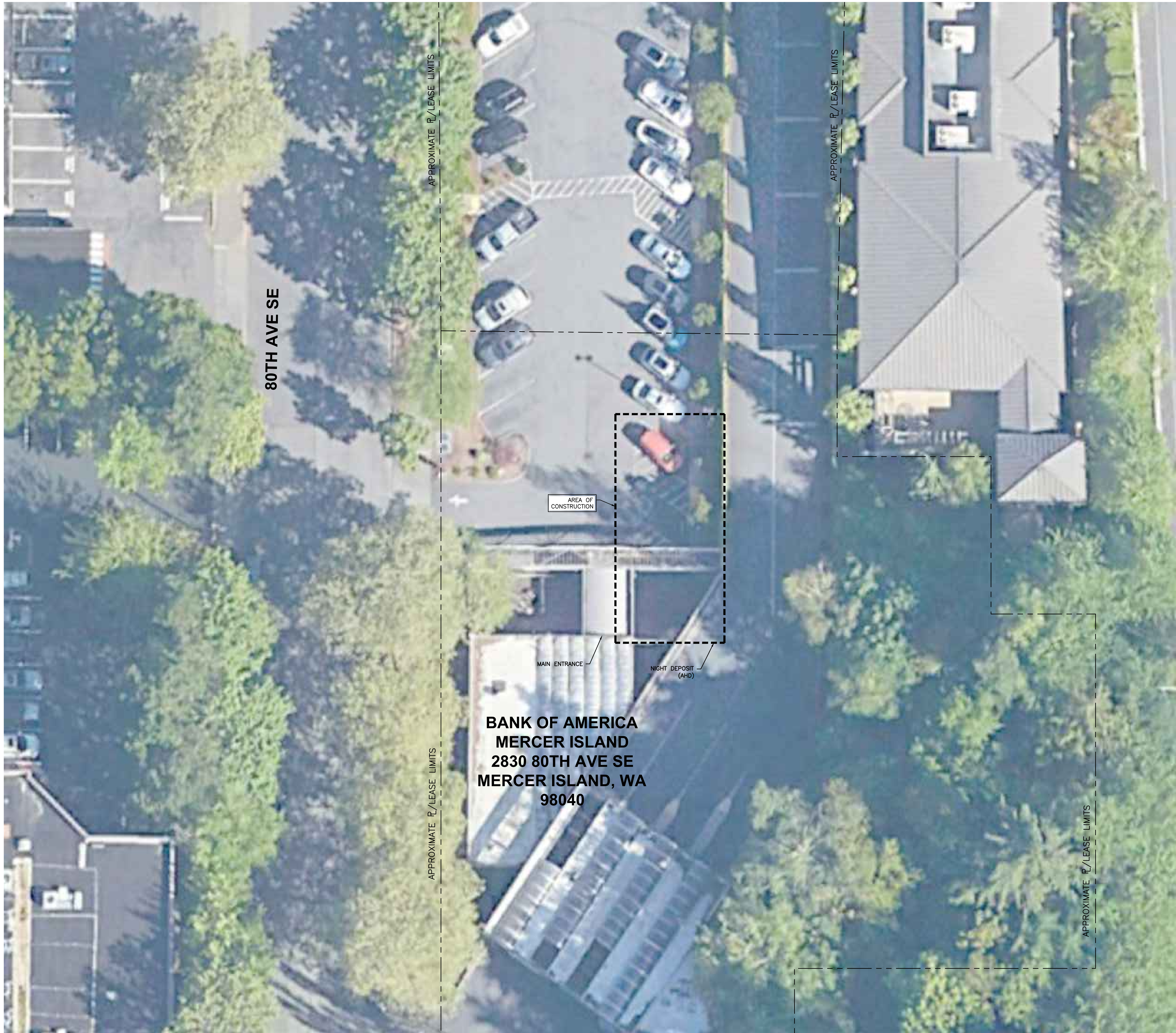


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**BANK OF AMERICA
MERCER ISLAND
2830 80TH AVE SE
MERCER ISLAND, WA
98040**

AREA OF CONSTRUCTION

MAIN ENTRANCE

NIGHT DEPOSIT (AHD)

80TH AVE SE

APPROXIMATE R/LEASE LIMITS

APPROXIMATE R/LEASE LIMITS

APPROXIMATE R/LEASE LIMITS

APPROXIMATE R/LEASE LIMITS

PARKING DATA

EXISTING PARKING: 36 SPACES
REQUIRED ADA PARKING: 2 SPACE (1 VAN ACCESSIBLE)
EXISTING ADA PARKING: 2 SPACE (1 VAN ACCESSIBLE)

▲ Date	Description
05.20.24	ISSUE FOR PERMIT



ADA AHD REMEDIATION
2830 80TH AVE SE
MERCER ISLAND, WA 98040
SERIAL NUM./MANH. ID: WA3-143
NRSP VERSION: 4.0
BULLETIN: 04-2022

Gensler
201 East Washington St
Suite 750
Phoenix, AZ 85004
United States
Tel: 602.523.4900
Fax: 602.523.4949
SATELLITE OFFICE
101 South Tryon Street
Suite 2100
Charlotte, NC 28280
United States
Tel: 704.377.2725
Fax: 704.377.2807

CBRE
CBRE Third Party Project Management
3550 Lenox Rd NE, Suite 2300
Atlanta, GA 30326
Contact: Steven Brooks
Steven.Brooks1@cbre.com
Tel: 229.491.7090

WOLPERT
343 Fountains Pkwy, Ste 100
Fairview Heights, IL
Kelly Stedman
Tel: 618-775-6922
kelly.stedman@wolpert.com
EOR - Kelly Stedman
kelly.stedman@wolpert.com

Seal / Signature



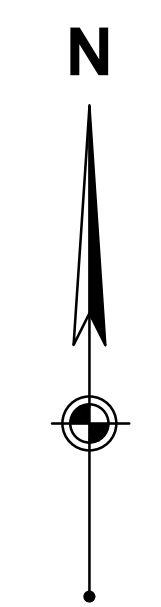
Project Name
MERCER ISLAND

Project Number
059.6780.093

Description
EXISTING CONDITIONS

Scale
As indicated

C1.0



EXISTING CONDITIONS
SCALE: 1" = 10'-0"



**AFTER HOURS DEPOSITORY
(AHD) REMEDIATION
MERCER ISLAND**

GENSLER PROJECT NUMBER: 59.6780.093

BAC SERIAL NUM./ MANH. ID: WA3-143

ISSUE FOR PERMIT

05.20.2024

2830 80th Avenue Southeast, Mercer Island, WA 98040

Gensler

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Woolpert, LLP
343 Fountains Pkwy, Ste 100
Fairview Heights, IL
Contact EOR: Kelly Stedman
Kelly.Stedman@Woolpert.com
Tel 618.779.6922



KEY PLAN

SCALE: 1" = 10'-0"

01

CODE AND LIFE SAFETY DATA

PROJECT INFORMATION
 Project Name : MERCER ISLAND
 Project Address: 2830 80th Avenue Southeast, Mercer Island, WA 98040
 Proposed Use/ Occupancy : BUSINESS(B) - NO CHANGE
 Owner/ Authorized Agent: Steven Brooks Email: SteveBrooks1@CBRE.com Phone: 228-491-7090
 Property Owned by: City/County Private State
 Code Enforcement Jurisdiction: City Mercer Island County State

PROJECT SUMMARY
 Building Description: EXISTING TWO-STORY BRANCH
 Scope of Work Details: MINOR REGRADING OF EXISTING SIDEWALK AND EQUIPMENT REPLACEMENT FOR ACCESSIBILITY COMPLIANCE. NO CHANGE TO EXISTING BUILDING OCCUPANCY, EGRESS PATHS OR EXITS
 Scope of Work Square Ft: 1829 SF

DESIGN PROFESSIONAL INFORMATION
LEAD DESIGN PROFESSIONAL:
 DESIGNER FIRM NAME LICENSE # PHONE # E-MAIL
 Architectural: GENSLER STEVE NORDLUND 7274 206.664.2069 Steve.nordlund@gensler.com
 Civil: WOOLPERT KELLY STEDMAN 20119974 618.779.6922 Kelly.stedman@woolpert.com

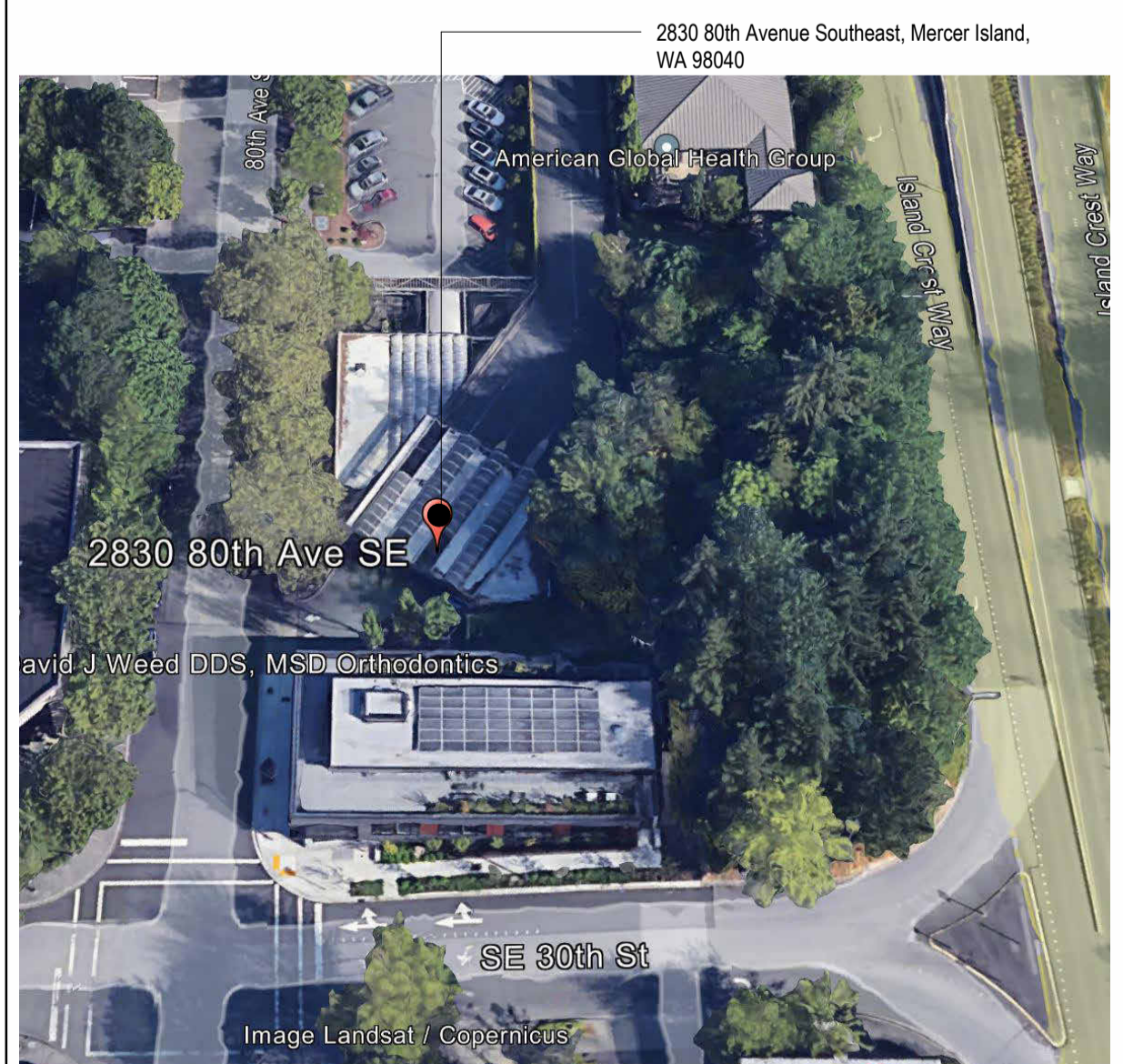
APPLICABLE CODES

BUILDING CODE: 2021 SEATTLE BUILDING CODE
PLUMBING CODE: 2021 SEATTLE PLUMBING CODE
ELECTRICAL CODE: 2020 NATIONAL ELECTRICAL CODE (W/ CITY OF SEATTLE AMENDMENTS)
ENERGY CODE: 2021 SEATTLE ENERGY CODE - COMMERCIAL PROVISIONS
MECHANICAL CODE: 2021 SEATTLE MECHANICAL CODE
FUEL AND GAS CODE: 2021 SEATTLE FUEL AND GAS CODE
ACCESSIBILITY STANDARD: 2017 WASHINGTON ACCESSIBILITY CODE
 2017 ICC/ANSI A117.1 STANDARD AS REFERENCED BY WASHINGTON STATE BUILDING CODE AND WASHINGTON STATE EXISTING BUILDINGS CODE.

