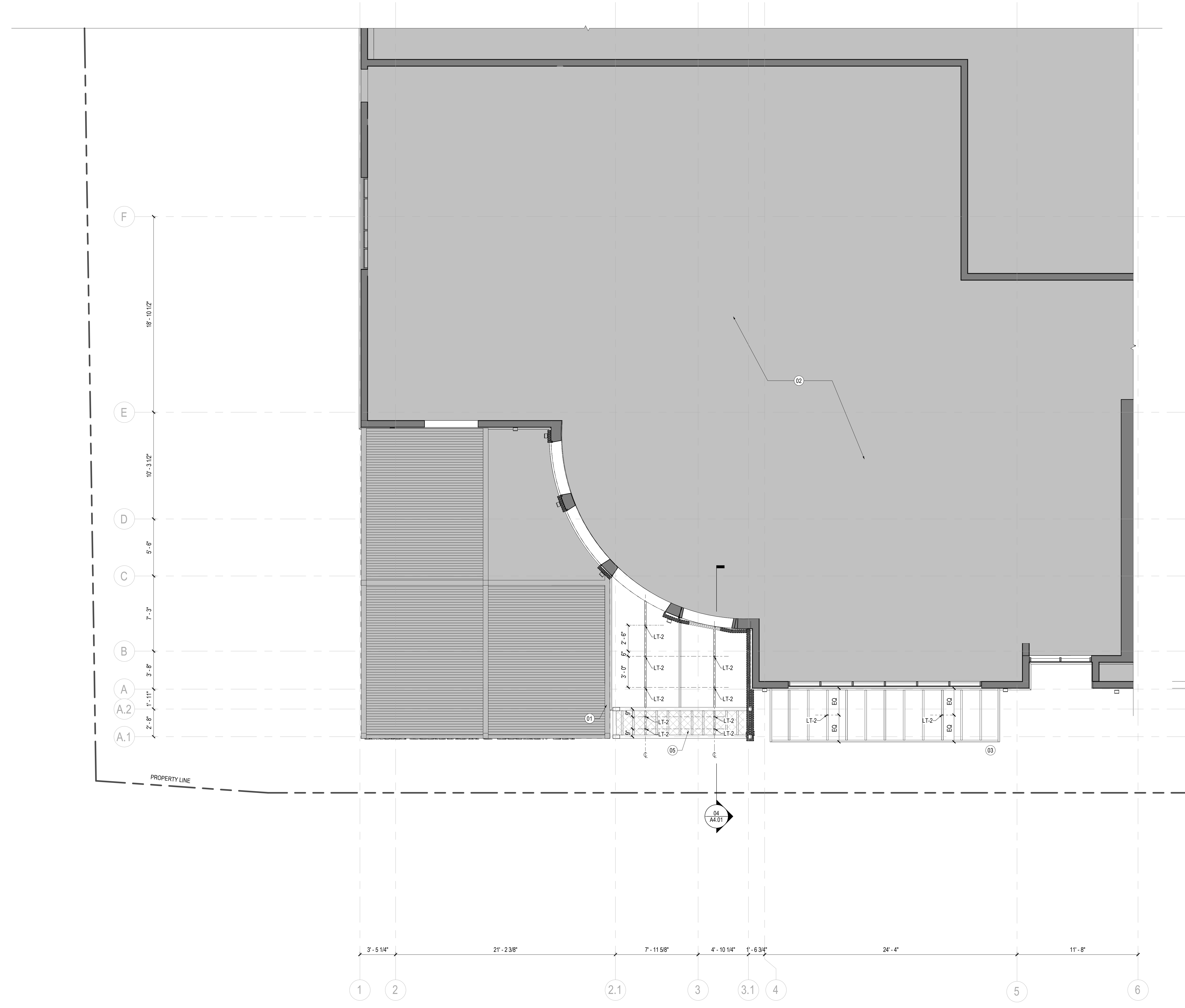
Project Number  
**032.3223.000**

Description  
**REFLECTED CEILING PLAN - LEVEL 01**

Scale  
As indicated

# A1.21

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**01 REFLECTED CEILING PLAN - LEVEL 01**  
SCALE: 1/4" = 1'-0"

**SHEET NOTES**

- 01 NEW PERGOLA SYSTEM UNDER SEPARATE PERMIT LOCATIONS, TYP
- 02 NEW SCANCES, INSTALL AT EXISTING SCANCE LOCATIONS, TYP
- 03 CLEAN (E) STONE VENEER WAINSCOT WITHIN PROJECT EXTENT. PATCH AND REPAIR AS REQUIRED
- 04 NEW GLASS CANOPY, SEE STRUCTURAL FOR SUPPORT DETAILS
- 05 RECESSED MENU BOARD, INTERNALLY LIT
- 06 METAL ARBOR, WITH LATTICE STRUCTURE FOR PLANTS TO GROW UP
- 07 NOT IN SCOPE
- 08 BANQUETTE SEATING
- 09 NEW CEDAR PLANK PLANTERS
- 11 EXISTING CANOPY TO REMAIN, NEW GLASS PANELS, SEE ELEVATION FOR PAINT

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**GENERAL NOTES**

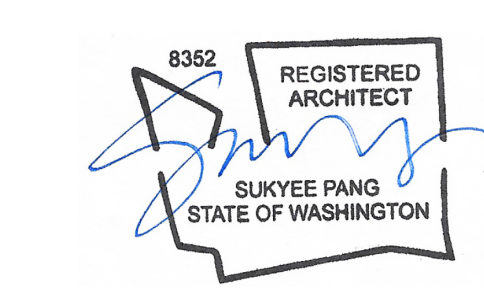
- A. SEE A0 SHEET SERIES FOR SYMBOLS, ABBREVIATIONS, GENERAL NOTES & TYPICAL MOUNTING LOCATIONS, HEIGHTS AND ALIGNMENTS
- B. GC TO VERIFY LIMITS OF DEMOLITION SCOPE WITH NEW CONSTRUCTION SCOPE PRIOR TO COMMENCING WORK
- C. PAINT ALL CONDUIT AND OTHER EQUIPMENT TO MATCH ADJACENT FINISHES, U.O.N.
- D. ALL EXISTING CONSTRUCTION SHOWN TO REMAIN U.O.N.
- E. U.O.N. ALL GLASS USED IN PROJECT SHALL BE TEMPERED AND ALL EXPOSED EDGES POLISHED
- F. ALL PENETRATIONS THROUGH RATED ASSEMBLIES MUST BE FIRE SEALED PER U.L. METHODS
- G. CONTRACTOR SHALL PREPARE AND IMPLEMENT CONSTRUCTION WASTE MANAGEMENT PLAN IN COMPLIANCE WITH LOCAL JURISDICTION REQUIREMENTS AND PROJECT LEED CERTIFICATION GOALS
- H. ALL WOOD TO MEET FSC CERTIFICATION REQUIREMENTS, U.O.N.

**MATERIAL SCHEDULE**

- PT-1 CODE: PT-1  
LOCATION: EXTERIOR STUCCO WALLS  
MANUFACTURER: TBD  
COLOR: WHITE TO MATCH EXISTING  
FINISH: EGGSHELL
- PT-2 CODE: PT-2  
LOCATION: EXTERIOR STUCCO WALLS  
MANUFACTURER: SHERWIN WILLIAMS  
MODEL NUMBER: 251-C1  
COLOR: TRICORN BLACK  
FINISH: EGGSHELL
- PT-3 CODE: PT-3  
LOCATION: EXTERIOR METAL  
MANUFACTURER: SHERWIN WILLIAMS  
MODEL NUMBER: 251-C1  
COLOR: TRICORN BLACK  
FINISH: EGGSHELL
- PT-4 CODE: PT-4  
LOCATION: EXISTING DOORS AND WINDOW  
MANUFACTURER: SHERWIN WILLIAMS  
MODEL NUMBER: 251-C1  
COLOR: TRICORN BLACK  
FINISH: EGGSHELL  
NOTE: REMARKS
- WD-1 CODE: WD-1  
LOCATION: EXTERIOR  
MANUFACTURER: REAL CEDAR - OR SIMILAR  
MODEL NAME: CEDAR  
SIZE: VARIES, SEE DETAILS  
NOTE: CLEAR VERTICAL GRAIN
- GL-1 CODE: GL-1  
LOCATION: CANOPY GLAZING  
5/8" CLEAR TEMPERED LAMINATED SAFETY GLASS  
5/16" CLEAR TEMPERED, 060" CLEAR PVB INTERLAYER, 5/16" CLEAR TEMPERED
- GF-1 CODE: GF-1  
LOCATION: EXISTING GLAZING  
MANUFACTURER: SOLYX  
MODEL NAME: MODEL NAME  
MODEL NUMBER: SKWF-CM  
COLOR: CHARCOAL  
FINISH: MATTE

Municipal Stamp

Seal / Signature



Project Name  
**Allister Exterior Renovation**

Project Number  
**032.3223.000**

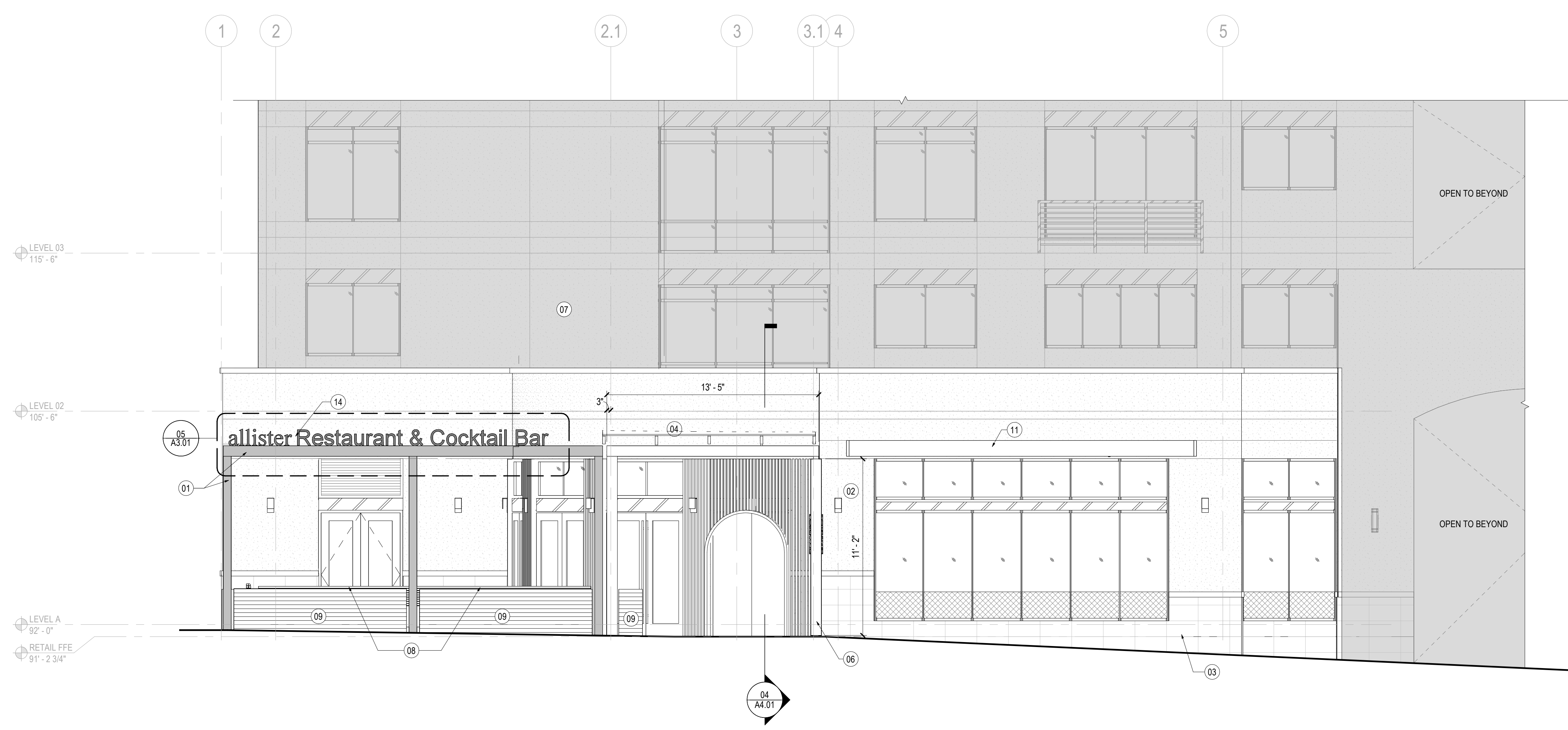
Description  
**OVERALL BUILDING ELEVATIONS**

Scale  
As indicated

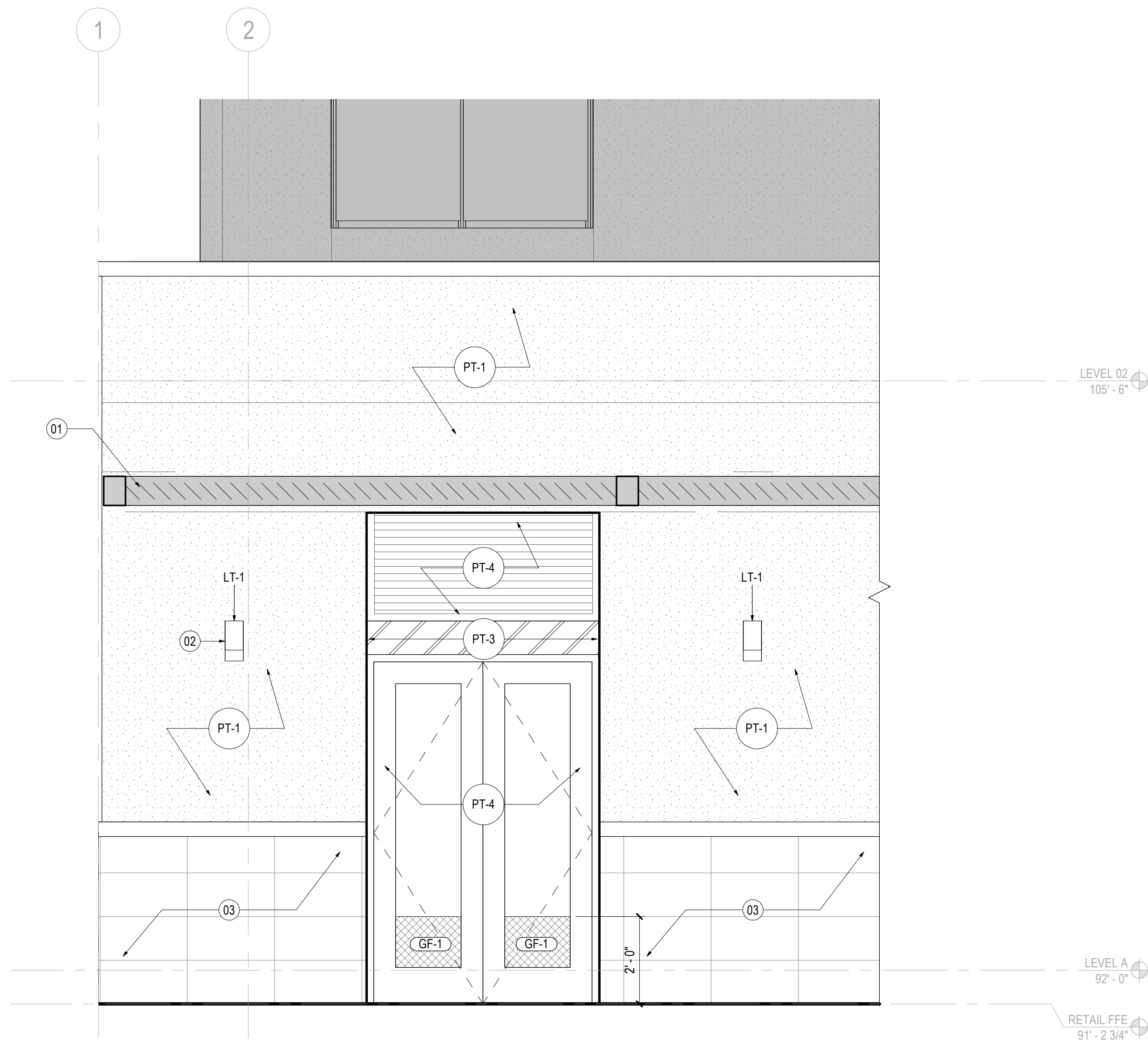
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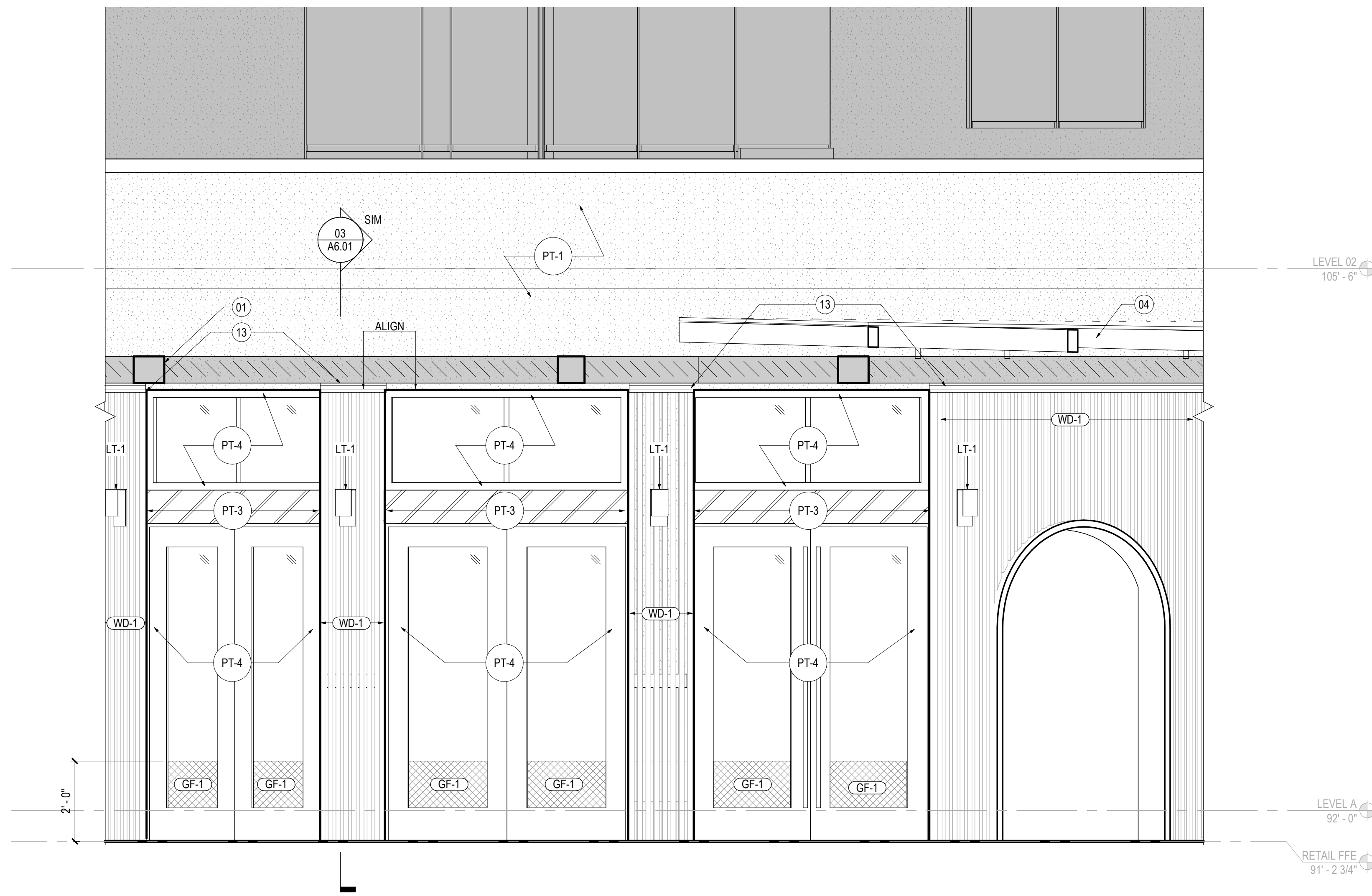
**02 WEST ELEVATION - FINISH**  
SCALE: 1/4" = 1'-0"



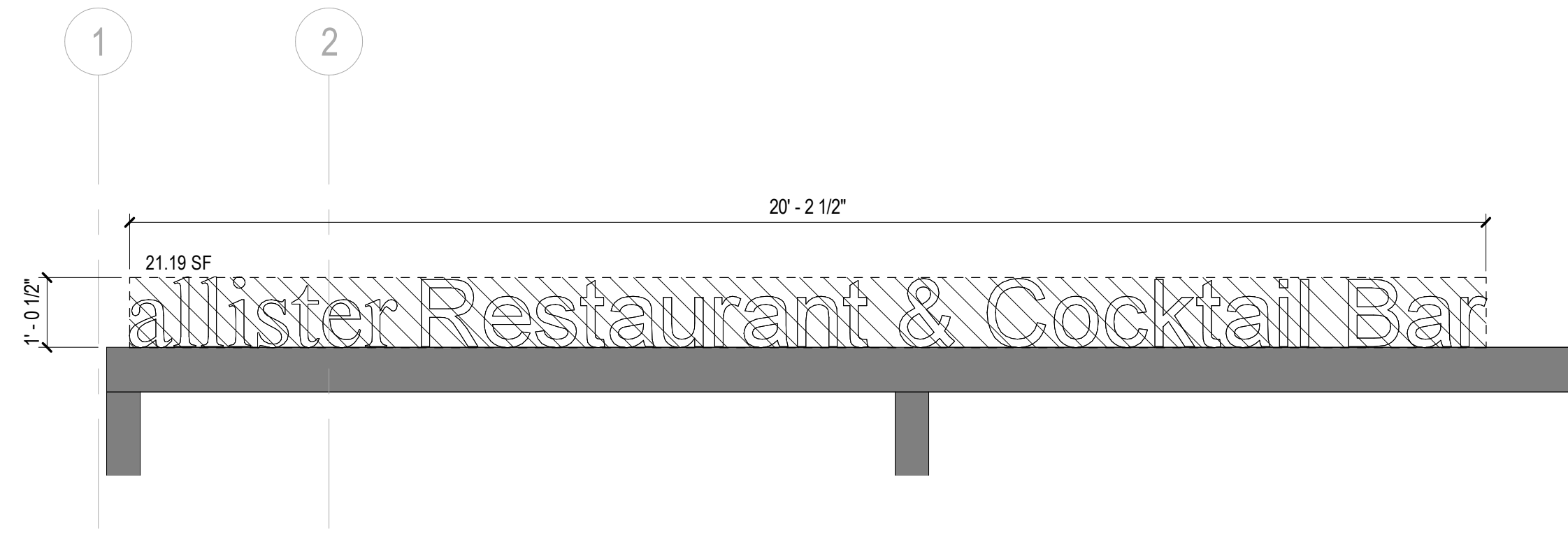
**01 NORTH ELEVATION - FINISH**  
SCALE: 1/4" = 1'-0"



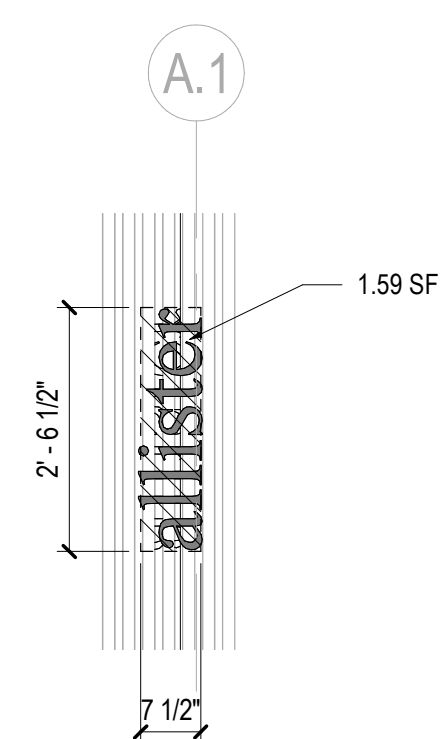
**06 PATIO SOUTH ELEVATION**  
SCALE: 1/2" = 1'-0"



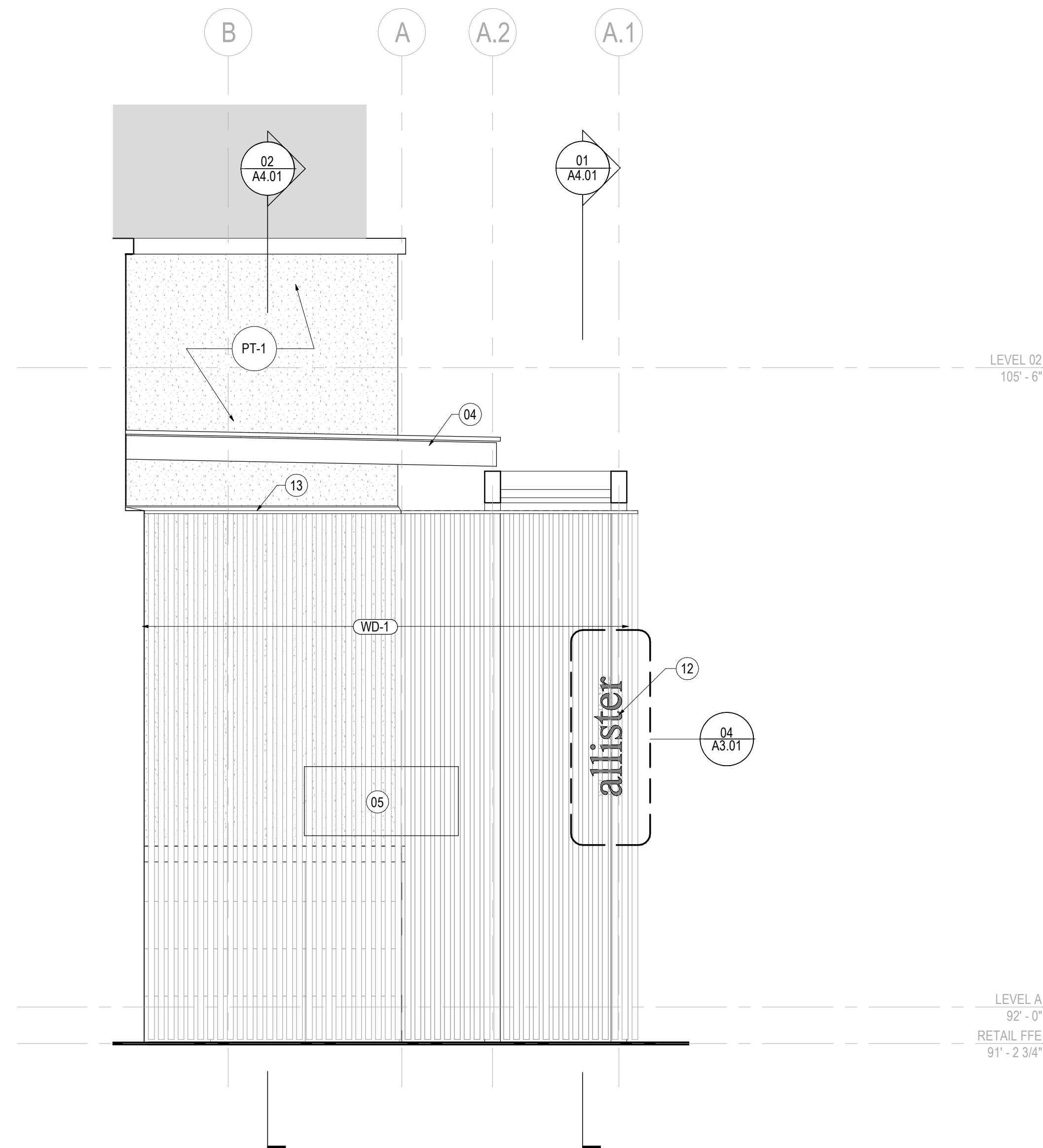
**02 PATIO CURVED SW ELEVATION**  
SCALE: 1/2" = 1'-0"



**05 ALLISTER PERGOLA SIGN**  
SCALE: 1/2" = 1'-0"



**04 ALLISTER BRASS VERTICAL SIGN**  
SCALE: 1/2" = 1'-0"



**01 PATIO WEST ELEVATION**  
SCALE: 1/2" = 1'-0"

**SHEET NOTES**

- 01 NEW PERGOLA SYSTEM UNDER SEPARATE PERMIT
- 02 NEW SCONCES, INSTALL AT EXISTING SCONCE LOCATIONS, TYP
- 03 CLEAN (E) STONE VENEER WAINSCOT WITHIN PROJECT EXTENT. PATCH AND REPAIR AS REQUIRED
- 04 NEW GLASS CANOPY, SEE STRUCTURAL FOR SUPPORT DETAILS
- 05 RECESSED MENU BOARD, INTERNALLY LIT
- 06 METAL ARBOR, WITH LATTICE STRUCTURE FOR PLANTS TO GROW UP
- 07 NOT IN SCOPE
- 08 BANQUETTE SEATING
- 09 NEW CEDAR PLANK PLANTERS
- 11 EXISTING CANOPY TO REMAIN, NEW GLASS PANELS, SEE ELEVATION FOR PAINT
- 12 ALLISTER SIGNAGE, 7 1/2" TALL BRASS TEXT INLAYED OR RAISED LETTERS
- 13 FLASHING
- 14 ILLUMINATED ALLISTER RESTAURANT & COCKTAIL BAR SIGNAGE, 12" TALL AND RAISED METAL, TEXT, PT-3

**ALLISTER**

7650 SE 27th St, Mercer Island, WA 98040

**Gensler**

1200 Sixth Avenue Suite 500 Seattle, WA 98101 United States  
Tel 206.654.2100 Fax 206.654.2121

Date	Description
11.17.2023	ISSUE FOR PERMIT

**GENERAL NOTES**

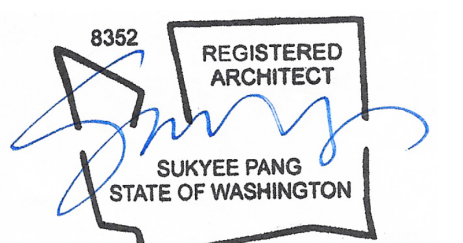
- A. SEE A0 SHEET SERIES FOR SYMBOLS, ABBREVIATIONS, GENERAL NOTES & TYPICAL MOUNTING LOCATIONS, HEIGHTS AND ALIGNMENTS
- B. GC TO VERIFY LIMITS OF DEMOLITION SCOPE WITH NEW CONSTRUCTION SCOPE PRIOR TO COMMENCING WORK
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- D. ALL EXISTING CONSTRUCTION SHOWN TO REMAIN U.O.N.
- E. U.O.N. ALL GLASS USED IN PROJECT SHALL BE TEMPERED AND ALL EXPOSED EDGES POLISHED
- F. ALL PENETRATIONS THROUGH RATED ASSEMBLIES MUST BE FIRE SEALED PER U.L. METHODS
- G. CONTRACTOR SHALL PREPARE AND IMPLEMENT CONSTRUCTION WASTE MANAGEMENT PLAN IN COMPLIANCE WITH LOCAL JURISDICTION REQUIREMENTS AND PROJECT LEED CERTIFICATION GOALS
- H. ALL WOOD TO MEET FSC CERTIFICATION REQUIREMENTS, U.O.N.