VICINITY MAP



LOCATION MAP



ABBREVIATIONS

A	ACCESSORY	MIN	MINIMUM
ACCS	ACCESSORY	MISC	MISCELLANEOUS
ACOUS	ACOUSTICAL	MLO	MORTGAGE LOANS OFFICER
ACT	ACUSTICAL CEILING TILE	MLWK	MILLWORK
AFF	ABOVE FINISHED FLOOR	MOIST	MOISTURE
AL	ALUMINUM	NOT	MOTORIZED
ALT	ALTERNATE	MTD	MOUNTED
ANNUN	ANNUNCIATOR		
ANOD	ANODIZED	N	NETWORK EQUIPMENT ROOM
APPL	APPLIANCE	NER	NETWORK EQUIPMENT ROOM
ATA	ATM WITH TELLER ASSIST	NIC	NOT IN CONTRACT
AUTO	AUTOMATIC	NO	NUMBER
AVG	AVERAGE	NTS	NOT TO SCALE
B		O	
BD	BOARD	OH	OPPOSITE HAND
BLDG	BUILDING	OPNG	OPENING(S)
BLKG	BLOCKING	OPP	OPPOSITE
BOLL	BOLLARD	OPR	OPERABLE
BRODM	BROADROOM	ORNA	ORNAMENTAL
BU	BUILT UP	OS	OCCUPANCY SENSOR
C		OVFL	OVERFLOW
CAB	CABINET	OVHD	OVERHEAD
CEM	CEMENTITIOUS	P	
CER	CERAMIC	P-LAM	PLASTIC LAMINATE
CLG	CEILING	PBD	PARTICLE BOARD
CMU	CONCRETE MASONRY UNIT	PEDTR	PEDESTRIAN
COATG	COATING	PLAS	PLASTER
COE	CENTERS OF EXCELLENCE	PLSTC	PLASTIC
COLG	COLING	PLYWD	PLYWOOD
CONC	CONCRETE	PNL	PANEL
CONSTR	CONSTRUCTION	POLYST	POLYSTYRENE
CONT	CONTINUOUS(ATION)	PORT	PORTABLE
CONTR	CONTRACTOR	PREAB	PREFABRICATED
COV	COVER	PREFN	PREFINISHED
CPT	CARPET	PRTECN	PROTECTION
CPU	CENTRAL PROCESSING UNIT	PTN	PARTITION
CSR	CUSTOMER SERVICE REPRESENTATIVE	Q	
D		QST	QUICK SWIPE TERMINAL
DBL	DOUBLE	R	
DEPT	DEPARTMENT	RDR	READER
DES	DESIGNED	RECES	RECESSED
DET	DETAIL	RECP	RECEPTACLE
DF	DRINKING FOUNTAIN	REF	REFERENCE
DIA	DIAMETER	REFL	REFLECTED
DIFF	DIFFUSER	REFR	REFRIGERATOR
DIM	DIMENSION	REQD	REQUIRED
DISP	DISPENSER	RESIS	RESISTANT(IVE)
DIV	DIVISION	RFG	ROOFING
DN	DOWN	RM	ROOM
DR	DOOR	RO	ROUGH OPENING
DSCON	DISCONNECT	RVS	REMOTE VIDEO SPECIALIST
DTLS	DETAILS	S	
DWR	DRAWER	SBB	SMALL BUSINESS BANKING
E		SCR	SCRIBE
ELAST	ELASTOMERIC	SD	SAFE DEPOSIT
ELEC	ELECTRICAL	SECUR	SECURITY
EMBED	EMBEDDED(ING)	SF	SQUARE FEET
ENGR	ENGINEER(ED)	SGL	SINGLE
ENLGD	ENLARGED	SHORG	SHORING
ENTR	ENTRANCE	SIM	SIMILAR
EQ	EQUAL	SR SBRM	SENIOR SMALL BUSINESS RELATIONSHIP MANAGER
EQUIP	EQUIPMENT	SST	STAINLESS STEEL
EX	EXISTING	STD	STANDARD
EXP-JT	EXPANSION JOINT	STL	STEEL
EXPS	EXPOSED	STRFR	STOREFRONT
EXT	EXTERIOR	STRUCT	STRUCTURAL
F		SURF	SURFACE
FAB	FABRICATION	SUSP	SUSPENDED
FCM	FINANCIAL CENTER MANAGER	SYS	SYSTEM(S)
FCOM	FINANCIAL CENTER OPERATIONS MANAGER	T	
FD	FLOOR DRAIN	T&G	TONGUE AND GROOVE
FE	FIRE EXTINGUISHER	TCD	TELLER CASH DISPENSER
FEC	FIRE EXTINGUISHER AND CABINET	TG	TEMPERED GLASS
FHC	FIRE HOSE CABINET	THK	THICK
FIN	FINISH	TLT	TOILET
FLDG	FOLDING	TOS	TELLER OPERATION SPECIALIST
FLR	FLOORING	TRAF	TRAFFIC
FLC	FIREPLACE	TRANS	TRANSPARENT
FR	FIRE RAT(ING)ED	TRTD	TREATED
FRMG	FRAMING	TYP	TYPICAL
FSA	FINANCIAL SOLUTIONS ADVISOR	U	
FURN	FURNITURE	UCC	UNIVERSAL CALLING CUBE
FWC	FABRIC WALL COVERING	UCR	UNIVERSAL CONFERENCE ROOM (PRIVATE OFFICE)
FXD	FIXED	UNDRLAY	UNDERLAYMENT
FXTR	FIXTURE	UNO	UNLESS NOTED OTHERWISE
G		UTIL	UTILITY
GA	GAUGE	V	
GFCI	GROUND FAULT CIRCUIT INTERRUPTER	VEH	VEHICLE
GFRG	GLASS FIBER REINFORCED CONCRETE	VERT	VERTICAL
GFRG	GLASS FIBER REINFORCED GYPSUM	VIF	VERIFY IN FIELD
GFRP	GLASS FIBER REINFORCED PLASTER	W	
GL	GLASS	W/	WITH
GR	GRADE(ING)	W/O	WITHOUT
GYP	GYPSUM	WC	WATER CLOSET
H		WD	WOOD
HD	HEAD	WDW	WINDOW
HDWD	HARDWOOD	WT	WEIGHT
HOWE	HARDWARE	WTRPRF	WATERPROOFING
HM	HOLLOW METAL		
HORIZ	HORIZONTAL		
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING		

ARCHITECTURAL

SHEET NUMBER	SHEET NAME	REVISIONS		
		LATEST	DATE	DESCRIPTION
A00.00	DRAWING INDEX LIFE SAFETY AND PROJECT INFORMATION	-	05.20.2024	ISSUE FOR PERMIT
A00.11	ACCESSIBILITY INFORMATION AND BOLLARD STANDARD	-	05.20.2024	ISSUE FOR PERMIT
A00.50	SITE PLAN	-	05.20.2024	ISSUE FOR PERMIT
A01.00	DEMOLITION FLOOR PLAN	-	05.20.2024	ISSUE FOR PERMIT
A01.01	CONSTRUCTION FLOOR PLAN	-	05.20.2024	ISSUE FOR PERMIT
A01.02	DEMOLITION & CONSTRUCTION EXTERIOR ELEVATION	-	05.20.2024	ISSUE FOR PERMIT
A02.00	AHD DETAILS (FOR REFERENCE ONLY)	-	05.20.2024	ISSUE FOR PERMIT

CIVIL

SHEET NUMBER	SHEET NAME	REVISIONS		
		LATEST	DATE	DESCRIPTION
C1.0	EXISTING CONDITIONS	-	05.20.2024	ISSUE FOR PERMIT
C1.1	DEMOLITION PLAN	-	05.20.2024	ISSUE FOR PERMIT
C2.0	SITE PLAN	-	05.20.2024	ISSUE FOR PERMIT
C3.0	GRADING PLAN	-	05.20.2024	ISSUE FOR PERMIT
C7.0	SITE DETAILS	-	05.20.2024	ISSUE FOR PERMIT



AFTER HOURS DEPOSITORY (AHD) REMEDIATION

2830 80th Avenue Southeast, Mercer Island, WA 98040

SERIAL NUM./MANH. ID: WA3-143
 NRSP VERSION: 4.0
 BULLETIN: 04-2023

Gensler

101 South Tryon Street Tel 704.377.2725
 Suite 2100 Fax 704.377.2807
 Charlotte, NC 28280
 United States



CBRE Third Party Project Management
 3550 Lenox Road NE, Suite 2300
 Atlanta, GA 30326
 Contact: Steven Brooks
 steven.brooks1@cbre.com
 Tel 228-491-7090

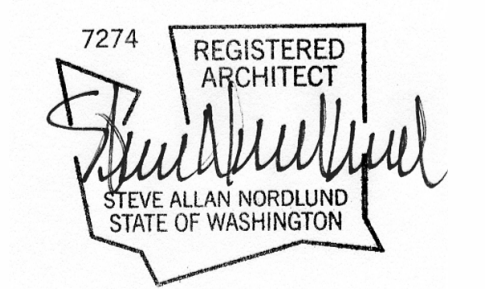


Woolpert, LLP
 343 Fountains Pkwy, Suite 100
 Fairview Heights, IL
 Contact: Kelly Stedman
 Kelly.stedman@woolpert.com
 Tel 618-779-6922

Date	Description
04.19.2024	ISSUE FOR CLIENT REVIEW / PRICING
05.20.2024	ISSUE FOR PERMIT

Agency Approval

Seal / Signature



Project Name
 MERCER ISLAND

Project Number
 59.6780.093

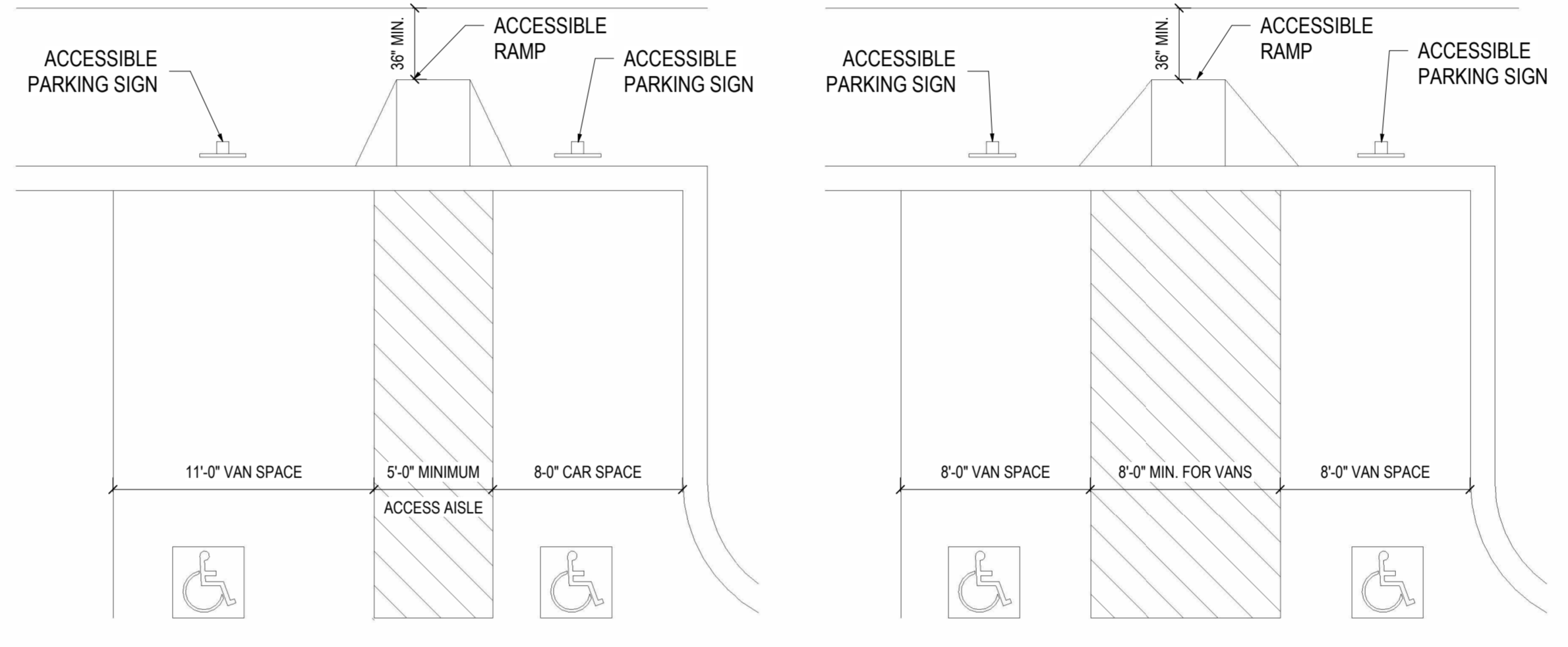
Description
 DRAWING INDEX, LIFE SAFETY AND PROJECT INFORMATION

Scale
 As indicated

A00.00

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE AMERICAN WITH DISABILITIES ACT (A.D.A.) OR LOCAL ACCESSIBILITY STANDARDS, WHERE APPLICABLE, ALONG WITH ALL STATE, COUNTY, AND LOCAL APPLICABLE CODES, ORDINANCES AND REGULATIONS. PRIOR TO START OF WORK, NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND CODE. ALL WORK SHALL CONFORM TO THE MOST RESTRICTIVE REQUIREMENTS.
- BEFORE COMMENCING WORK, CONTRACTOR SHALL BECOME FAMILIAR WITH THE DRAWINGS AND THE SCOPE OF WORK. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. ARCHITECT SHALL BE NOTIFIED OF DISCREPANCIES.
- BEFORE COMMENCING WORK, THE GENERAL CONTRACTOR SHALL SUBMIT AN ITEMIZED COST BREAKDOWN OF ALL SCOPE ITEMS AND A CONSTRUCTION SCHEDULE TO THE BANK OF AMERICA PROJECT MANAGER AND THE ARCHITECT. WORK SHALL BE SCHEDULED TO MEET BANK OF AMERICA REQUIREMENTS.
- ALL WORK DESCRIBED OR INDICATED IN THESE DOCUMENTS AND ALL WORK DEPENDENT UPON OR NECESSARY TO COMPLETE THIS WORK SHALL BE EXECUTED IN A WORKMAN-LIKE MANNER CONSISTENT WITH THE BEST STANDARDS OF THE TRADE. ITEMS AND MATERIALS USED SHALL BE SUITED FOR THE INTENDED PURPOSE.
- TRADESMEN, CRAFTSMEN, INSTALLERS, FOREMEN AND SUPERVISORS ARE TO BE SKILLED, EXPERIENCED AND LICENSED IF REQUIRED IN THE WORK THEY WILL BE PERFORMING.
- PROJECT CONSTRUCTION ITEMS TO BE NEW, UNLESS NOTED OTHERWISE. NO SUBSTITUTIONS WILL BE ALLOWED UNLESS COMPLETE DESCRIPTIONS, DRAWINGS, TEST DATA, SAMPLES, COST AND SCHEDULED CHANGES ARE SUBMITTED BY THE CONTRACTOR AND APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION. ANY ITEMS NOTED ON THE DRAWINGS THAT ARE NOT AVAILABLE OR WOULD CAUSE A TIME DELAY SHALL BE IDENTIFIED BY THE GENERAL CONTRACTOR AND THE ARCHITECT SHALL BE NOTIFIED.
- TYPICAL DETAILS AND GENERAL NOTES SHALL BE USED WHENEVER APPLICABLE U.N.O. ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED CONSTRUCTION STANDARDS. IF CONTRACTOR HAS ANY QUESTIONS REGARDING THE SAME OR EXACT MEANING, ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION.
- DIMENSIONS ARE TO THE FACE OF FINISH ON EXISTING OR NEW WORK, UNLESS NOTED OTHERWISE. DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE. LARGER SCALE DRAWINGS SHALL HAVE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
- PROVIDE SHOP DRAWINGS WHERE INDICATED AND FOR ALL METAL FABRICATION OR WHERE NOTED ON THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL SUBMIT FIVE (5) SETS TO THE ARCHITECT WITH AMPLIFIED TIME TO REVIEW. REQUIRED CORRECTIONS WILL BE NOTED AND A COPY WILL BE RETURNED TO THE CONTRACTOR. THE CONTRACTOR SHALL REVISE THE DRAWINGS AND RESUBMIT FOR FINAL APPROVAL PRIOR TO FABRICATION.
- CONTRACTOR TO SUBMIT SAMPLES OF ALL FINISH MATERIALS TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
- CONTRACTOR SHALL MAINTAIN A COMPLETE SET OF AS-BUILT DRAWINGS NOTING DEVIATIONS BETWEEN THE DRAWINGS, THE ACTUAL FIELD CONDITIONS AND THE NEW CONSTRUCTION OF ALL TRADES. AS-BUILT DRAWINGS SHALL BE DELIVERED TO BANK OF AMERICA AT THE END OF THE PROJECT. GENERAL CONTRACTOR SHALL PROVIDE ALL SUBCONTRACTORS WITH THE MOST CURRENT CONSTRUCTION DOCUMENTS THROUGHOUT THE PROJECT INCLUDING ALL REVISIONS.
- CONTRACTOR TO NOTIFY ARCHITECT AND BANK OF AMERICA PROJECT MANAGER OF ALL REVISIONS TO THE DRAWINGS AND CHANGES TO THE SCOPE OF WORK OR SCHEDULE AS REQUIRED BY GOVERNING AGENCIES, FIELD CONDITIONS OR BANK OF AMERICA PERSONNEL, REGARDLESS OF EXTENT. ALL REVISIONS TO BE IN WRITING AS CHANGE ORDERS AND APPROVED PRIOR TO STARTING WORK.
- CONTRACTOR TO VERIFY EXISTING STRUCTURAL CONDITIONS AND REQUIREMENTS OF NEW CONSTRUCTION PRIOR TO START OF WORK. CONTRACTOR SHALL FURNISH ADEQUATE SHORING, BRACING, ETC. AS REQUIRED TO SAFELY EXECUTE ALL WORK AND SHALL BE RESPONSIBLE FOR THE SAME, UNLESS SPECIFICALLY DETAILED IN THE DRAWINGS. CONTRACTOR SHALL PROVIDE BLOCKING, BRACING, FRAMING, HANGERS, OR OTHER SUPPORTS AS NECESSARY FOR ALL FIXTURES, EQUIPMENT AND ALL OTHER ITEMS AS NECESSARY.
- SITE AND BUILDING SHALL BE MAINTAINED IN A CLEAN, SAFE MANNER. DIRTY OR NOISY WORK SHALL BE PERFORMED AT SUCH A TIME AS DIRECTED BY THE OWNER AND OR CITY. ALL TRASH DEBRIS, SURPLUS MATERIAL, TOOLS AND EQUIPMENT TO BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER. LEAVE PREMISES IN A CONDITION ACCEPTABLE TO BANK OF AMERICA OR OWNER.
- PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE. WHERE EXISTING CONSTRUCTION, FINISHES OR EQUIPMENT IS DAMAGED BY WORK IN THIS CONTRACT, IT SHALL BE PATCHED, REPAIRED OR REPLACED AS REQUIRED TO MATCH EXISTING AT NO COST TO BANK OF AMERICA.
- THE LOCATION AND ELEVATIONS OF ALL WORK TO BE CONSTRUCTED IS SHOWN ON THE DRAWINGS. UNLESS DISCREPANCIES ARE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE PROPER LOCATION AND ELEVATIONS AS SHOWN AND INTENDED.
- THE CONTRACTOR SHALL LAY-OUT THE WORK, ESTABLISH AND MAINTAIN NECESSARY MARKERS AND BE RESPONSIBLE FOR THE ACCURACY OF THE WORK. THE CONTRACTOR SHALL MARK, AS A GUIDE TO ALL TRADES AND TO HIS SUBCONTRACTORS, THE EXACT LOCATIONS OF NEW OR REMODELED WORK WITH RESPECT TO ALL CHANGES TO EXISTING.
- INSTALL AND APPLY ITEMS, MATERIALS, EQUIPMENT, FINISHES, ETC. INCLUDING THE PREPARATION OF SURFACES IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PRINTED RECOMMENDATIONS AND INSTALLATION REQUIREMENTS.
- PERTAINING TO EQUIPMENT, GENERAL CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND RELOCATION OF ANY EXISTING EQUIPMENT OR CONSTRUCTION AS NECESSARY FOR A COMPLETE INSTALLATION.
- BESIDES GUARANTEES REQUIRED ELSEWHERE, THE CONTRACTOR SHALL GUARANTEE ALL WORK FOR A MINIMUM PERIOD OF ONE YEAR AFTER THE DATE OF ACCEPTANCE OF WORK WITHOUT EXPENSE TO BANK OF AMERICA. GUARANTEE SHALL INCLUDE ANY WORK THAT MAY BE DISPLACED BY GENERAL CONTRACTOR'S WORK.
- OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK.
- SUBMIT REQUESTS FOR SUBSTITUTIONS, REVISIONS, OR CHANGES TO ARCHITECT FOR REVIEW PRIOR TO PURCHASE, FABRICATION OR INSTALLATION.
- OWNER WILL PROVIDE WORK NOTED "BY OTHERS" OR "NIC" UNDER SEPARATE CONTRACT. CONTRACTOR SHALL INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROCESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
- PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE ARCHITECT.
- COORDINATE AND PROVIDE BLOCKING FOR EQUIPMENT AND/OR ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS.
- CONCEALED INSULATING MATERIALS INSTALLED WITHIN WALL SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 75 AND A SMOKE DEVELOPED INDEX OF NOT MORE THAN 80.



ACCESSIBLE - PARKING

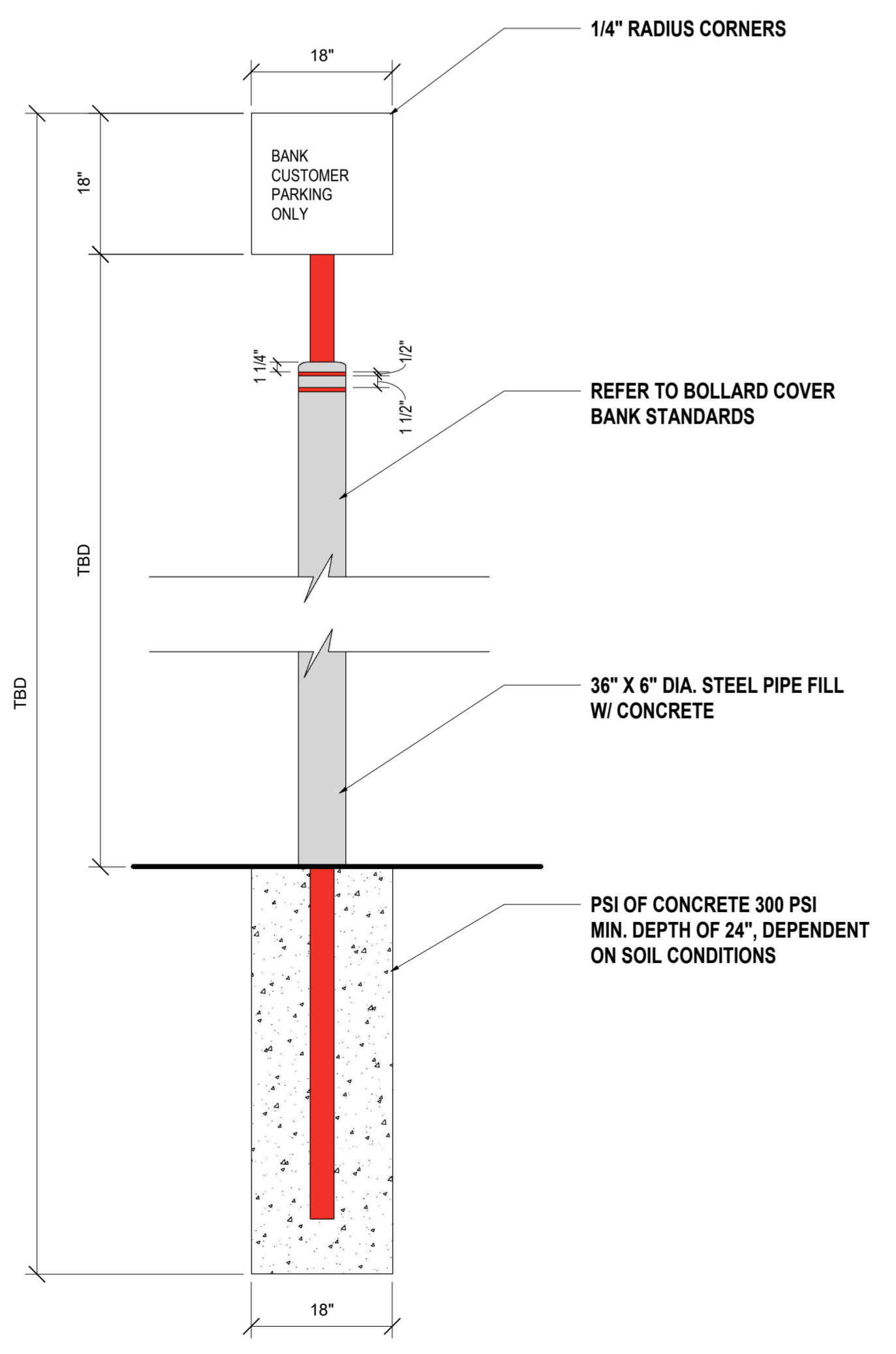
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05

ACCESSIBILITY NOTES

- THE AMERICAN WITH DISABILITIES ACT (A.D.A.) PROVIDES THAT ALL ALTERATIONS TO A FACILITY MUST BE MADE IN SUCH A MANNER THAT, TO THE MAXIMUM EXTENT FEASIBLE, THE ALTERED PORTIONS OF THE FACILITY ARE READILY ACCESSIBLE TO INDIVIDUALS WITH DISABILITIES. BANK OF AMERICA AND THE GENERAL CONTRACTOR ACKNOWLEDGE THAT THE REQUIREMENTS OF A.D.A. WILL BE SUBJECT TO VARIOUS AND POSSIBLY CONTRADICTORY INTERPRETATIONS. THE ARCHITECT THEREFORE, WILL USE HIS/HER BEST PROFESSIONAL EFFORTS TO INTERPRET A.D.A. REQUIREMENTS AND OTHER FEDERAL, STATE AND LOCAL LAWS, RULES, CODE ORDINANCES AND REGULATIONS AS THEY APPLY TO THE PROJECT. THE ARCHITECT, HOWEVER, CANNOT AND DOES NOT WARRANT OR GUARANTEE THAT BANK OF AMERICA WILL COMPLY WITH ALL INTERPRETATIONS OF THE A.D.A. REQUIREMENTS AND/OR THE REQUIREMENTS OF OTHER FEDERAL, STATE AND LOCAL LAWS, RULES, CODES, ORDINANCES AND REGULATIONS AS THEY APPLY TO THE PROJECT.
- THE SCOPE OF WORK INDICATED IN THESE DRAWINGS IS FOR SPECIFIC ITEMS SELECTED BY BANK OF AMERICA FOR CUSTOMER ACCESS TO GOODS AND SERVICES. NOTE THAT SOME AREAS OF ACCESS HAVE NOT BEEN MODIFIED TO MEET A.D.A. REQUIREMENTS. ALL OTHER AREAS OF A.D.A. UPGRADE THAT MAY BE REQUIRED AT THIS TIME ARE NOT IN THIS CONTRACT AND ARE NOT INDICATED ON THESE DOCUMENTS. SEE THIRD PARTY PROJECT MANAGER FOR ADDITIONAL INFORMATION CONCERNING OTHER AREAS OF A.D.A. SCOPE OF WORK.
- IN BUILDINGS AND FACILITIES, FLOORS OF A GIVEN STORY SHALL BE A COMMON LEVEL THROUGHOUT, OR SHALL BE CONNECTED BY PEDESTRIAN RAMPS, PASSENGER ELEVATORS OR SPECIAL ACCESS LIFTS. WALKING SURFACES SHALL BE SLIP-RESISTANT.
- ABRUPT CHANGES IN LEVEL ALONG ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 1/2" IN HEIGHT. LEVEL CHANGES NOT EXCEEDING 1/4" MAY BE VERTICAL. BEVEL OTHERS WITH A SLOPE NOT GREATER THAN 1:2.
- MAXIMUM PULL OR PUSH EFFORT TO OPERATE ANY OPENING SHALL NOT EXCEED 5 POUNDS.