**MATERIAL SCHEDULE**

- PT-1** CODE: PT-1  
LOCATION: EXTERIOR STUCCO WALLS  
MANUFACTURER: TBU  
COLOR: WHITE TO MATCH EXISTING  
FINISH: EGGSHELL
- PT-2** CODE: PT-2  
LOCATION: EXTERIOR STUCCO WALLS  
MANUFACTURER: SHERWIN-WILLIAMS  
MODEL NUMBER: 251-C1  
COLOR: TRICORN BLACK  
FINISH: EGGSHELL
- PT-3** CODE: PT-3  
LOCATION: EXTERIOR METAL  
MANUFACTURER: SHERWIN-WILLIAMS  
MODEL NUMBER: 251-C1  
COLOR: TRICORN BLACK  
FINISH: EGGSHELL
- PT-4** CODE: PT-4  
LOCATION: EXISTING DOORS AND WINDOW  
MANUFACTURER: SHERWIN-WILLIAMS  
MODEL NUMBER: 251-C1  
COLOR: TRICORN BLACK  
FINISH: EGGSHELL  
NOTE: REMARKS
- WD-1** CODE: WD-1  
LOCATION: EXTERIOR  
MANUFACTURER: REAL CEDAR - OR SIMILAR  
MODEL NAME: CEDAR  
SIZE: VARIES - SEE DETAILS  
NOTE: CLEAR VERTICAL GRAIN
- GL-1** CODE: GL-1  
LOCATION: CANOPY GLAZING  
5/8" CLEAR TEMPERED LAMINATED SAFETY GLASS,  
5/16" CLEAR TEMPERED, .060" CLEAR PVB INTERLAYER, 5/16" CLEAR TEMPERED
- GF-1** CODE: GF-1  
LOCATION: EXISTING GLAZING  
MANUFACTURER: SOLYX  
MODEL NAME: MODEL NAME  
MODEL NUMBER: SKWF-CM  
COLOR: CHARCOAL  
FINISH: MATTE

Municipal Stamp

Seal / Signature



Project Name  
**Allister Exterior Renovation**

Project Number  
**032.3223.000**

Description  
**BUILDING ENLARGED ELEVATIONS**

Scale  
As indicated

**A3.01**

# ALLISTER

7650 SE 27th St, Mercer Island, WA 98040

# Gensler

1200 Sixth Avenue  
Suite 500  
Seattle, WA 98101  
United States  
Tel 206.654.2100  
Fax 206.654.2121

## SHEET NOTES

- 01 NEW PERGOLA SYSTEM UNDER SEPARATE PERMIT
- 02 NEW SCUNCES, INSTALL AT EXISTING SCNCE LOCATIONS, TYP
- 03 CLEAN (E) STONE VENEER WAINSCOT WITHIN PROJECT EXTENT, PATCH AND REPAIR AS REQUIRED
- 04 NEW GLASS CANOPY, SEE STRUCTURAL FOR SUPPORT DETAILS
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- 07 NOT IN SCOPE
- 08 BANQUETTE SEATING
- 09 NEW CEDAR PLANK PLANTERS
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- 12 ALLISTER SIGNAGE, 7 1/2" TALL BRASS TEXT INLAYED OR RAISED LETTERS
- 13 FLASHING
- 14 ILLUMINATED ALLISTER RESTAURANT & COCKTAIL BAR SIGNAGE, 12" TALL AND RAISED METAL TEXT, PT-3

Date	Description
11.17.2023	ISSUE FOR PERMIT

## GENERAL NOTES

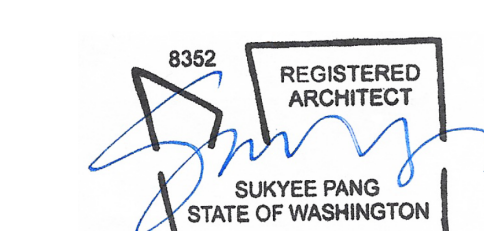
- A. SEE AD SHEET SERIES FOR SYMBOLS, ABBREVIATIONS, GENERAL NOTES & TYPICAL MOUNTING LOCATIONS, HEIGHTS AND ALIGNMENTS
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- H. ALL WOOD TO MEET FSC CERTIFICATION REQUIREMENTS, U.O.N.

## MATERIAL SCHEDULE

- |                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
|-------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>PT-1</p> <p>PT-2</p> <p>PT-3</p> <p>PT-4</p> <p>WD-1</p> <p>GL-1</p> <p>GF-1</p> | <p><b>CODE:</b> PT-1<br/>LOCATION: EXTERIOR STUCCO WALLS<br/>MANUFACTURER: TBD<br/>COLOR: WHITE TO MATCH EXISTING<br/>FINISH: EGGSHELL</p> <p><b>CODE:</b> PT-2<br/>LOCATION: EXTERIOR STUCCO WALLS<br/>MANUFACTURER: SHERWIN - WILLIAMS<br/>MODEL NUMBER: 251-C1<br/>COLOR: TRICORN BLACK<br/>FINISH: EGGSHELL</p> <p><b>CODE:</b> PT-3<br/>LOCATION: EXTERIOR METAL<br/>MANUFACTURER: SHERWIN WILLIAMS<br/>MODEL NUMBER: 251-C1<br/>COLOR: TRICORN BLACK<br/>FINISH: EGGSHELL</p> <p><b>CODE:</b> PT-4<br/>LOCATION: EXISTING DOORS AND WINDOW<br/>MANUFACTURER: SHERWIN WILLIAMS<br/>MODEL NUMBER: 251-C1<br/>COLOR: TRICORN BLACK<br/>FINISH: EGGSHELL<br/>NOTE: REMARKS</p> <p><b>CODE:</b> WD-1<br/>LOCATION: EXTERIOR<br/>MANUFACTURER: REAL CEDAR - OR SIMILAR<br/>MODEL NAME: CEDAR<br/>SIZE: VARIES, SEE DETAILS<br/>NOTE: CLEAR VERTICAL GRAIN</p> <p><b>CODE:</b> GL-1<br/>LOCATION: CANOPY GLAZING<br/>5/8" CLEAR TEMPERED LAMINATED SAFETY GLASS,<br/>5/16" CLEAR TEMPERED, .060" CLEAR PVB INTERLAYER, 5/16" CLEAR TEMPERED</p> <p><b>CODE:</b> GF-1<br/>LOCATION: EXISTING GLAZING<br/>MANUFACTURER: SOLYX<br/>MODEL NAME: MODEL NAME<br/>MODEL NUMBER: SKWF-CM<br/>COLOR: CHARCOAL<br/>FINISH: MATTE</p> |
|-------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

Municipal Stamp

Seal / Signature



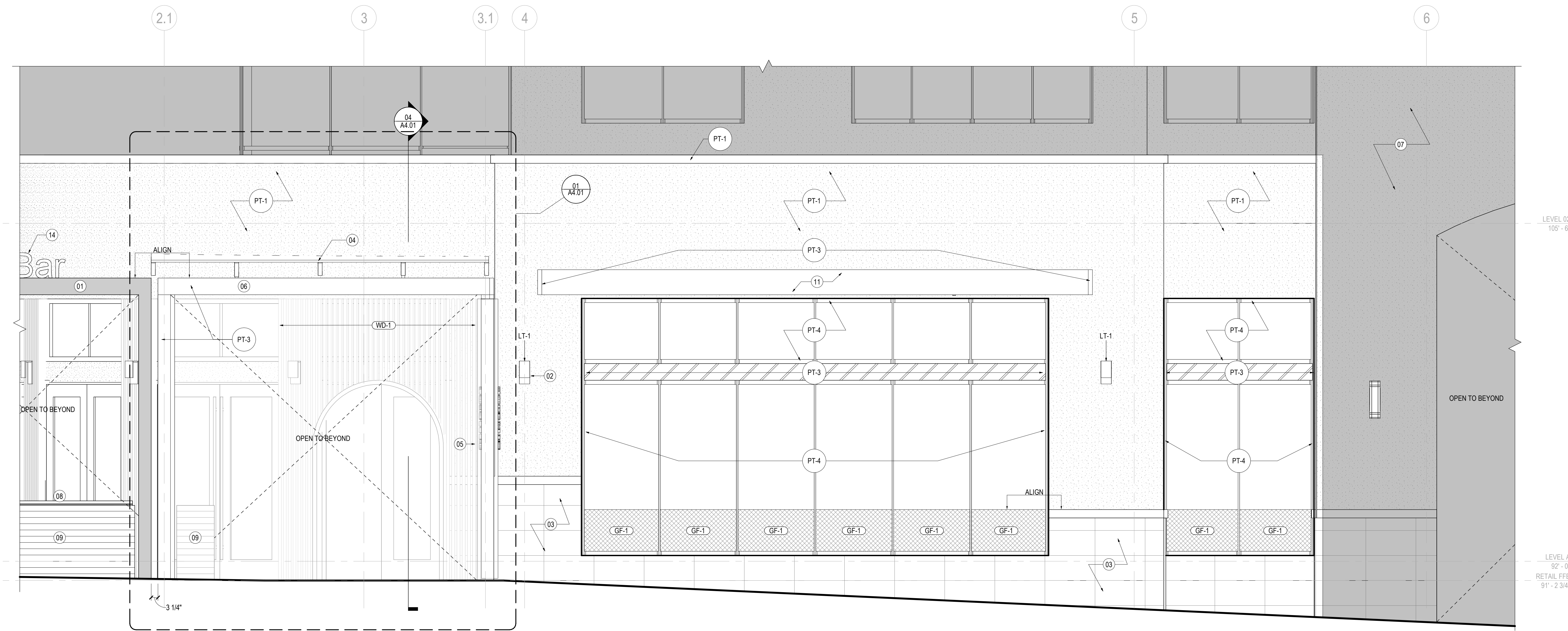
Project Name  
**Allister Exterior Renovation**

Project Number  
**032.3223.000**

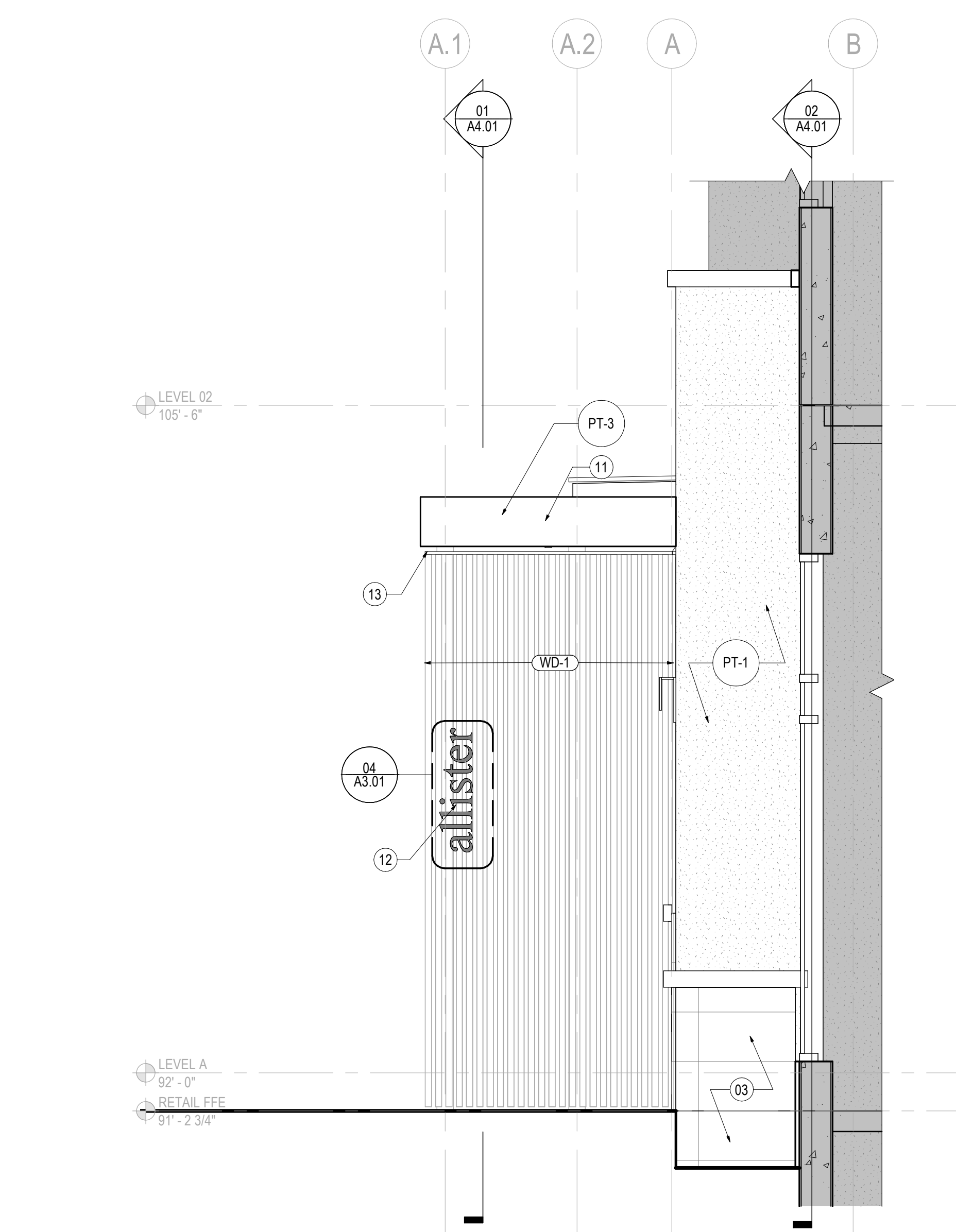
Description  
**BUILDING ENLARGED ELEVATIONS**

Scale  
As indicated

# A3.02



**02 27TH STREET S ELEVATION**  
SCALE: 1/2" = 1'-0"



**01 ENLARGED ELEVATION - ENTRY**  
SCALE: 1/2" = 1'-0"

**SHEET NOTES**

- 01 PERCOLA BY OTHERS
- 06 ALLISTER SIGNAGE: 9" TALL BRASS TEXT INLAYED OR RAISED LETTERS
- 07 FLASHING
- 08 NEW GLASS CANOPY
- 09 PLANT NETS AT ARBOR FOR VEGETATION
- 10 NEW CEDAR PLANK PLANTERS

**ALLISTER**  
7650 SE 27th St, Mercer Island, WA 98040

**Gensler**

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Date	Description
11.17.2023	ISSUE FOR PERMIT

**GENERAL NOTES**

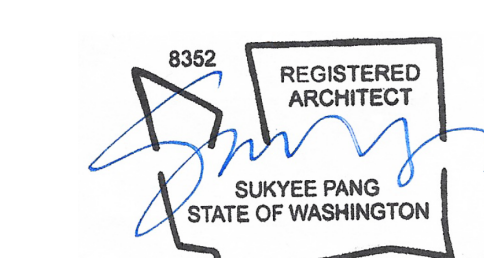
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**MATERIAL SCHEDULE**