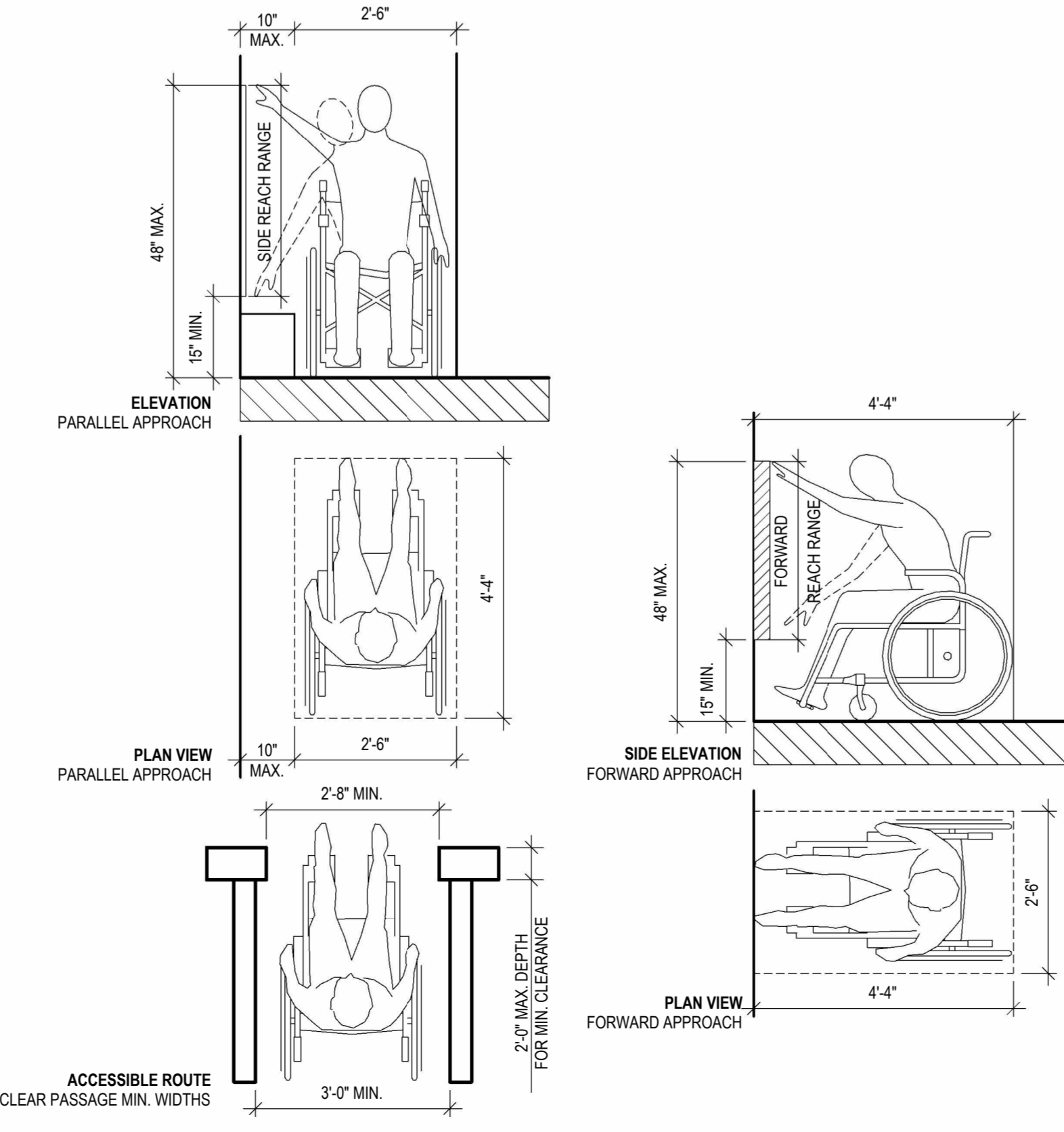
Date	Description
04-19-2024	ISSUE FOR CLIENT REVIEW / PRICING
05-20-2024	ISSUE FOR PERMIT



BOFA BOLLARD STD

SCALE: 3/4" = 1'-0"

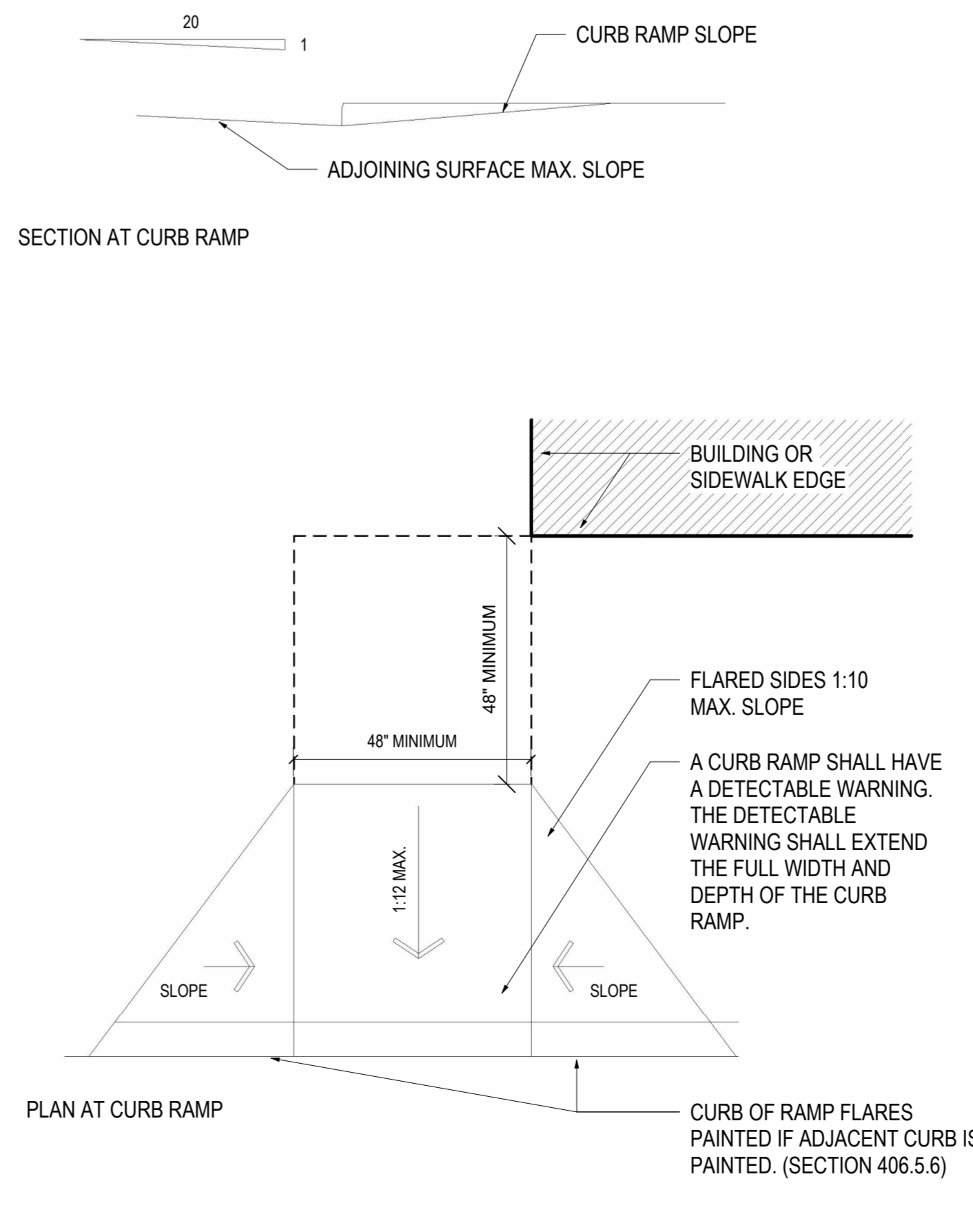
04



ACCESSIBLE - REACH RANGES

SCALE: 1/2" = 1'-0"

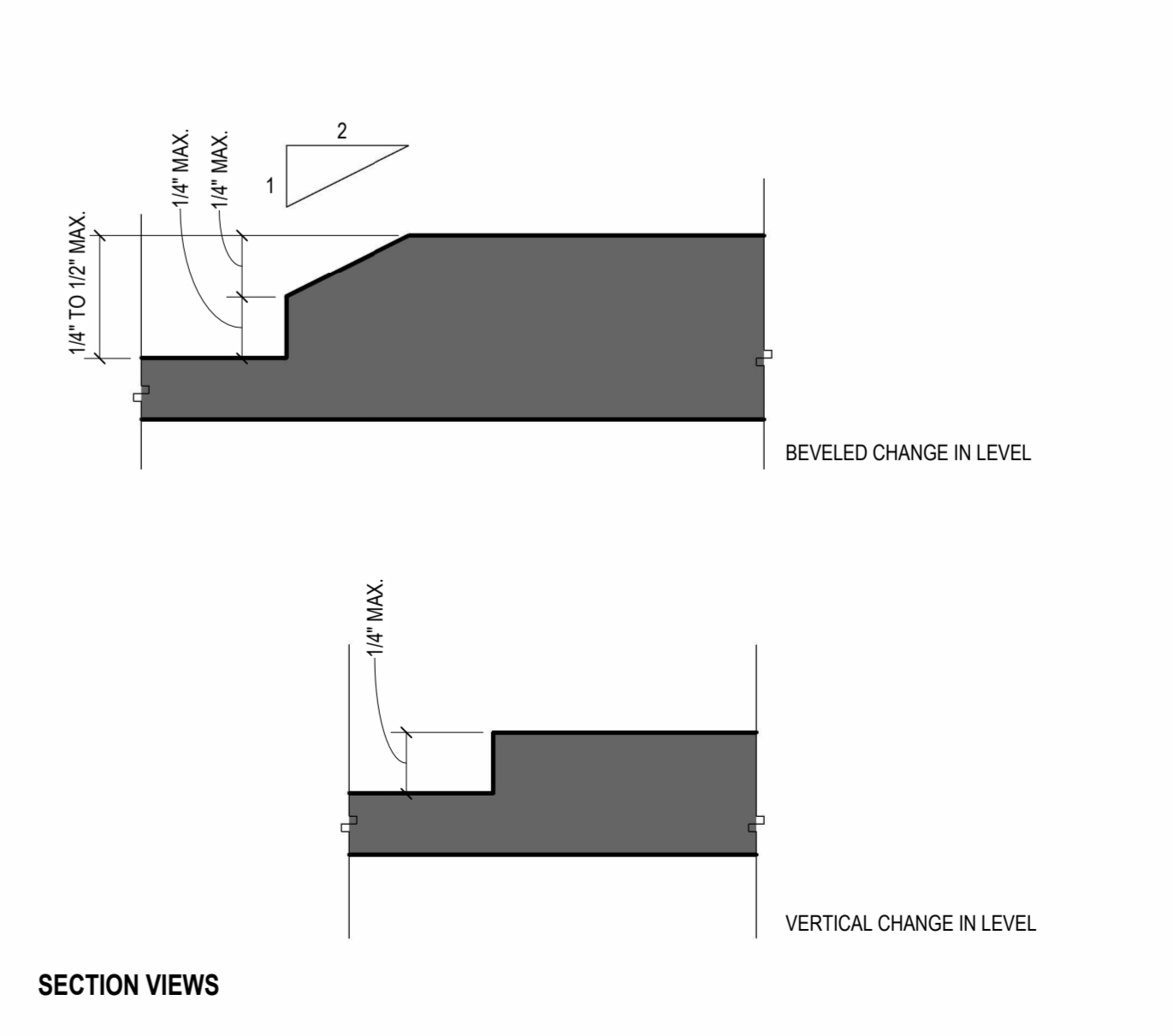
03



CURB RAMP PLAN NC

SCALE: 1/4" = 1'-0"

02



ACCESSIBLE - THRESHOLD

SCALE: 3/4" = 1'-0"

01

SHEET NOTES



AFTER HOURS DEPOSITORY (AHD) REMEDIATION

2830 80th Avenue Southeast, Mercer Island, WA 98040

SERIAL NUM./MANH. ID: WA3-143
NRSP VERSION: 4.0
BULLETIN: 04-2023

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Atlanta, GA 30326
Contact: Steven Brooks
steven.brooks1@cbre.com
Tel 229-491-7090



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Contact: Kelly Siedman
kelly.siedman@woolpert.com
Tel 618-779-6922

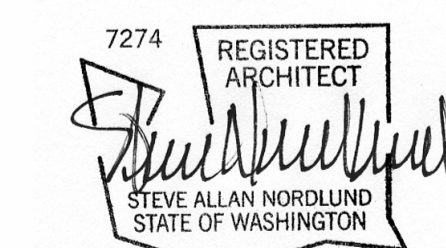
GENERAL NOTES

A. COORDINATE FULL SCOPE WITH CIVIL DRAWINGS.

Date	Description
04.19.2024	ISSUE FOR CLIENT REVIEW / PRICING
05.20.2024	ISSUE FOR PERMIT

Agency Approval

Seal / Signature



Project Name
MERCER ISLAND

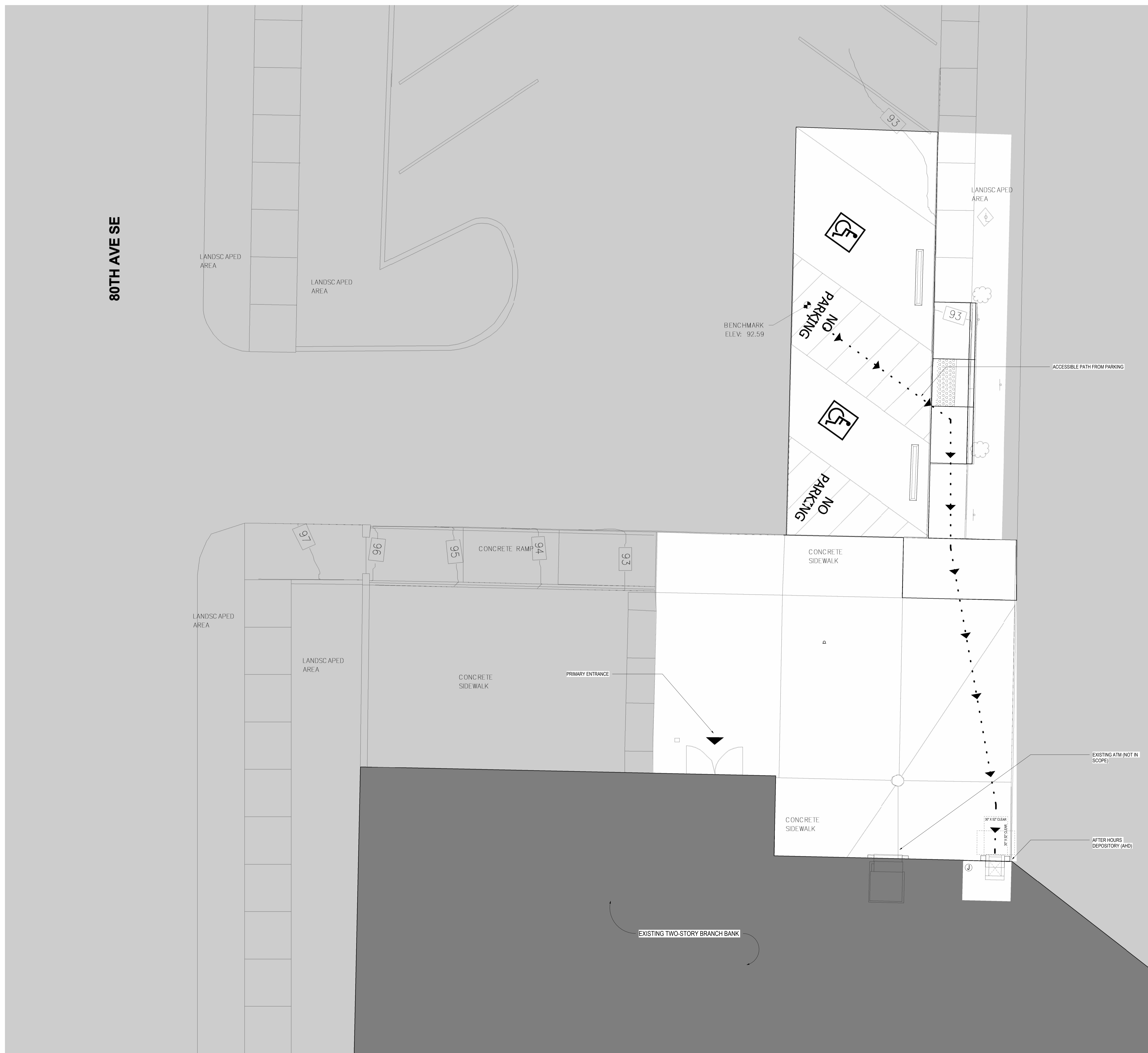
Project Number
59.6780.093

Description
SITE PLAN

Scale
As indicated

A00.50

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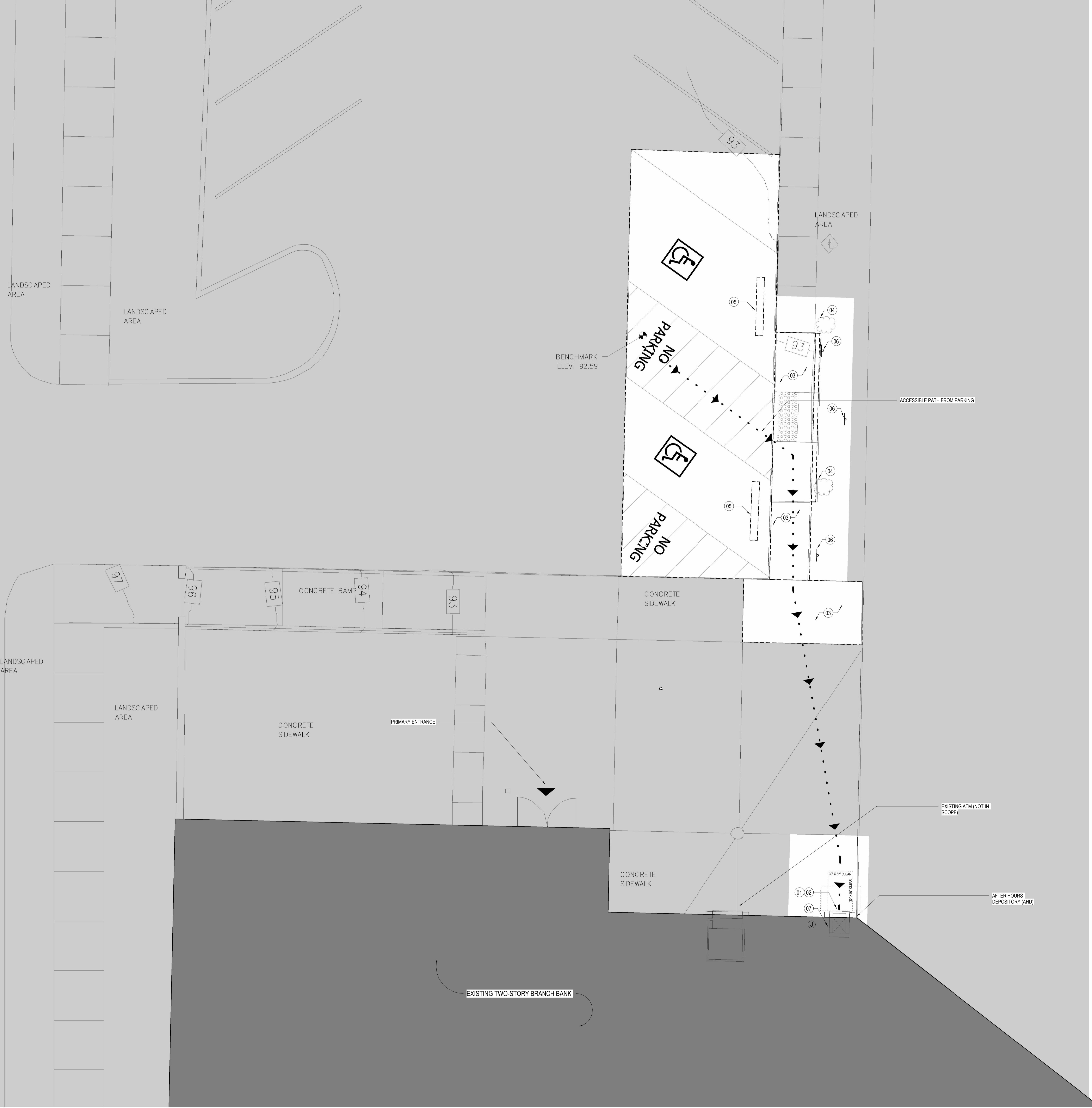
LEGEND

- NOT IN SCOPE
- ACCESSIBLE PATH OF TRAVEL
- STRIPED ACCESS AISLE
- ENTRANCE
- ADA PARKING SYMBOL
- BOLLARD
- AFTER HOURS DEPOSITORY (AHD) EQUIPMENT
- ATM EQUIPMENT
- 30" X 52" CLEAR FLOOR SPACE

SITE PLAN

SCALE: 1/4" = 1'-0"

80TH AVE SE



BENCHMARK
ELEV: 92.59

LANDSCAPED
AREA

ACCESSIBLE PATH FROM PARKING

EXISTING ATM (NOT IN
SCOPE)

AFTER HOURS
DEPOSITORY (AHD)

EXISTING TWO-STORY BRANCH BANK

DEMOLITION SHEET NOTES

- 01 REMOVE AFTER HOURS DEPOSIT HEAD AT INTERIOR EXTERIOR IN ITS ENTIRETY. DISCONNECT ASSOCIATED EQUIPMENT AS REQUIRED. COORDINATE WITH AHD MANUFACTURER AND BANK VENDORS.
- 02 MODIFY EXISTING WALL OPENING AS REQUIRED TO ALLOW FOR NEW HEAD UNIT TO BE INSTALLED AT ACCESSIBLE HEIGHT. VERIFY CONDITION IN FIELD AND COORDINATE WITH ARCHITECT IF STRUCTURAL MODIFICATION IS REQUIRED.
- 03 EXISTING CONCRETE SIDEWALK TO BE REMOVED. SAWCUT TO PROVIDE CLEAN EDGE. REFER TO CIVIL DRAWINGS FOR EXTENTS AND ADDITIONAL DETAILS.
- 04 EXISTING TREE TO REMAIN. PROTECT DURING CONSTRUCTION.
- 05 EXISTING WHEEL STOP TO BE REMOVED AND SALVAGED FOR REUSE. REFER TO CIVIL DRAWINGS FOR EXTENTS AND ADDITIONAL DETAILS.
- 06 EXISTING SIGNAGE TO BE RAISED. REFER TO CIVIL DRAWINGS FOR ADDITIONAL DETAILS.
- 07 EXISTING AHD ENCASED IN CONCRETE ON INTERIOR SIDE. REMOVE ALL EXISTING CONCRETE AS REQUIRED FOR PROPOSED NEW SCOPE OF WORK. COORDINATE WITH MANUFACTURER AND BANK VENDOR AS REQUIRED.



AFTER HOURS DEPOSITORY (AHD) REMEDIATION

2830 80th Avenue Southeast, Mercer Island, WA 98040
 SERIAL NUM./MANH. ID: WA3-143
 NRSP VERSION: 4.0
 BULLETIN: 04-2023

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 Tel 229-491-7090



Woolpert, LLP
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 Fairview Heights, IL
 Contact ECR: Kelly Siedman
 kelly.siedman@woolpert.com
 Tel 618-779-6922

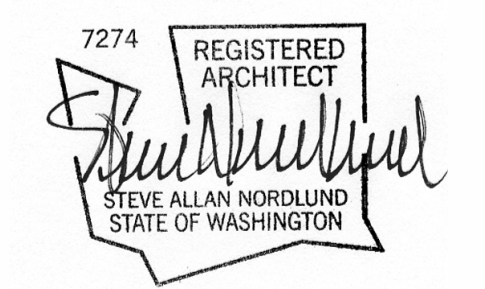
Date	Description
04.19.2024	ISSUE FOR CLIENT REVIEW / PRICING
05.20.2024	ISSUE FOR PERMIT

GENERAL NOTES

- A. REFER TO SERIES A00 FOR GRAPHIC SYMBOLS, ACCESSIBILITY DETAILS, ABBREVIATIONS AND GENERAL NOTES.
- B. COORDINATE EXTENT OF DEMOLITION WITH NEW CONSTRUCTION AND CONSULTANT DRAWINGS.
- C. DEMOLISH ALL ASSOCIATED EQUIPMENT SHOWN DASHED, U.N.O.
- D. PATCH AND REPAIR PARTITIONS AS REQUIRED TO RECEIVE NEW FINISHES WHERE DEMO OCCURS.
- E. VERIFY ALL NEW EQUIPMENT WITH VENDOR.
- F. CONTRACTOR SHALL PROVIDE BLOCKING FOR ALL WALL-MOUNTED EQUIPMENT AND ACCESSORIES.
- G. G.C. TO VERIFY MANUFACTURER AND COORDINATE OPENING REQUIREMENTS WITH MFR STANDARDS PRIOR TO DEMOLITION OR CONSTRUCTION.
- H. IF OPENING IS REDUCED, G.C. TO PROVIDE INFILL TO MATCH ADJACENT PARTITION AT BOTH EXTERIOR AND INTERIOR. IF OPENING SIZE AS VERIFIED IN FIELD IS REQUIRED TO ENLARGE TO ACCOMMODATE NEW EQUIPMENT, COORDINATE WITH MANUFACTURER FOR OPENING REQUIREMENTS NEEDED FOR COMPLIANCE.
- I. HIGHEST OPERABLE PART OF NEW AHD TO ALLOW FOR MAX REACH RANGE OF 48" AFF - DEPOSIT OPENING TO BE 46" MAX AFF IN OPEN POSITION - REFER TO REFERENCE DETAIL.
- J. G.C. TO PROTECT EXISTING EQUIPMENT TO REMAIN IN AREA OF CONSTRUCTION THROUGHOUT DURATION OF CONSTRUCTION.

Agency Approval

Seal / Signature



Project Name
MERCER ISLAND

Project Number
59.6780.093

Description
DEMOLITION FLOOR PLAN

Scale
As indicated

A01.00

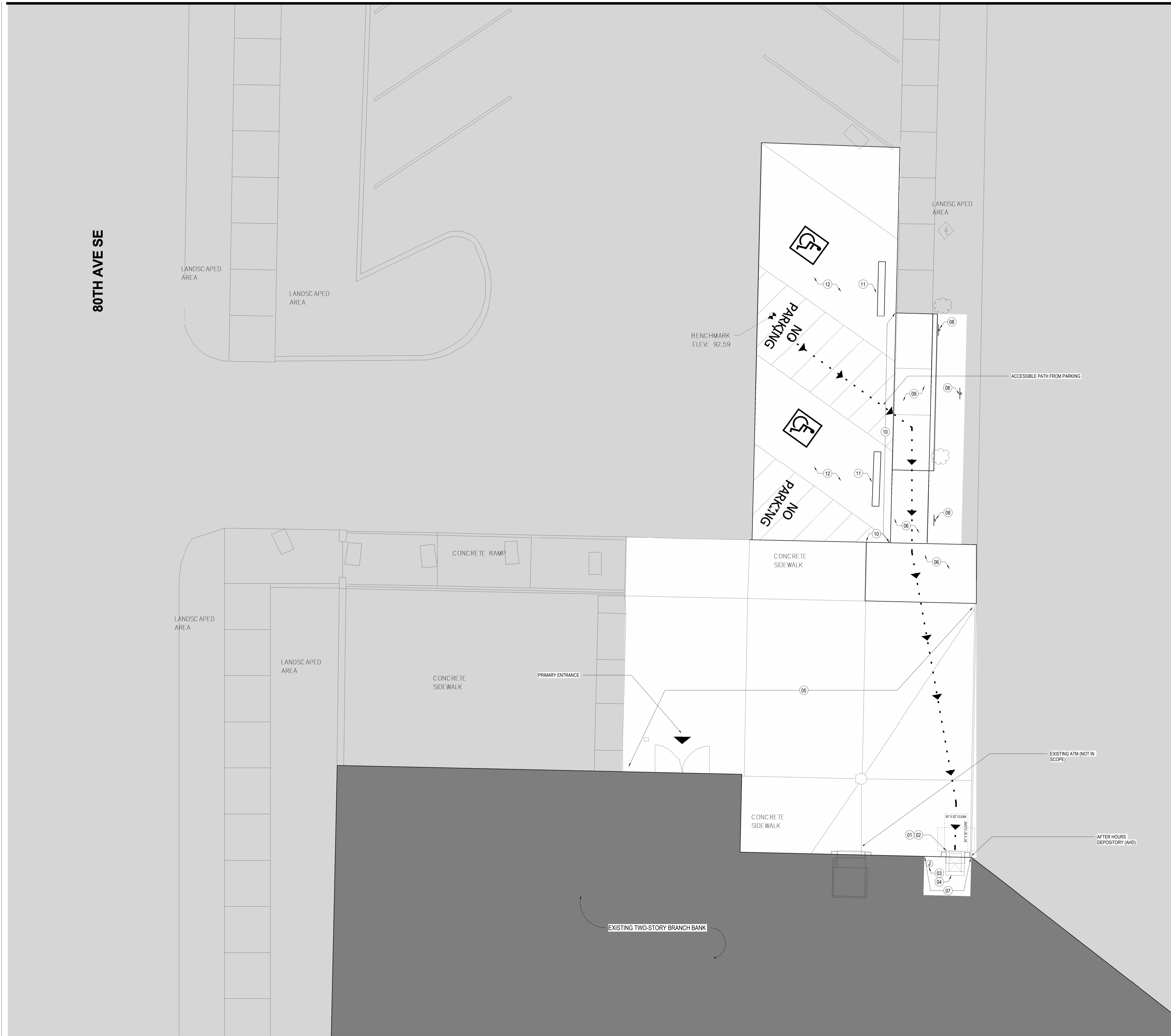
LEGEND

- NOT IN SCOPE
- ACCESSIBLE PATH OF TRAVEL
- STRIPED ACCESS AISLE
- ENTRANCE
- ADA PARKING SYMBOL
- BOLLARD
- AFTER HOURS DEPOSITORY (AHD) EQUIPMENT
- ATM EQUIPMENT
- 30' X 52" CLEAR FLOOR SPACE

DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

01

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CONST. & ELEC. SHEET NOTES

- 01 PROVIDE NEW ADA COMPLIANT AHD UNIT HEAD TO BE INSTALLED BY VENDOR. MAINTAIN ALL INTERIOR AND EXTERIOR SERVICE CLEARANCES. AHD PULL FORCE TO BE LESS THAN 5LBS PER ADA REQUIREMENTS.
- 02 WALL TO BE PATCHED TO MATCH ADJACENT FINISHES. CONSTRUCTION AS REQUIRED - EXTERIOR ENCLOSURE CONDITION TO MATCH EXISTING. PAINT ENTIRE WALL TO MATCH EXISTING - TIE IN FACADE, SHEATHING, VAPOR BARRIER AS REQUIRED TO FACILITATE AN AIR/WATER TIGHT CONDITION. REPLACE TRIM AT OPENING AS REQUIRED.
- 03 REUSE EXISTING POWER AND DATA CONNECTIONS AS FEASIBLE. COORDINATE WITH BANK VENDOR AND AHD EQUIPMENT CUTSHEET. VERIFY CONDITION IN FIELD AND PROVIDE NEW CONNECTIONS AS REQUIRED.
- 04 COORDINATE INTERIOR CONCRETE ENCASUREMENT REQUIREMENTS WITH AHD MANUFACTURER AND BANK VENDOR.
- 05 PROVIDE CAULK INFILL FOR ANY GAPS EXCEEDING 1/2" ON CONCRETE SIDEWALK ALONG THE ACCESSIBLE PATH OF TRAVEL.
- 06 PROVIDE NEW CONCRETE SIDEWALK. REFER TO CIVIL DRAWINGS FOR ADDITIONAL DETAILS.
- 07 INFILL WALL OPENING LEFT BEHIND FROM AHD REMOVAL WITH MATERIALS TO MATCH EXISTING ADJACENT INTERIOR AND EXTERIOR FINISHES.
- 08 MODIFY ADA SIGNAGE HEIGHT OBSTRUCTION, MIN. 80" A.F.F. PROVIDE EXTENSION TO EXISTING SIGN POST IF NECESSARY.
- 09 PROVIDE NEW CURB RAMP. REFER TO CIVIL DRAWINGS FOR EXTENTS AND ADDITIONAL DETAILS.
- 10 PROVIDE ACCESSIBLE PARKING STALLS. MATCH EXISTING STALL LENGTHS AND WIDTHS. REFER TO CIVIL DRAWINGS FOR EXTENTS AND ADDITIONAL DETAILS.
- 11 REINSTALL SALVAGED WHEEL STOPS. REFER TO CIVIL DRAWINGS FOR ADDITIONAL DETAILS.
- 12 PROVIDE ACCESSIBLE PARKING STALLS. MATCH EXISTING STALL LENGTHS AND WIDTHS. REFER TO CIVIL DRAWINGS FOR EXTENTS AND ADDITIONAL DETAILS.

AFTER HOURS DEPOSITORY (AHD) REMEDIATION

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WOOLPERT

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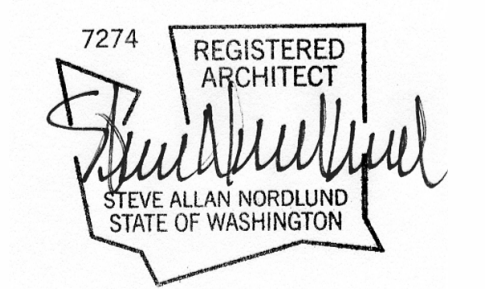
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Agency Approval _____

Seal / Signature _____



Project Name
MERCER ISLAND

Project Number
59.6780.093

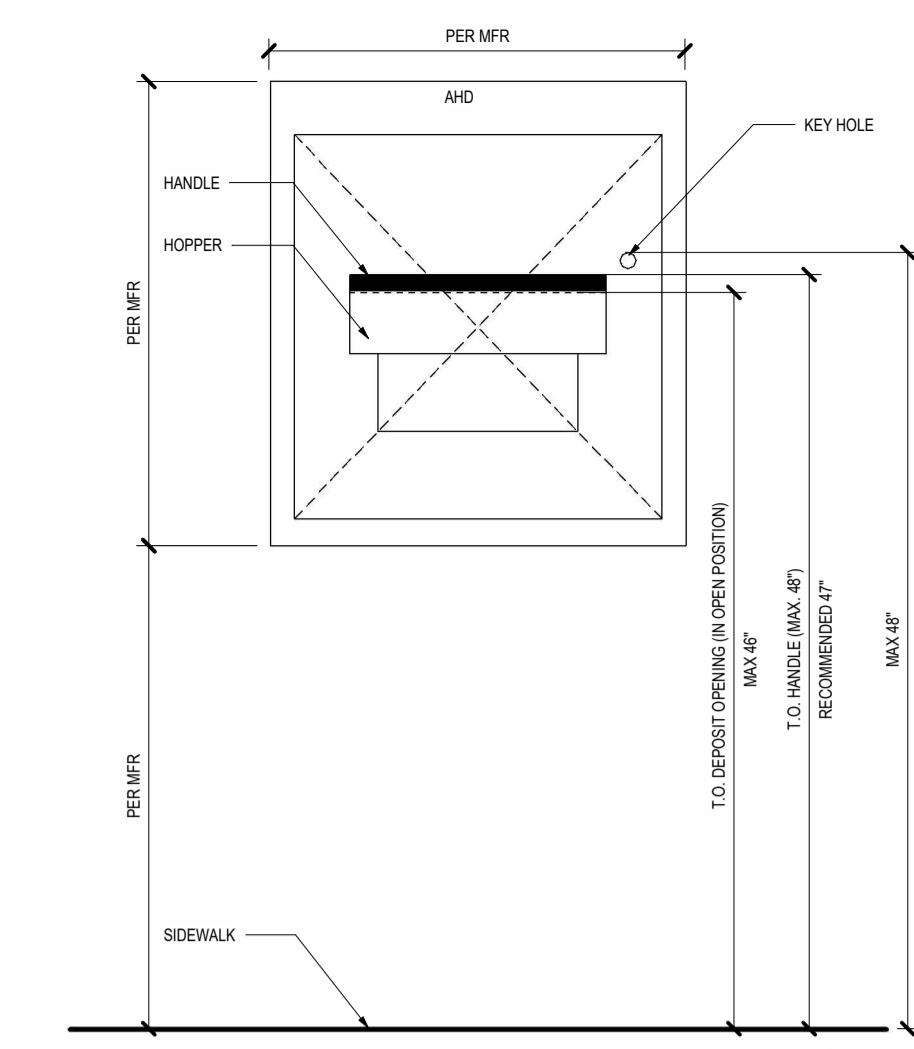
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CONSTRUCTION FLOOR PLAN

Scale
As indicated

A01.01

CONSTRUCTION AND ELECTRICAL PLAN

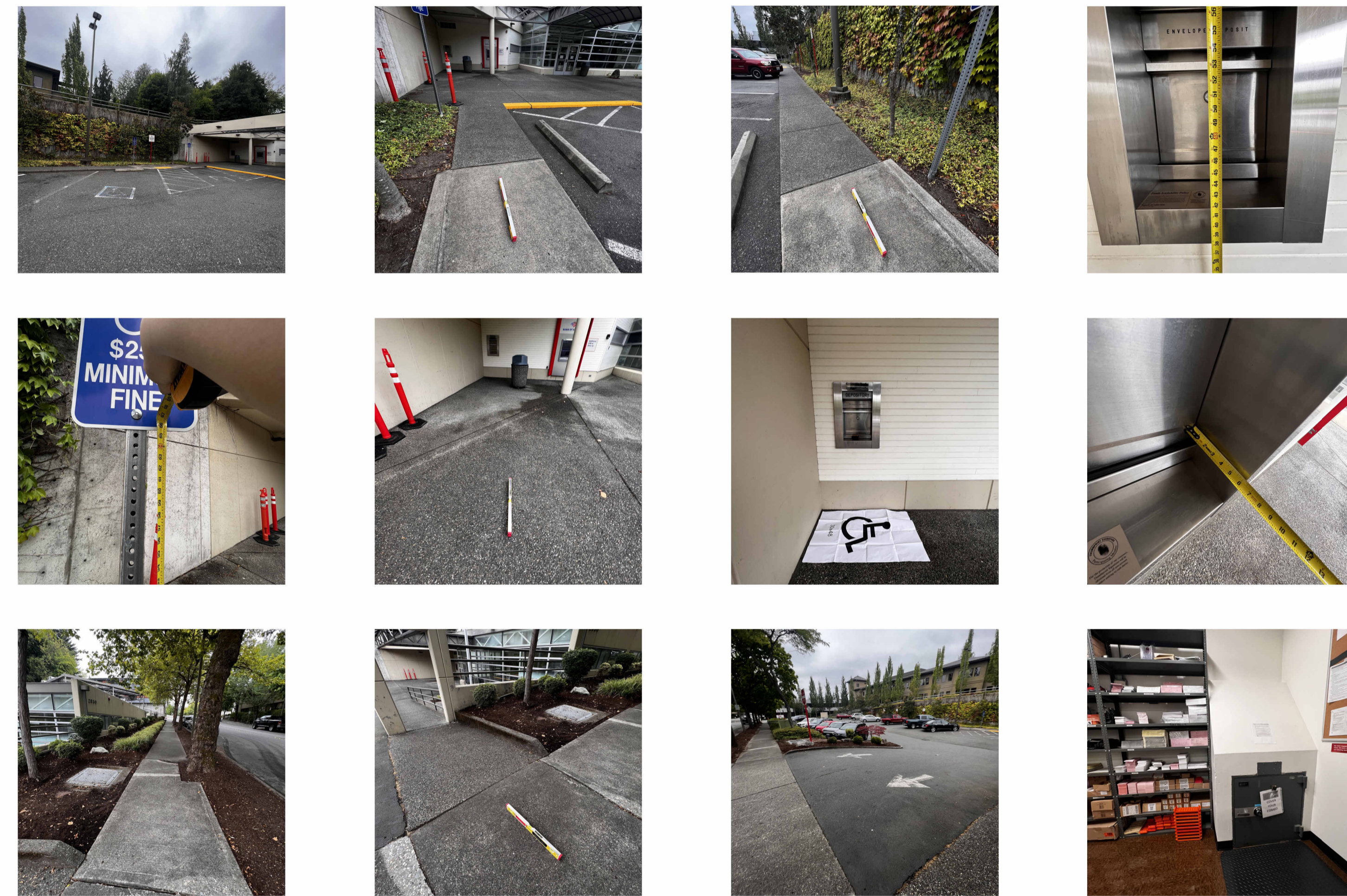
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AHD ELEVATION - REFERENCE ONLY

SCALE: 1" = 1'-0"

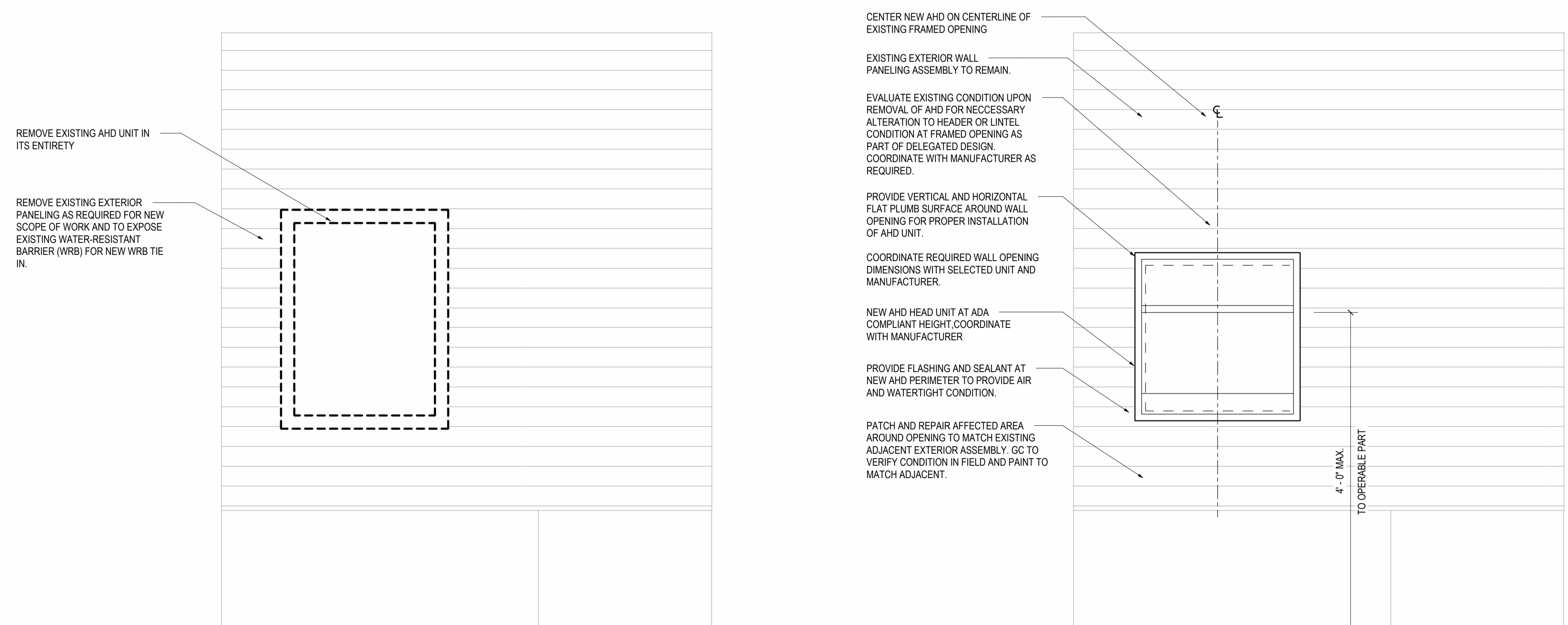
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REFERENCE PHOTOS - EXISTING CONDITIONS