- PT-1** CODE: PT-1  
LOCATION: EXTERIOR STUCCO WALLS  
MANUFACTURER: TBD  
COLOR: WHITE TO MATCH EXISTING  
FINISH: EGGSHELL
- PT-2** CODE: PT-2  
LOCATION: EXTERIOR STUCCO WALLS  
MANUFACTURER: SHERWIN WILLIAMS  
MODEL NUMBER: 251-C1  
COLOR: TRICORN BLACK  
FINISH: EGGSHELL
- PT-3** CODE: PT-3  
LOCATION: EXTERIOR METAL  
MANUFACTURER: SHERWIN WILLIAMS  
MODEL NUMBER: 251-C1  
COLOR: TRICORN BLACK  
FINISH: EGGSHELL
- PT-4** CODE: PT-4  
LOCATION: EXISTING DOORS AND WINDOW  
MANUFACTURER: SHERWIN WILLIAMS  
MODEL NUMBER: 251-C1  
COLOR: TRICORN BLACK  
FINISH: EGGSHELL  
NOTE: REMARKS
- WD-1** CODE: WD-1  
LOCATION: EXTERIOR  
MANUFACTURER: REAL CEDAR - OR SIMILAR  
MODEL NAME: CEDAR  
SIZE: VARIES; SEE DETAILS  
NOTE: CLEAR VERTICAL GRAIN
- GL-1** CODE: GL-1  
LOCATION: CANOPY GLAZING  
5/8" CLEAR TEMPERED LAMINATED SAFETY GLASS,  
5/16" CLEAR TEMPERED, 060" CLEAR PVB INTERLAYER, 5/16" CLEAR TEMPERED
- GF-1** CODE: GF-1  
LOCATION: EXISTING GLAZING  
MANUFACTURER: SOLYX  
MODEL NAME: MODEL NAME  
MODEL NUMBER: SKWF-CM  
COLOR: CHARCOAL  
FINISH: MATTE

Municipal Stamp

Seal / Signature



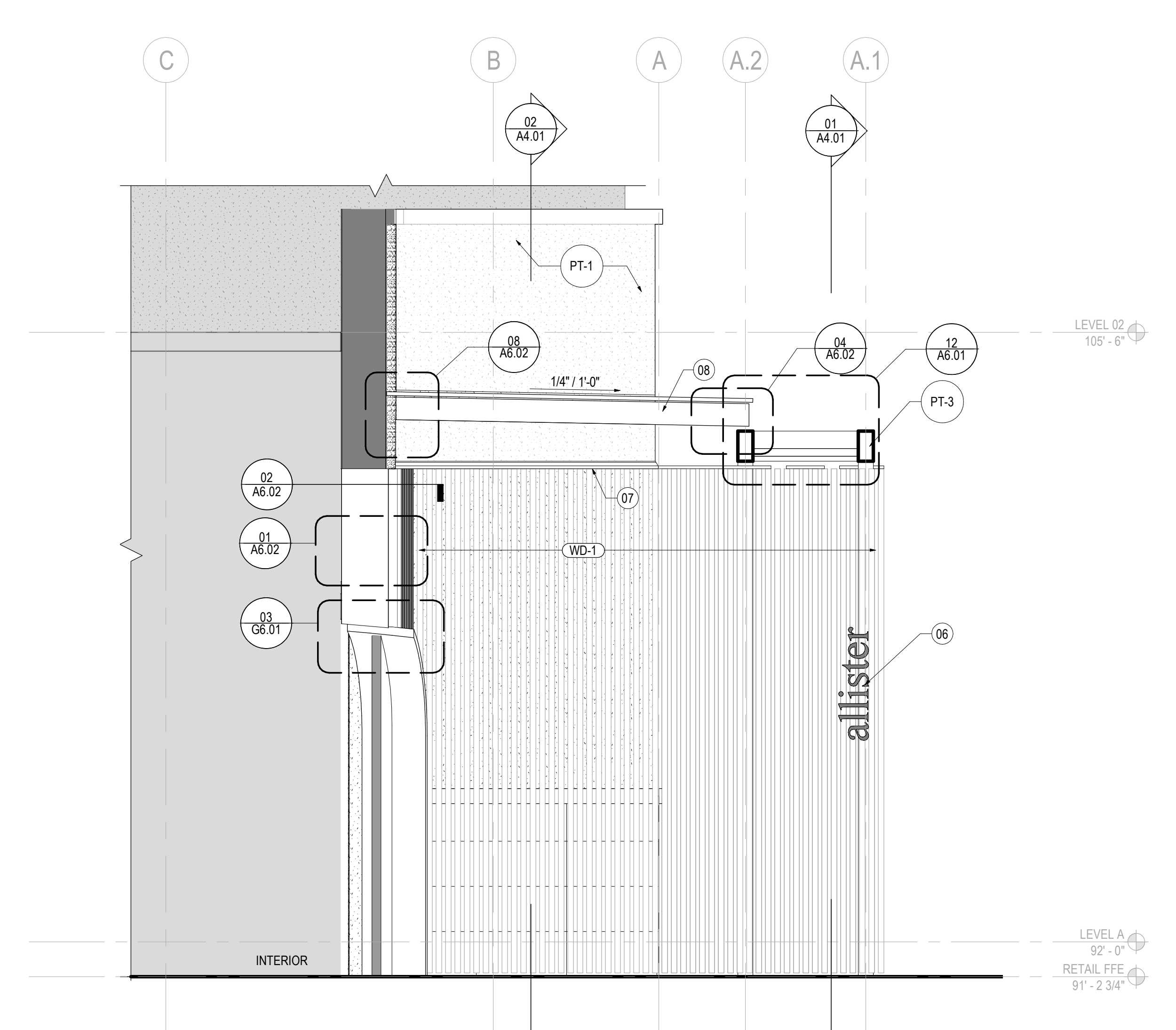
Project Name  
**Allister Exterior Renovation**

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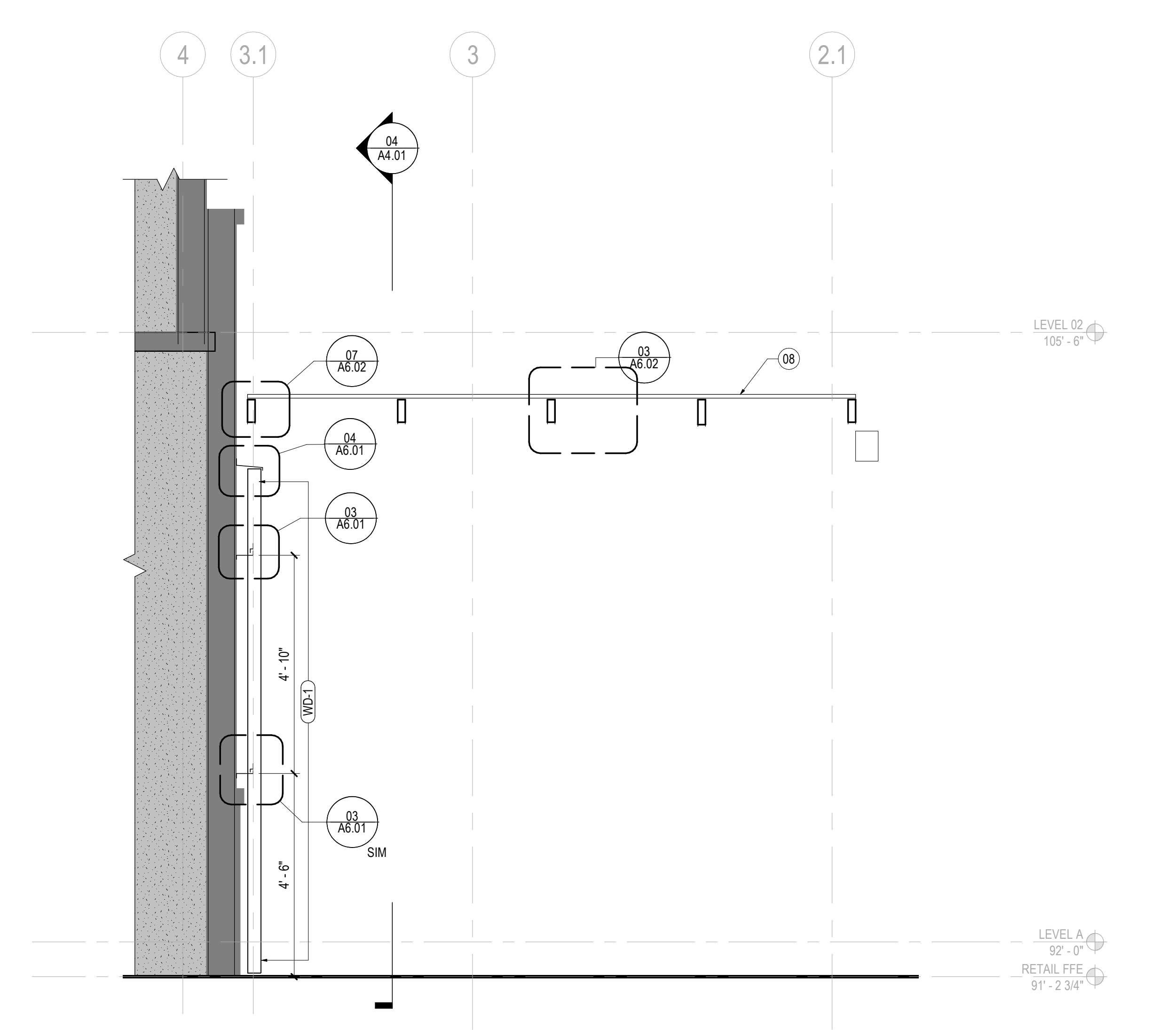
Description  
**SECTIONS**

Scale  
As indicated

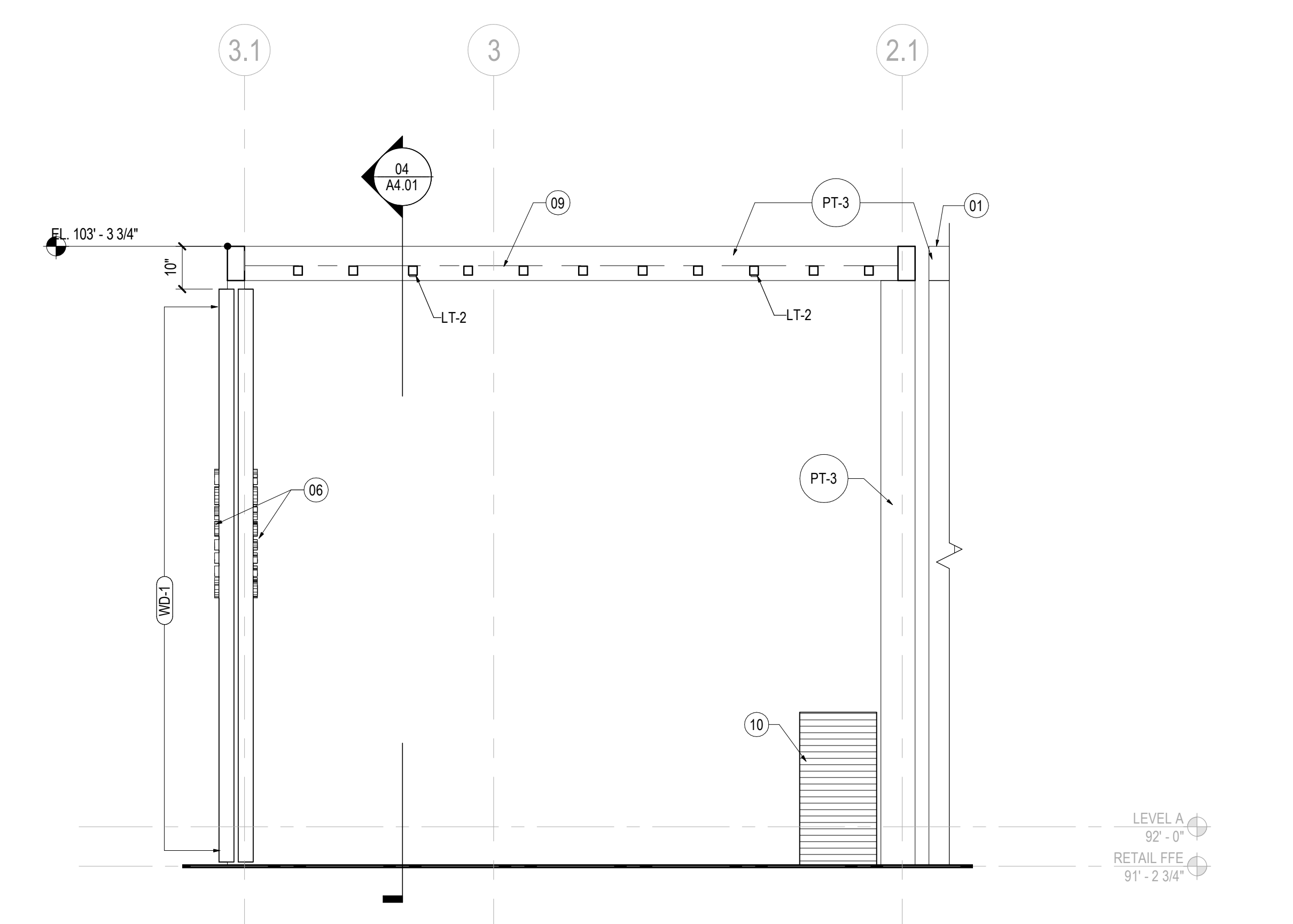
**A4.01**



**04 ENLARGED SECTION - CANOPY & ARBOR**  
SCALE: 1/2" = 1'-0"

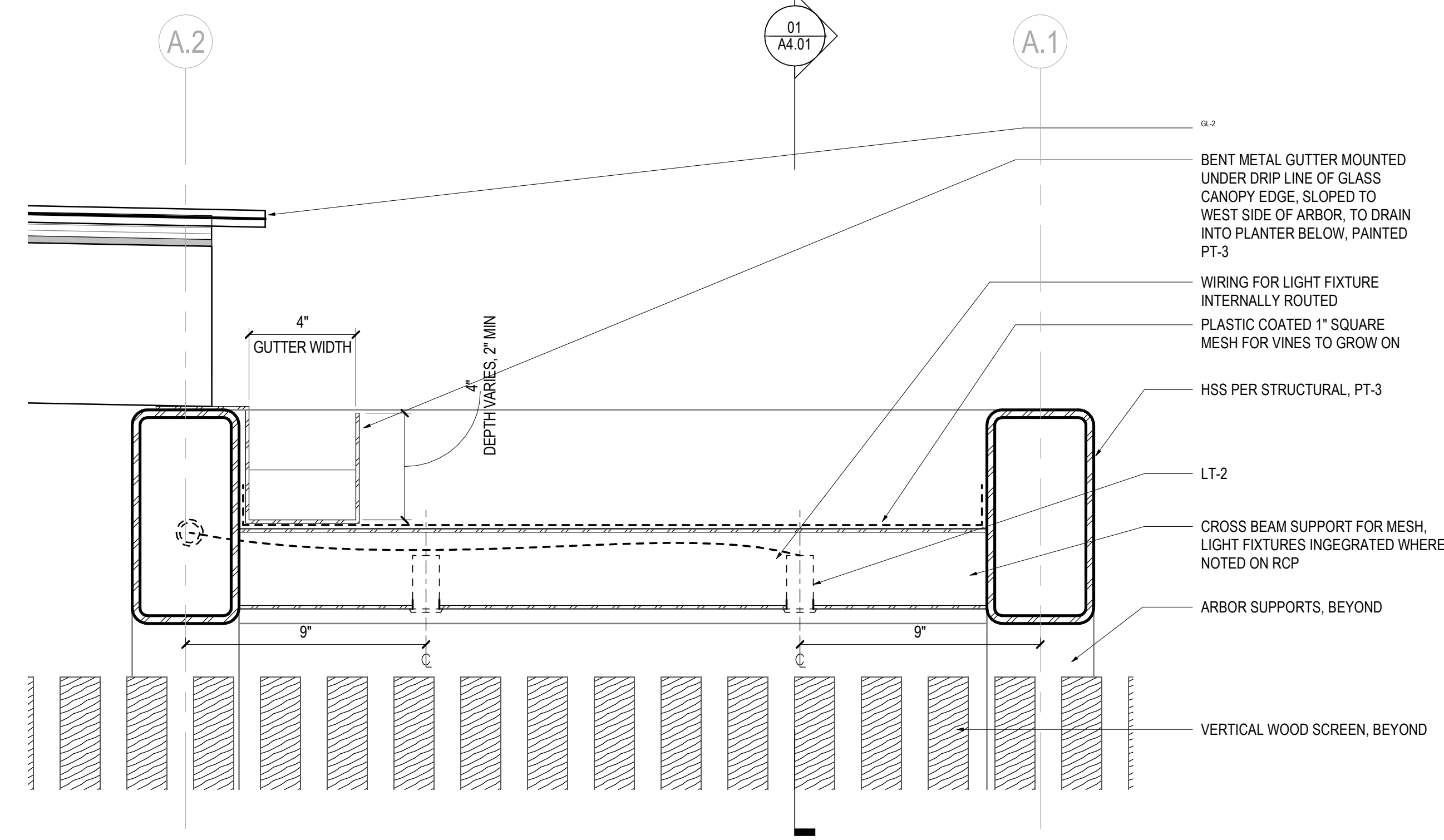


**02 ENLARGED SECTION - WD SLATS**  
SCALE: 1/2" = 1'-0"

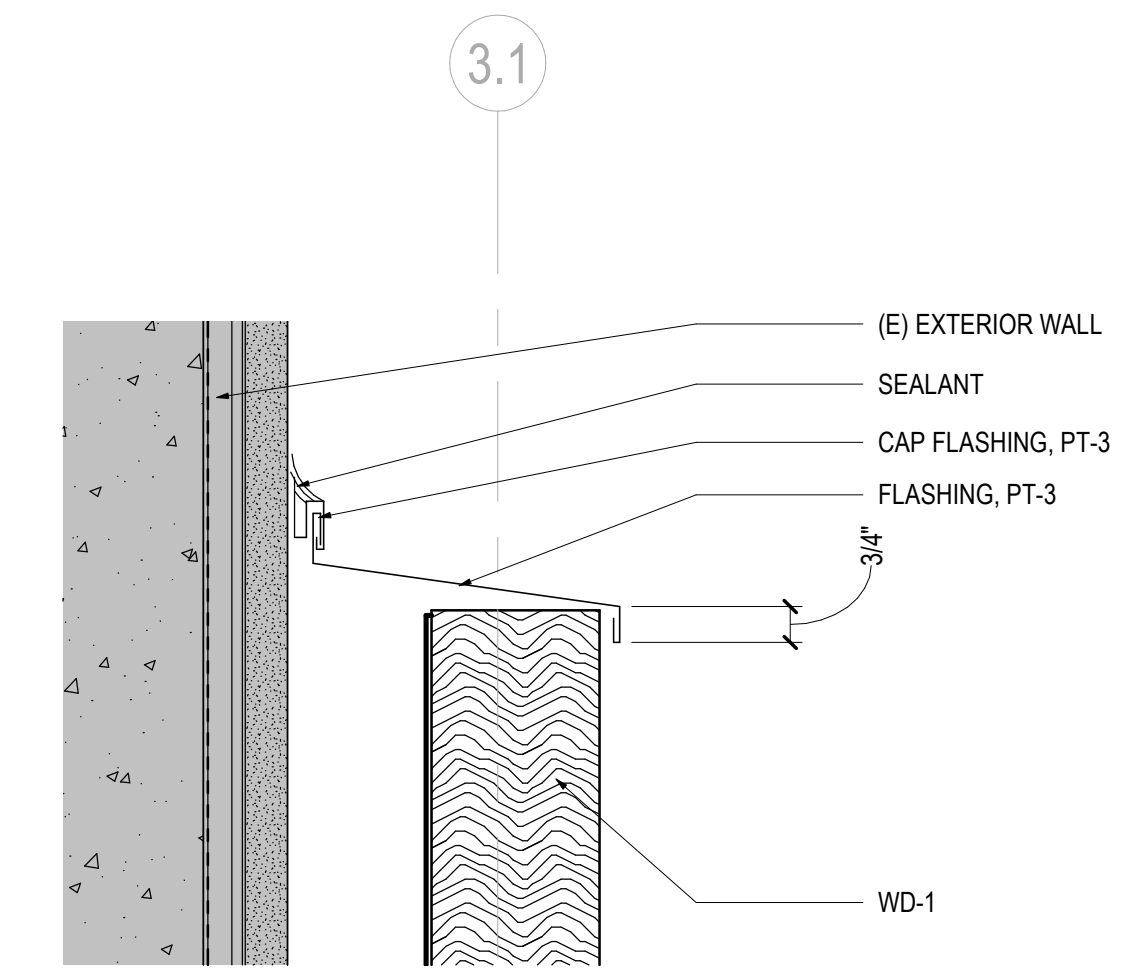


**01 ENLARGED SECTION - ARBOR**  
SCALE: 1/2" = 1'-0"

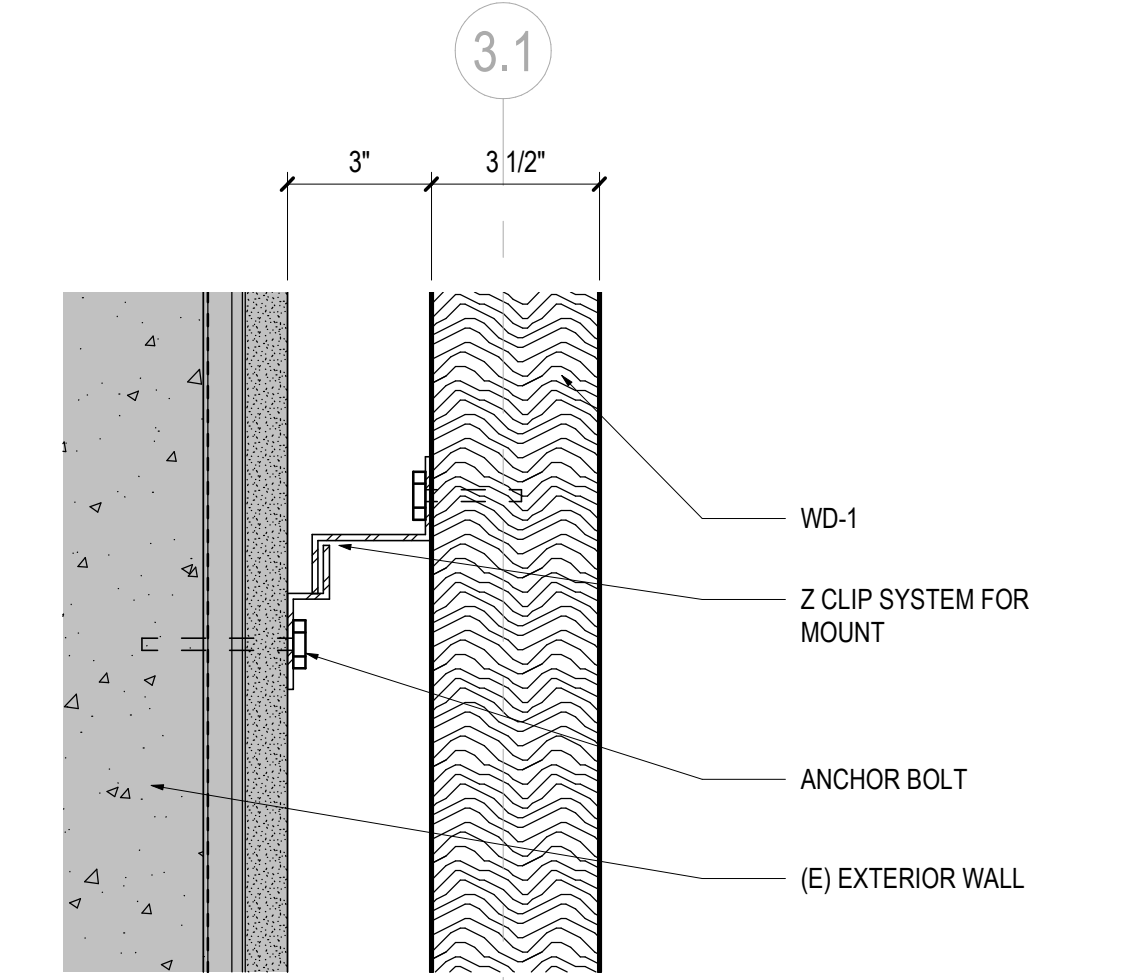
ALL EXTERIOR STEEL TO BE GALVANIZED.  
PROVIDE WEEP HOLES IN ALL HORIZONTAL MEMBERS



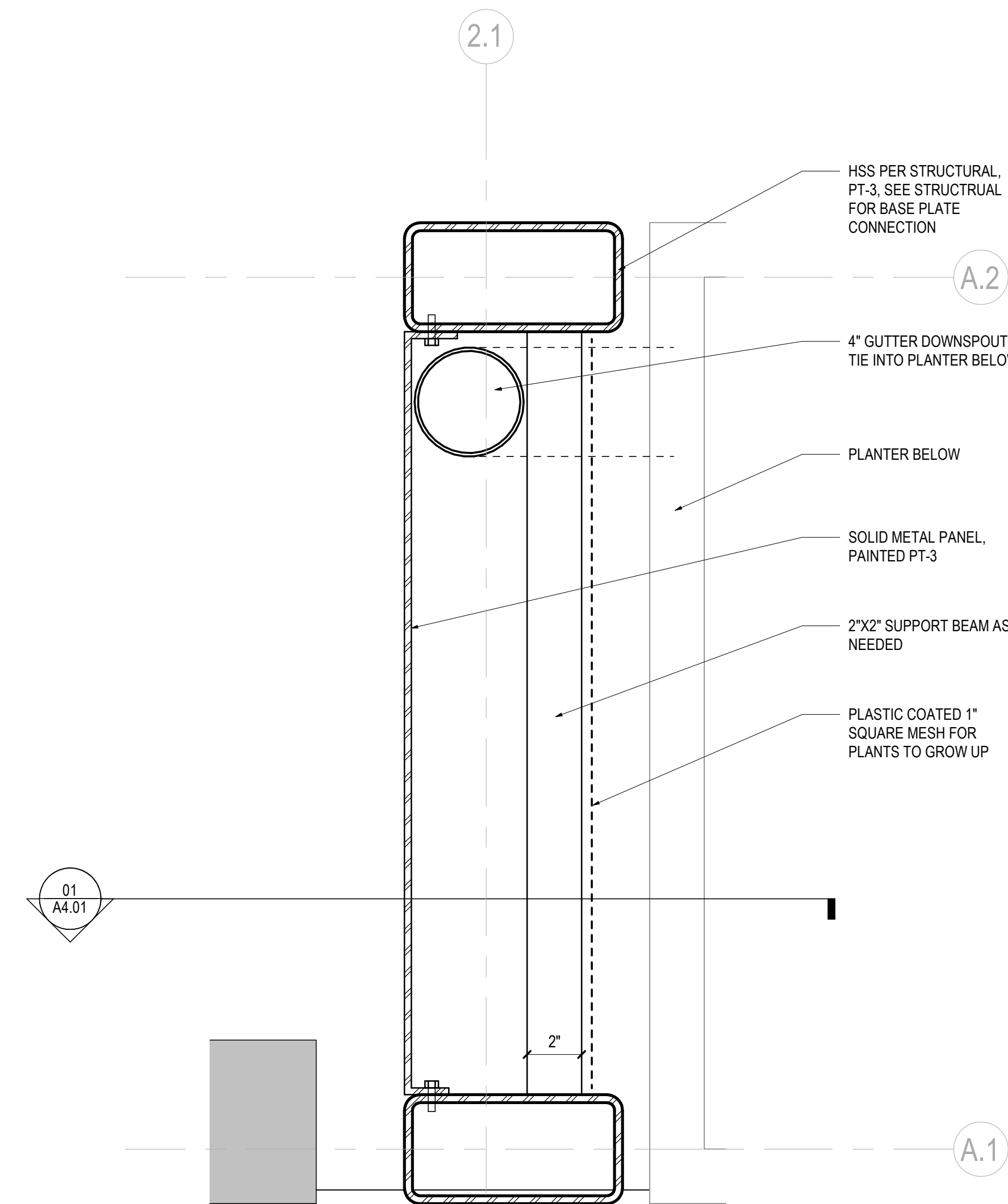
**12 ARBOR TOP SECTION**  
SCALE: 3" = 1'-0"



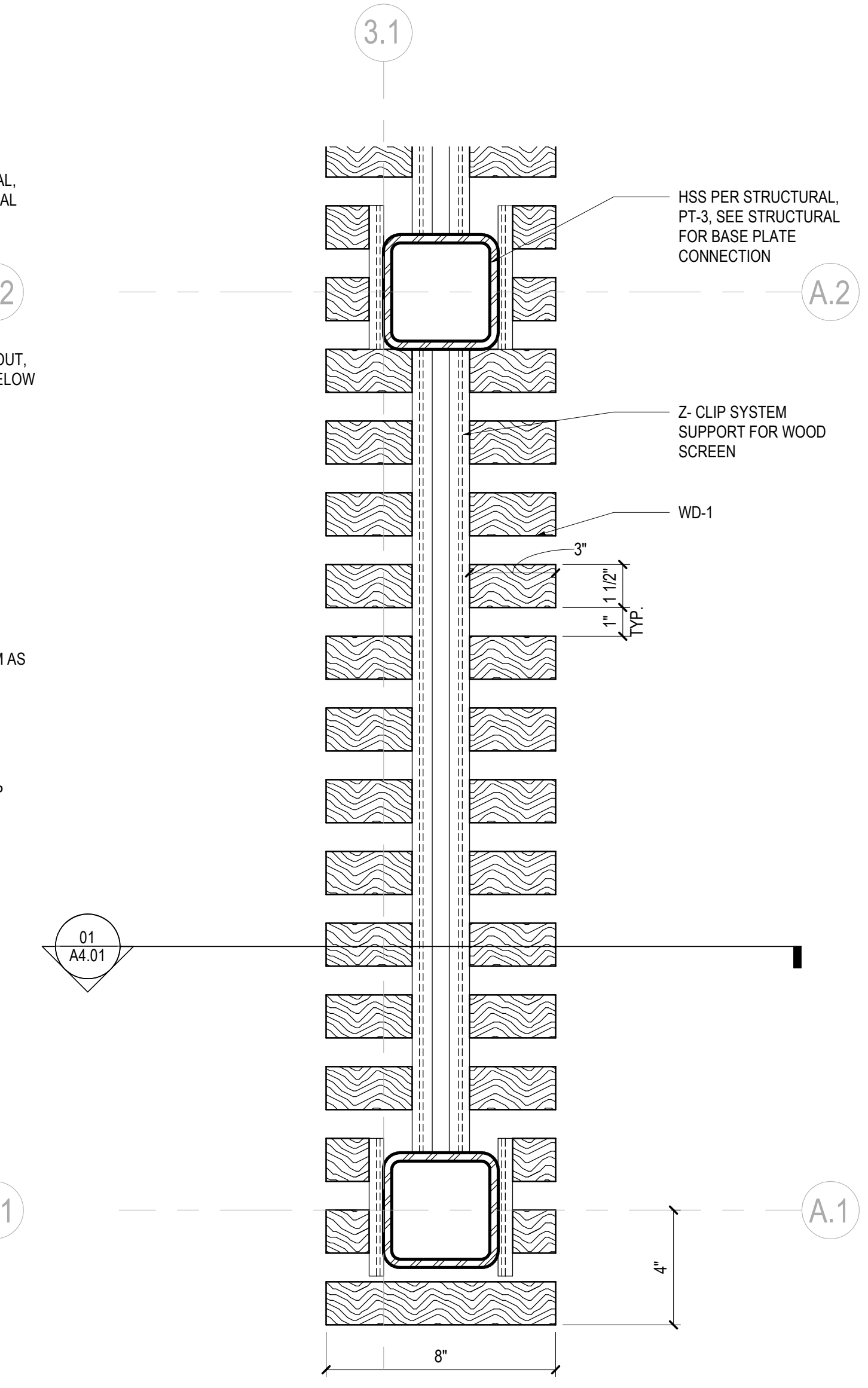
**04 WOOD SLAT WALL TOP FLASHING DETAIL**  
SCALE: 3" = 1'-0"