SCALE: 3" = 1'-0"

02



DEMO ELEVATION

SCALE: 1" = 1'-0"

04

NEW ELEVATION

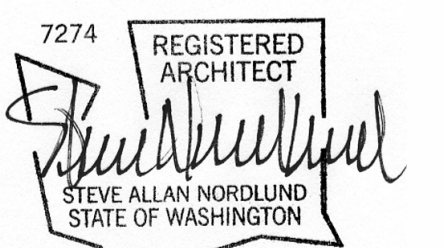
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Date	Description
04.19.2024	ISSUE FOR CLIENT REVIEW / PRICING
05.20.2024	ISSUE FOR PERMIT

Agency Approval

Seal / Signature



Project Name

MERCER ISLAND

Project Number

59.6780.093

Description

DEMOLITION & CONSTRUCTION EXTERIOR ELEVATION

Scale

As indicated

A01.02

AFTER HOURS DEPOSITORY (AHD) REMEDIATION

2830 80th Avenue Southeast, Mercer Island, WA 98040

SERIAL NUM./MANH. ID: WA3-143
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FOR REFERENCE ONLY

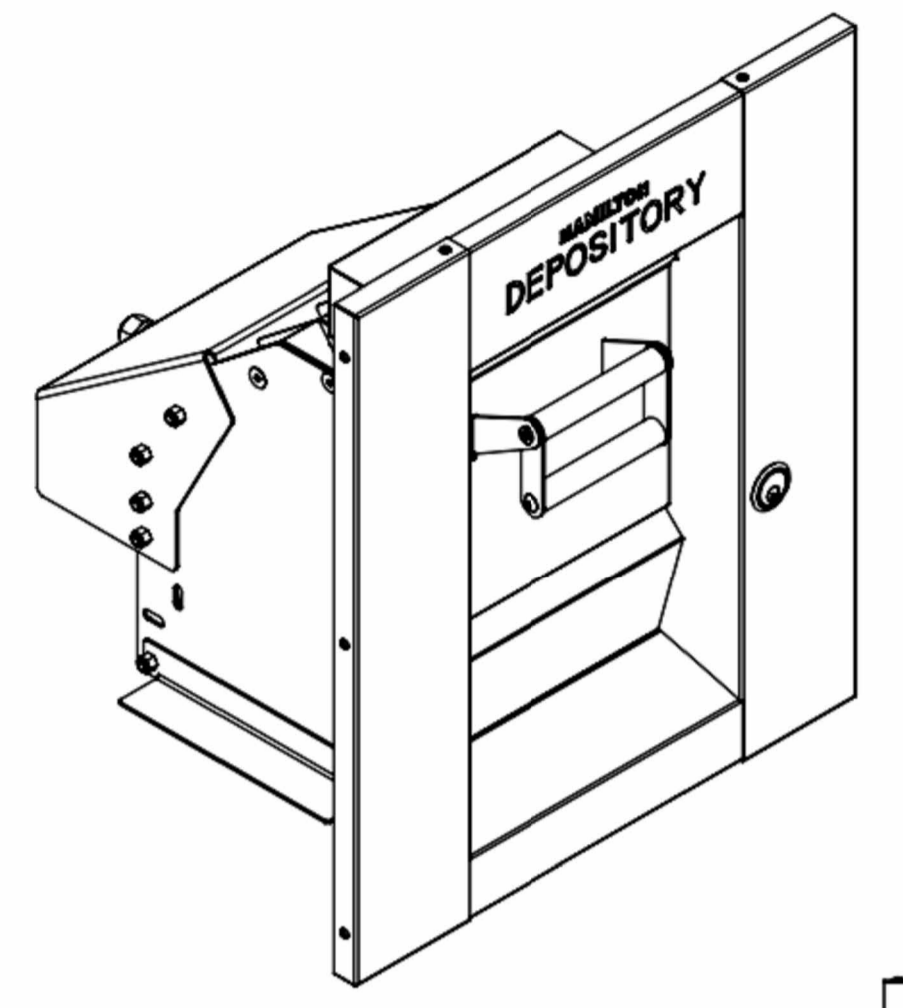
Project Name
MERCER ISLAND

Project Number
59.6780.093

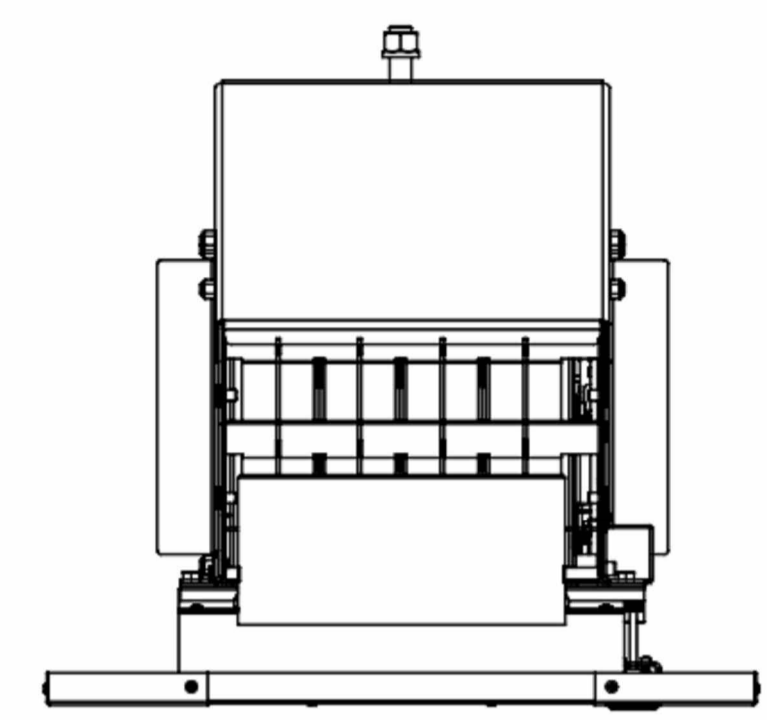
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AHD DETAILS (FOR REFERENCE ONLY)

Scale
1" = 1'-0"

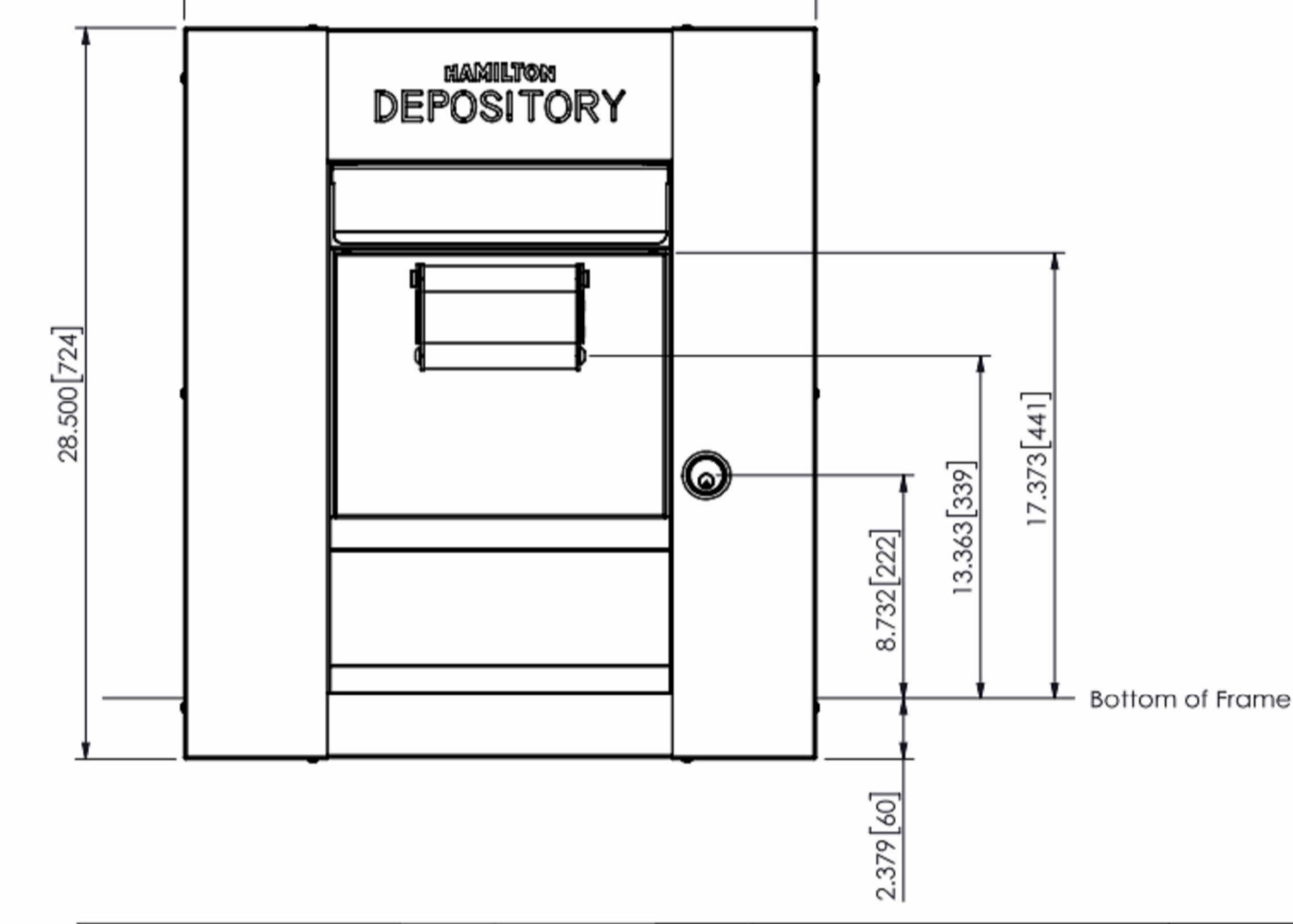
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OAK-80 Night Depository