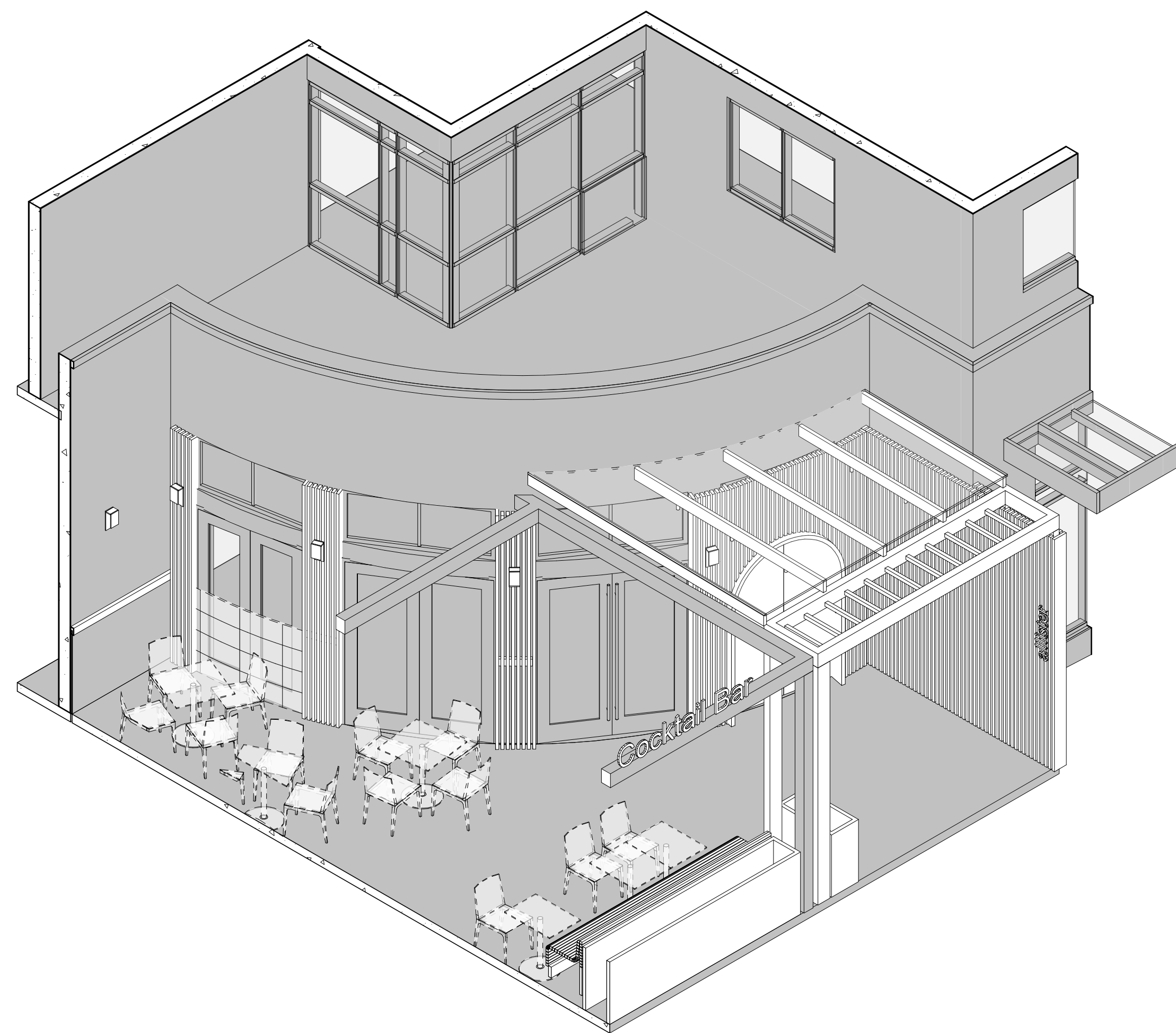
**03 WOOD SLAT WALL CLEAT CONNECTION**  
SCALE: 3" = 1'-0"



**05 ARBOR PLAN @ WEST**  
SCALE: 3" = 1'-0"



**01 ARBOR / WOOD SCREEN PLAN DETAIL**  
SCALE: 3" = 1'-0"

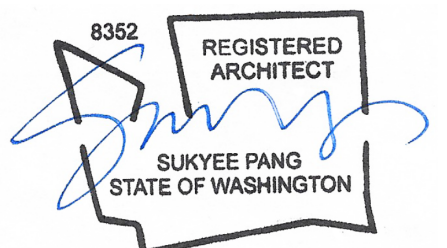


**13 ARBOR & CANOPY AXON**  
SCALE: 3" = 1'-0"

Date	Description
11.17.2023	ISSUE FOR PERMIT

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Project Name  
**Allister Exterior Renovation**

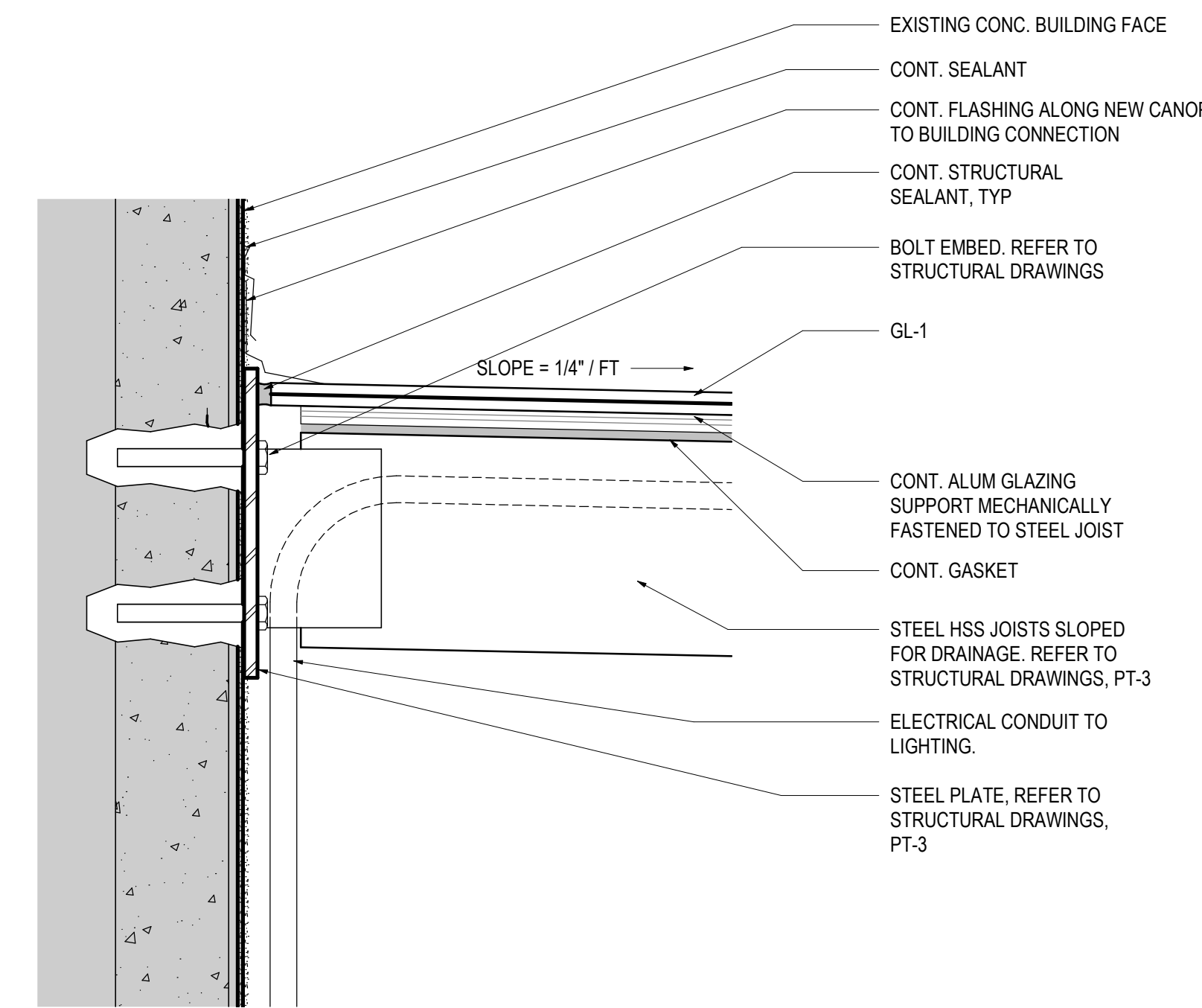
Project Number  
**032.3223.000**

Description  
**ENLARGED DETAILS**

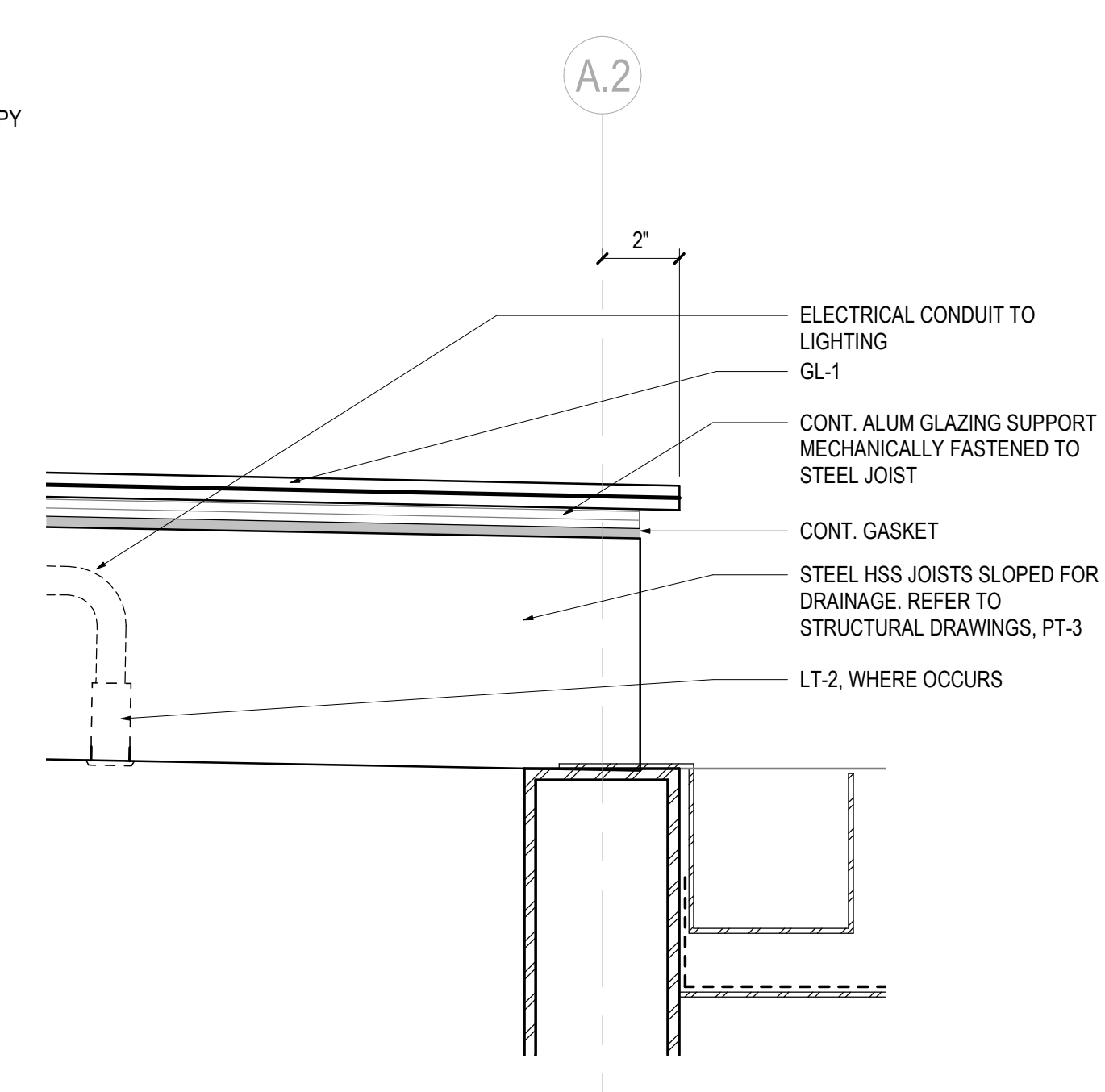
Scale  
**3" = 1'-0"**

**A6.01**

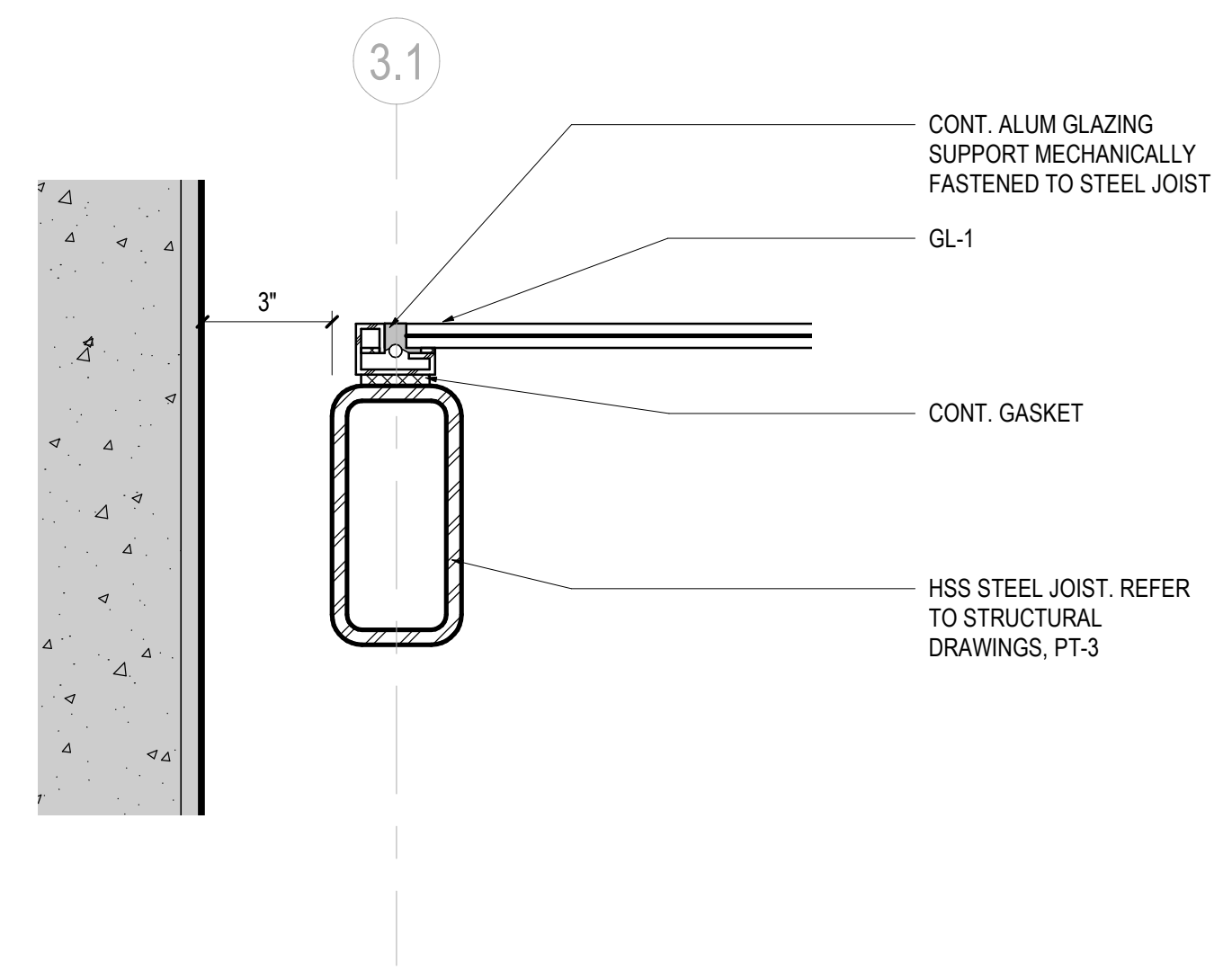
ALL EXTERIOR STEEL TO BE GALVANIZED.  
PROVIDE WEEP HOLES IN ALL HORIZONTAL MEMBERS



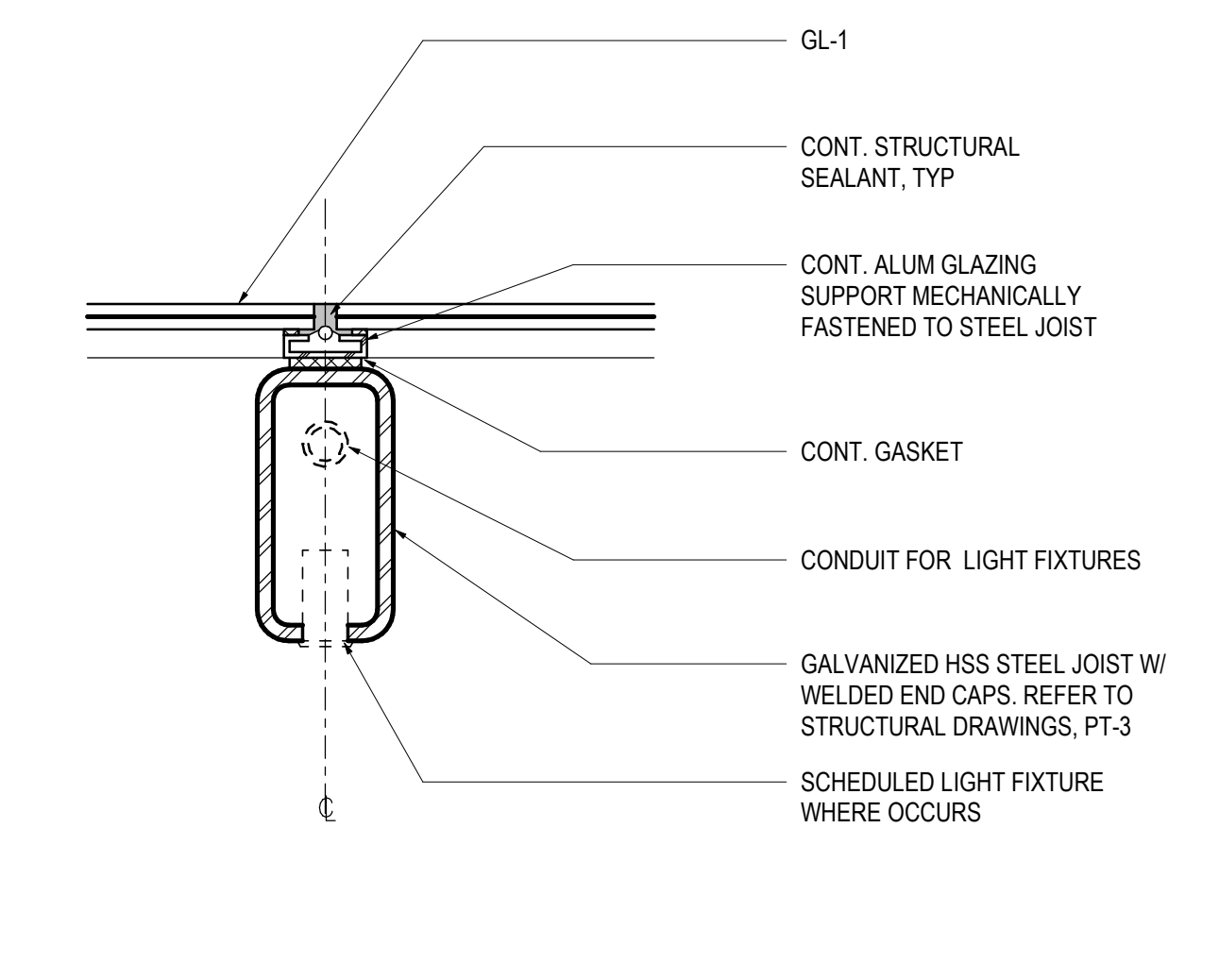
**08 CANOPY DETAIL AT TOP**  
SCALE: 3" = 1'-0"



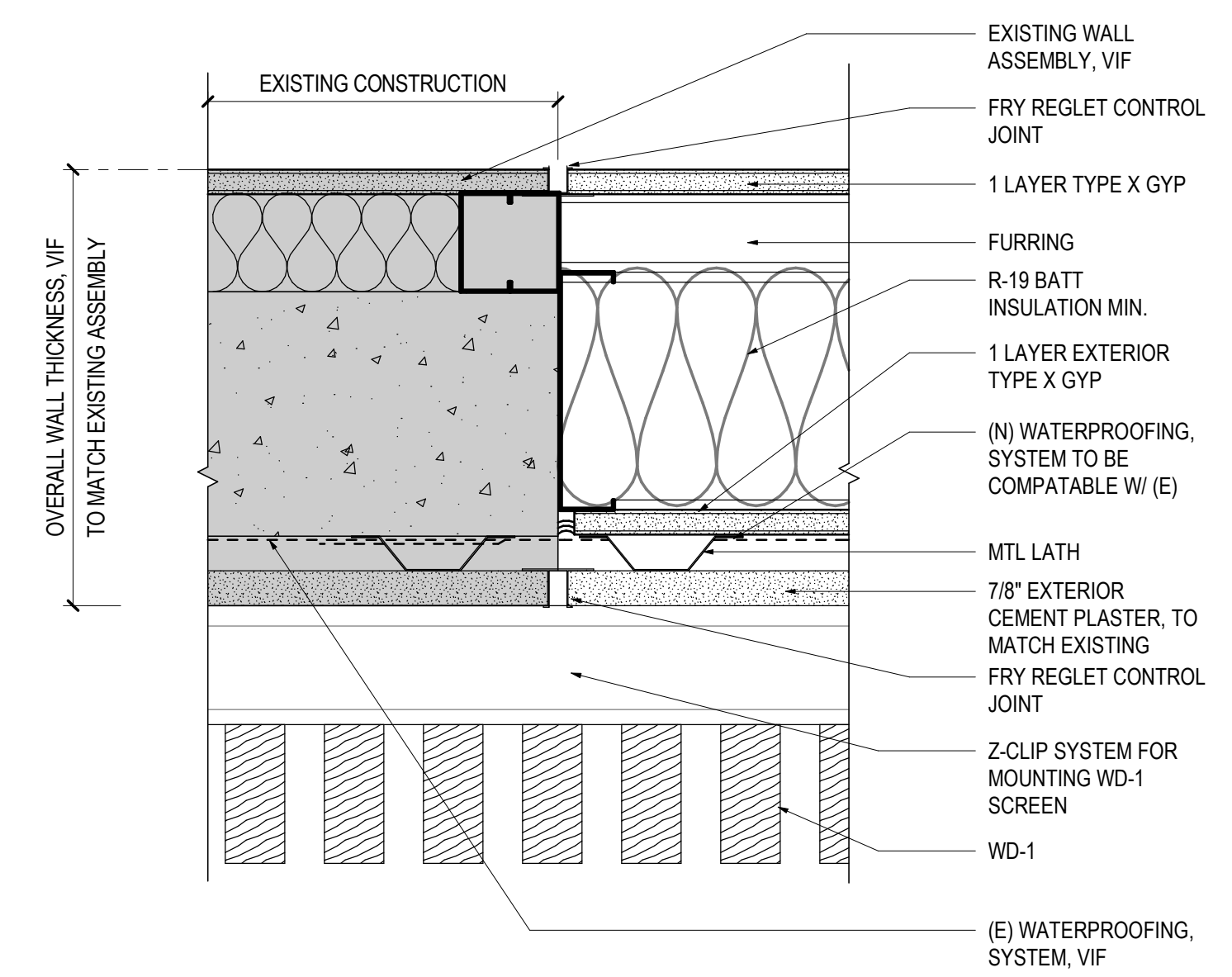
**04 CANOPY DERAIL AT DRIP EDGE**  
SCALE: 3" = 1'-0"



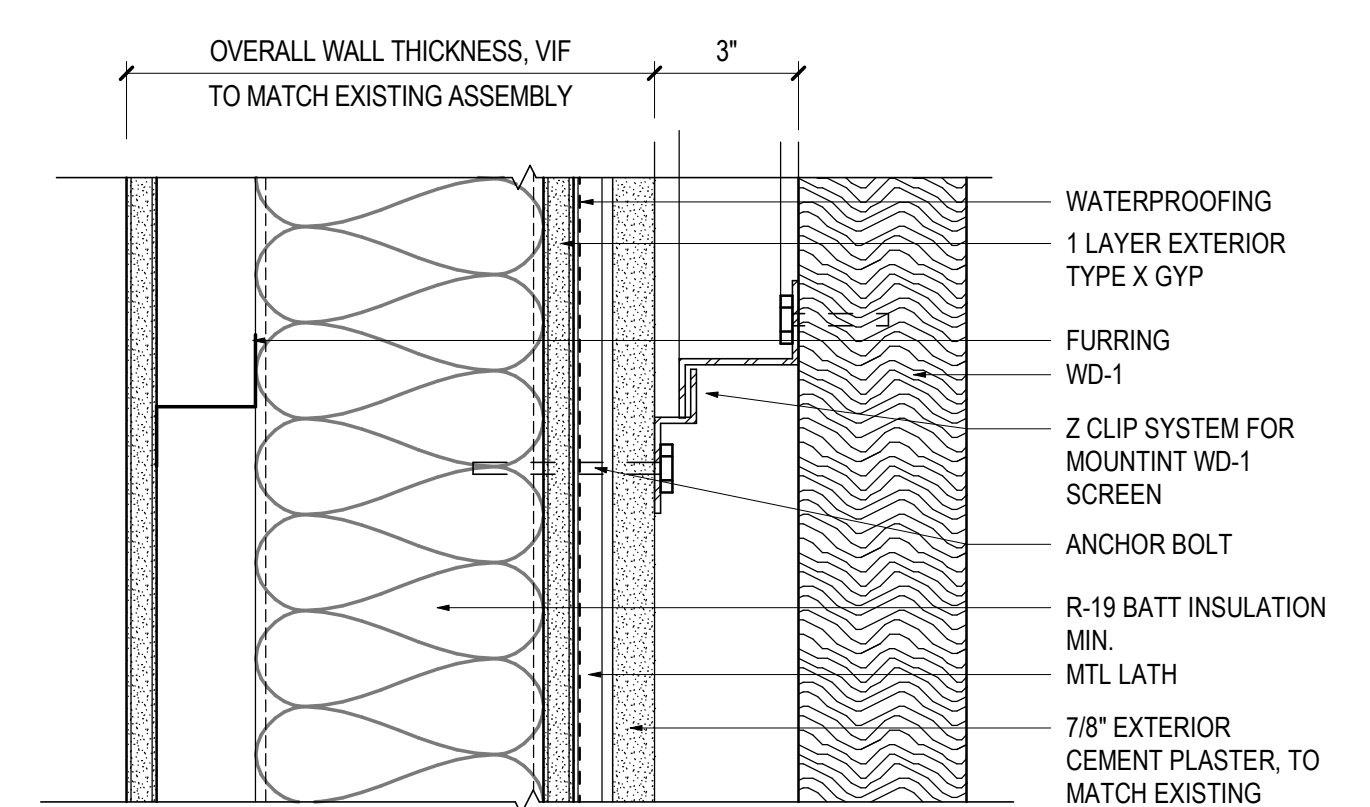
**07 CANOPY DETAIL @ PARALLEL WALL**  
SCALE: 3" = 1'-0"



**03 CANOPY DETAIL AT MULLION**  
SCALE: 3" = 1'-0"



**02 NEW WALL INTERFACE W/ EXISTING CONST.**  
SCALE: 3" = 1'-0"

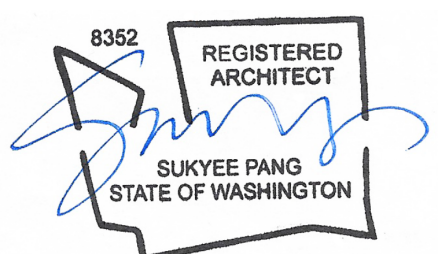


**01 ENTRY WALL INFILL**  
SCALE: 3" = 1'-0"

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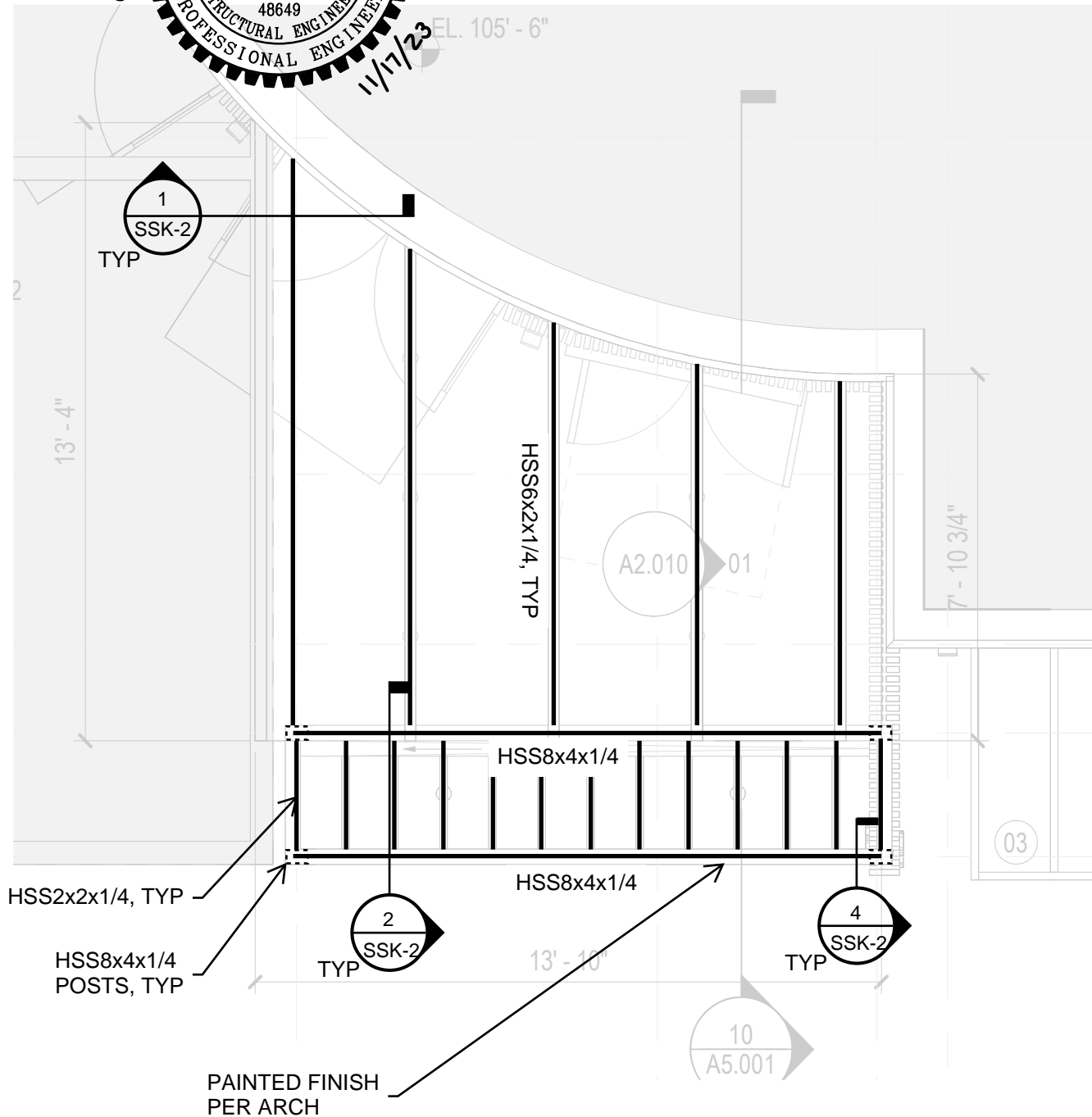
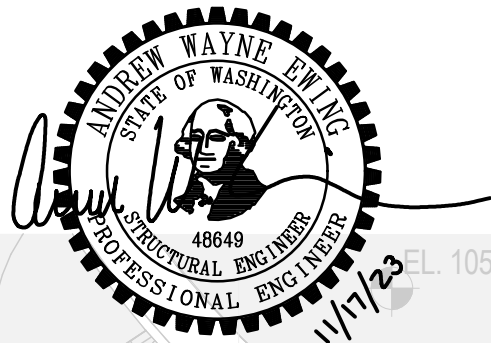
Project Name  
**Allister Exterior Renovation**

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**032.3223.000**

Description  
**ENLARGED DETAILS**

Scale  
**3" = 1'-0"**





**1 CANOPY PARTIAL PLAN**  
NO SCALE

ALL DESIGN AND CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE (IBC), 2018 EDITION, AS AMENDED BY THE CITY OF MERCER ISLAND, WA. ALTERATIONS TO EXISTING BUILDINGS ARE IN ACCORDANCE WITH THE INTERNATIONAL EXISTING BUILDING CODE (IEBC).

CANOPIES CONSIST OF LAMINATED GLASS PANELS WITH ORDINARY STEEL MOMENT FRAMES SUPPORTING GRAVITY AND LATERAL LOADS FROM SEISMIC AND WIND LOADS.

**SEISMIC DESIGN CRITERIA**

$I_e = 1.00$ ,  $S_s = 1.393g$ ,  $S_1 = 0.485g$ ,  $S_d = 1.115g$ ,  $T_L = 6$  secs,  $R = 1.5$ ,  $\Omega = 1.5$

**CONCRETE**

CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF IBC CHAPTER 19.

**CONCRETE MIXTURES**

CONCRETE MIXTURES SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

f <sub>c</sub> (PSI)	TEST AGE (DAYS)	EXPOSURE CLASS				USE
		F	S	W	C	
3000	28	F1	S0	W0	C0	SPREAD FOOTINGS, SLAB-ON-GRADE, PAVING

CONCRETE MIXTURES SHALL CONFORM TO THE MOST STRINGENT REQUIREMENTS FOR EXPOSURE CLASSES SPECIFIED IN THE TABLE ABOVE AND ACI 318 TABLE 19.3.2.1.

CONTRACTOR SHALL SUBMIT CONCRETE MIX DESIGNS FOR APPROVAL 2 WEEKS PRIOR TO PLACING ANY CONCRETE. THE MIX DESIGN SHALL BE IN CONFORMANCE WITH ACI 318, CHAPTER 19.

**REINFORCING STEEL**

DEFORMED BARS SHALL BE ASTM A 615, GRADE 60.

REINFORCING STEEL SHALL HAVE THE FOLLOWING PROTECTIONS:

FOOTING BOTTOM BARS = 3" (CAST AGAINST EARTH)  
FOOTING SIDE BARS, SLAB BARS = 2"

**NONSHRINK GROUT**

BASE PLATE GROUT SHALL BE NONSHRINK TYPE WITH MINIMUM f<sub>c</sub> = 8,000 PSI.

**STRUCTURAL REFERENCE SPECIFICATIONS**

STRUCTURAL STEEL: AISC 360 "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS"  
HIGH STRENGTH BOLTS: RCSC "SPECIFICATION FOR STRUCTURAL JOINTS USING HIGH-STRENGTH BOLTS"  
WELDING: AWS D1.1, TYPICAL, AWS PREQUALIFIED JOINT DETAILS  
WELDER CERTIFICATION: AMERICAN WELDING SOCIETY (AWS) WASHINGTON ASSOCIATION OF BUILDING OFFICIALS (WABO)

**STEEL MATERIALS**

PLATES (PL), BARS = ASD A 36, TYPICAL  
STRUCTURAL TUBES (HSS) = ASTM A 500, GRADE C  
ANCHOR RODS = F1554, GRADE 36  
WELDING ELECTRODES = 70 KSI, LOW HYDROGEN, TYPICAL

**POST-INSTALLED ANCHORS**

PROVIDE POST-INSTALLED ANCHORS AS SPECIFIED IN THESE DRAWINGS.

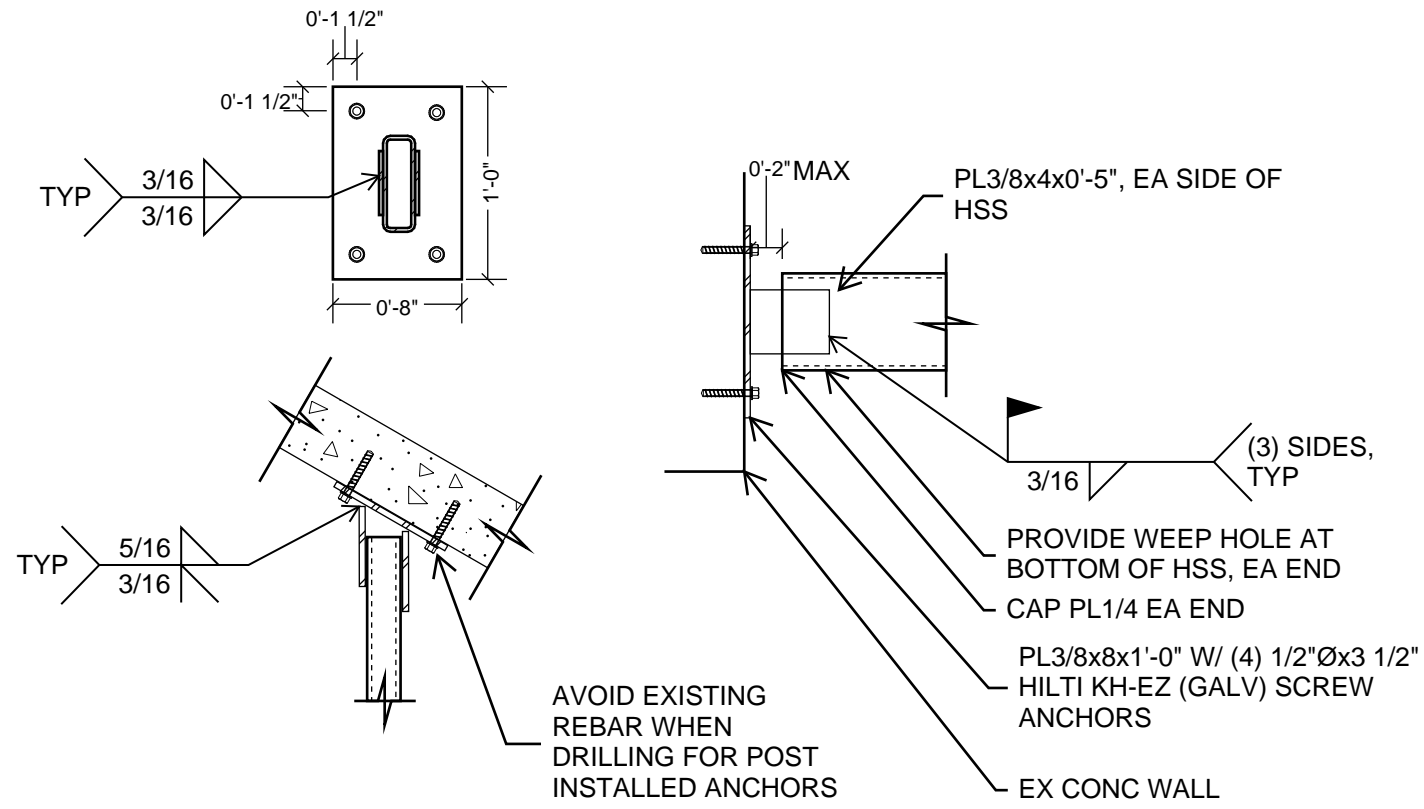
ANCHOR EMBEDMENT DEPTHS LISTED SHALL BE CONSIDERED EFFECTIVE EMBEDMENT DEPTHS AS DEFINED IN THE ICC-ES OR IAMPO UES EVALUATION REPORTS.

**2 GENERAL NOTES**

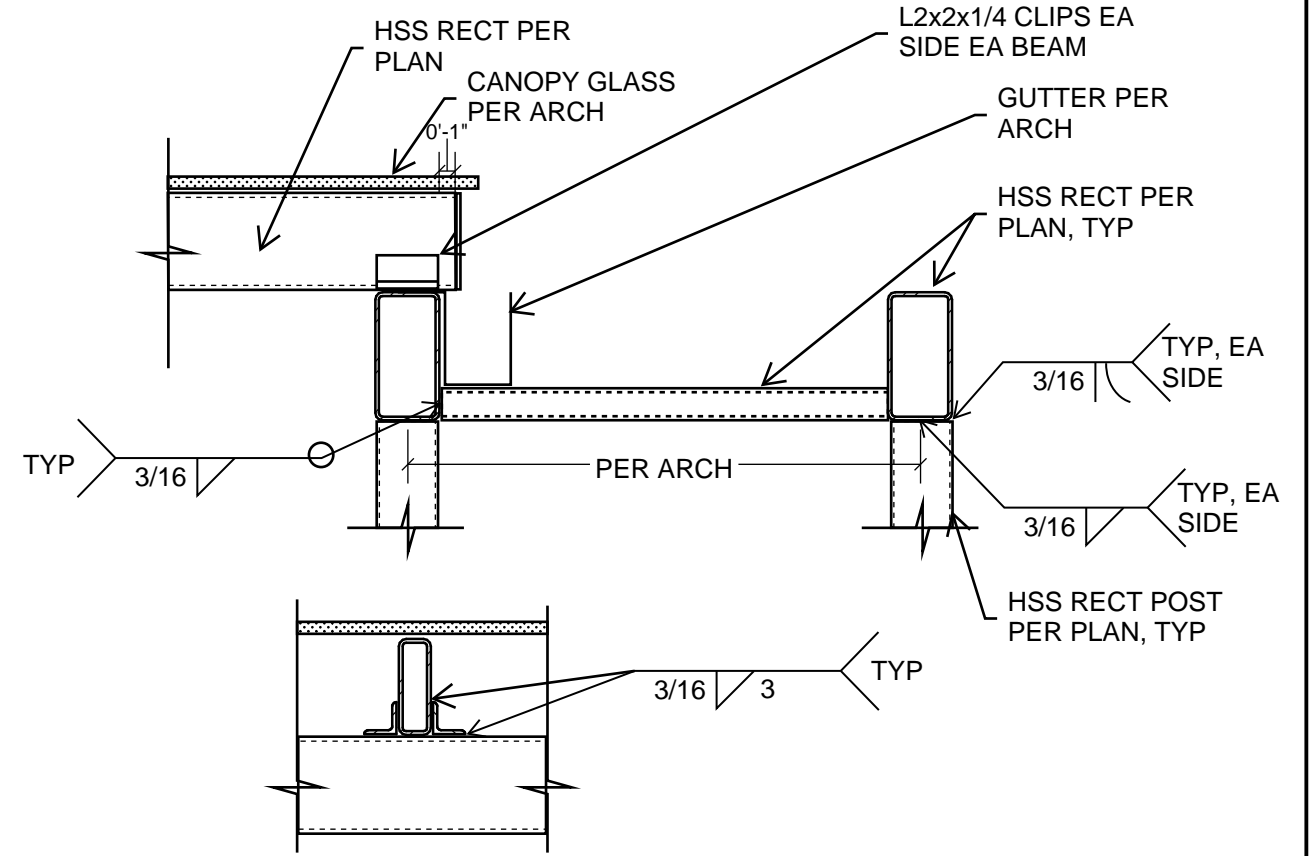
NO SCALE

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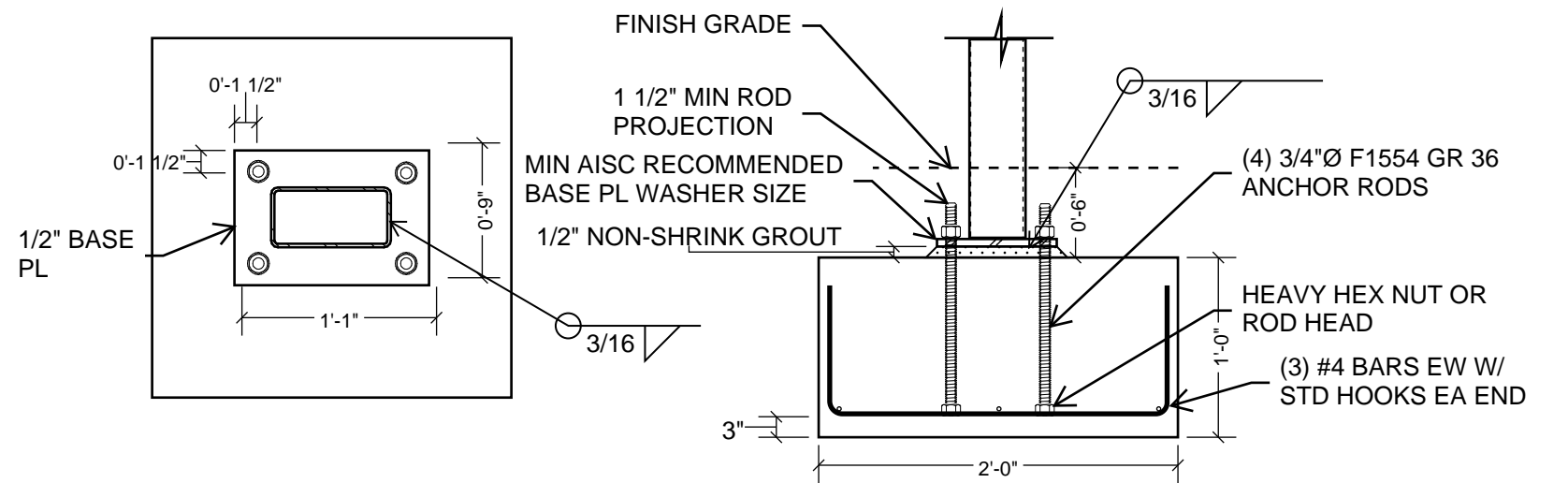
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DATE	SKETCH NO.
BY	



1 CANOPY BEAM CONNECTION TO EX BUILDING  
NO SCALE

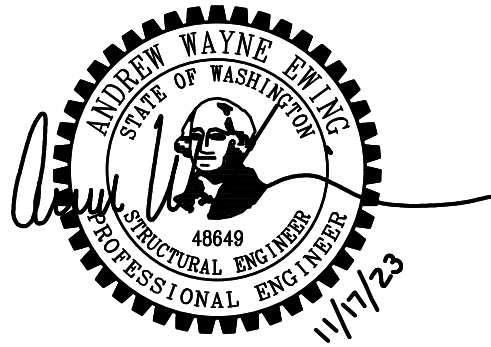


2 TYP CANOPY BEAM CONNECTION  
NO SCALE



NOTES:  
1. PROVIDE 6" OF COMPACTED BACKFILL BENEATH FOOTING

4 POST BASE PLATE  
NO SCALE



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