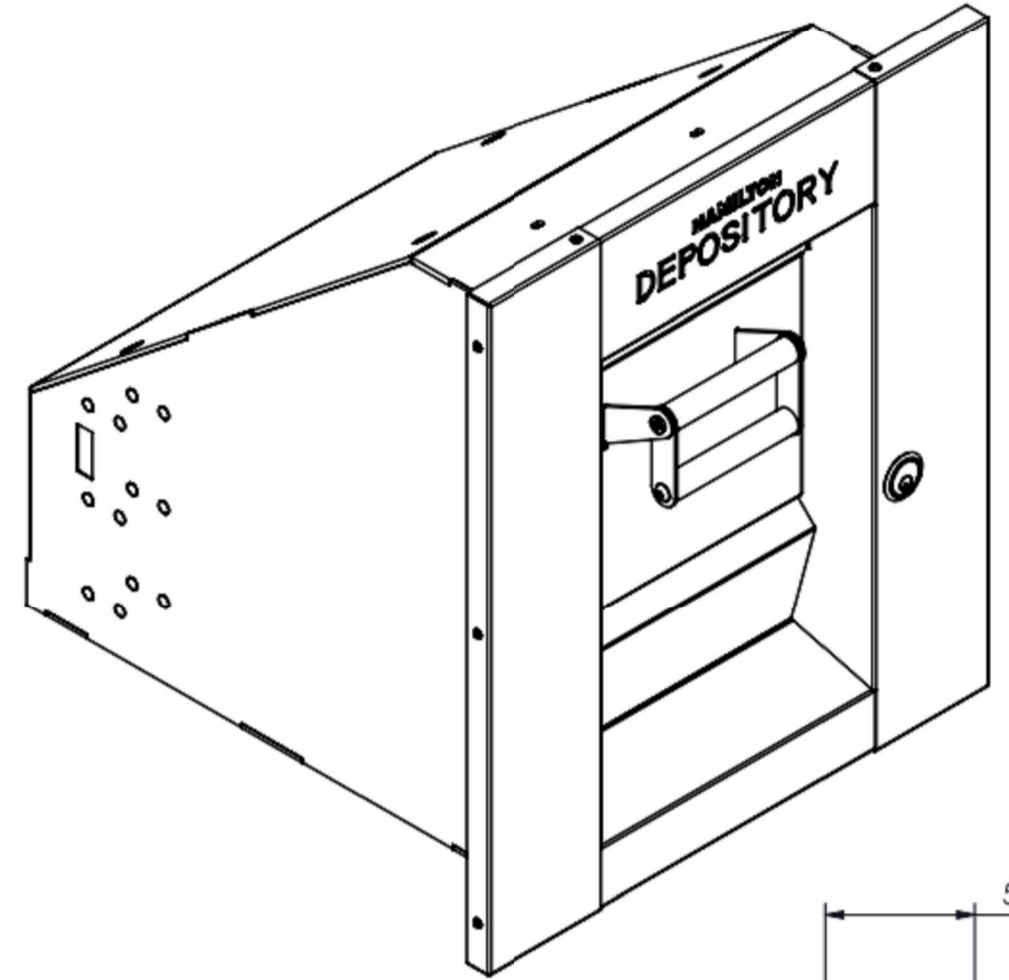
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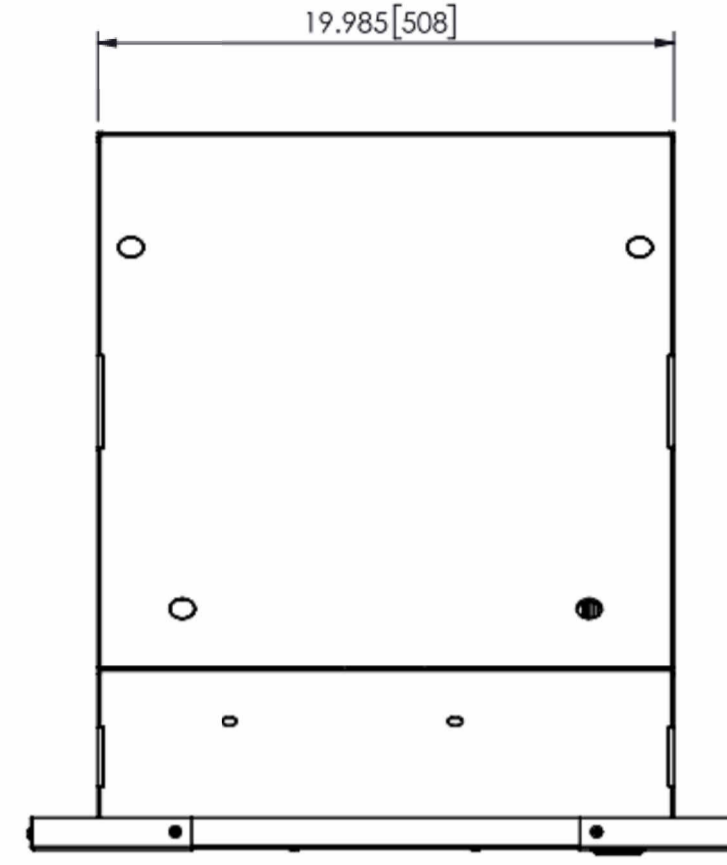
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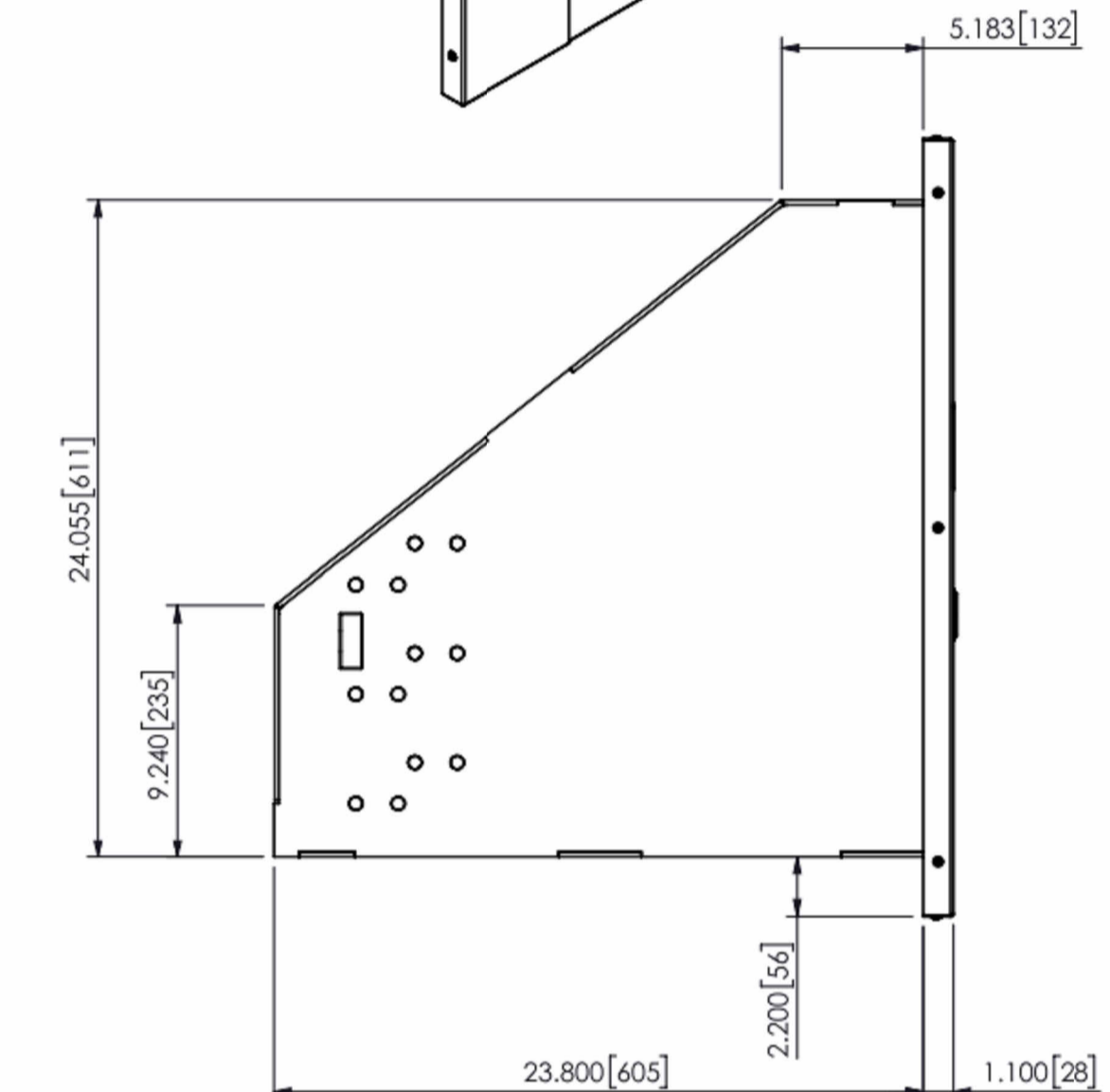
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		PART NUMBER OAK-80
DRAWN BY BIDet	DATE CHECKED BY 1/5/2023	DATE REVISION



OAK-80 Night Depository shown with B2590-STD Housing



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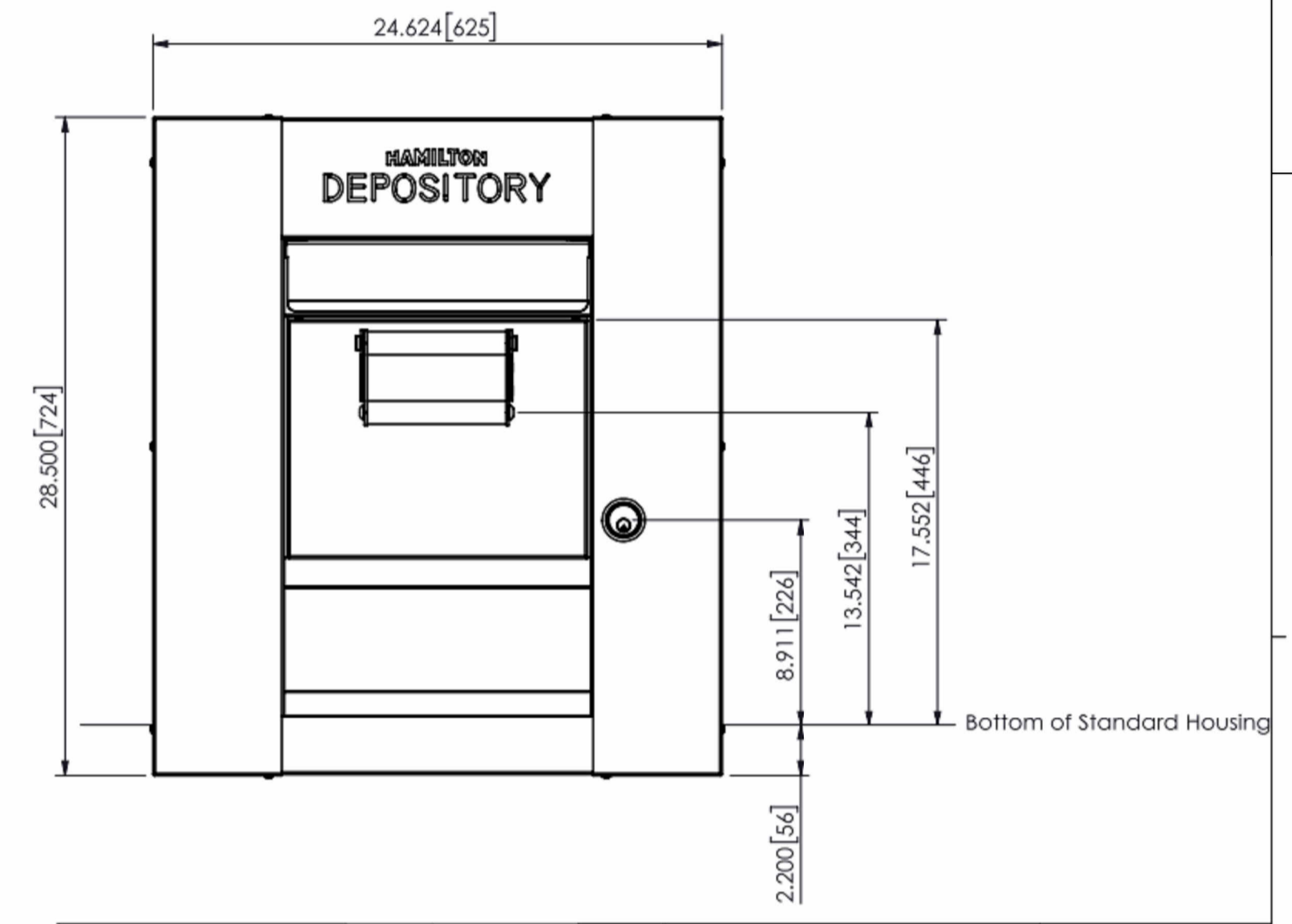
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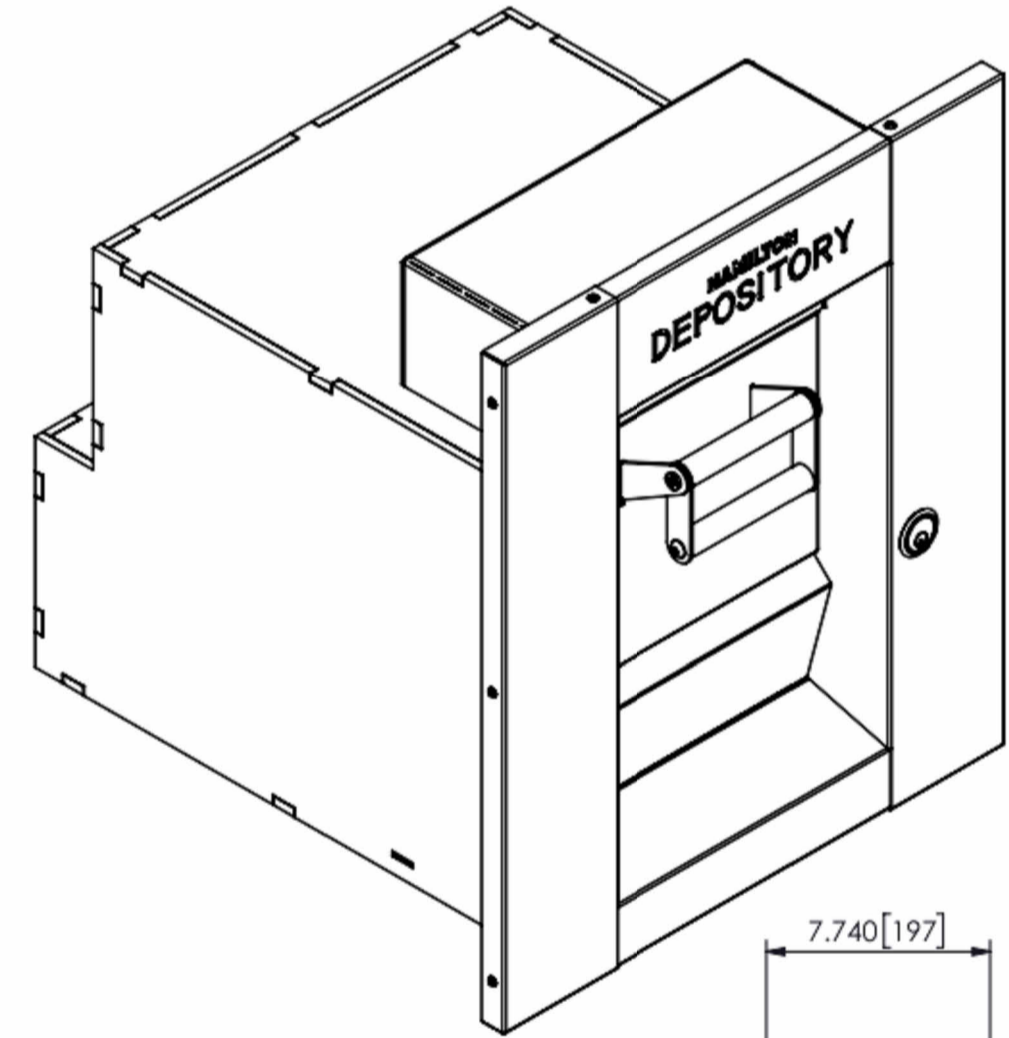


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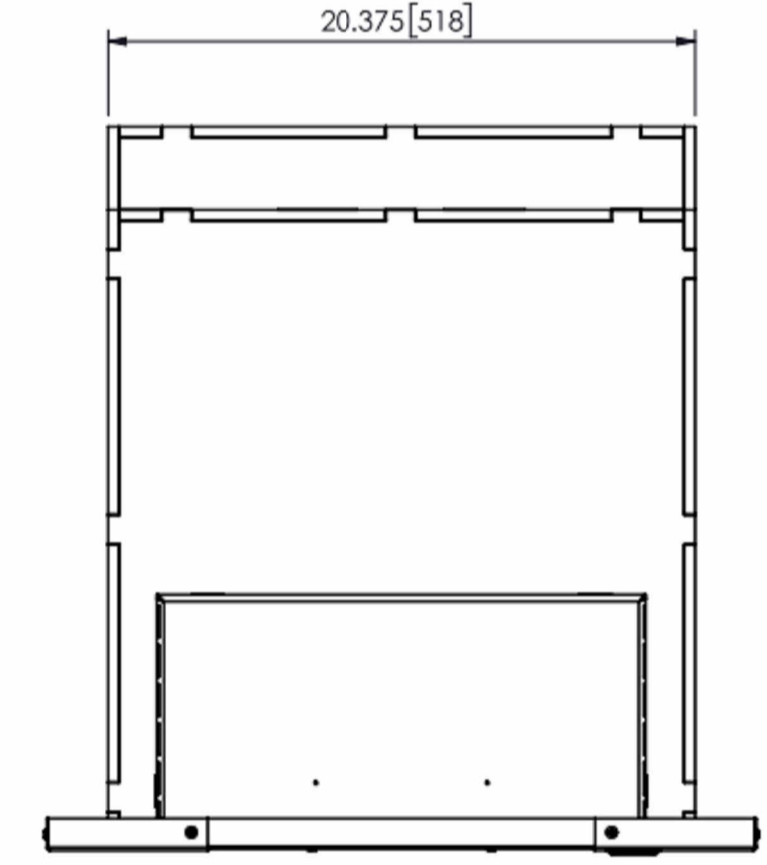
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Bottom of Standard Housing

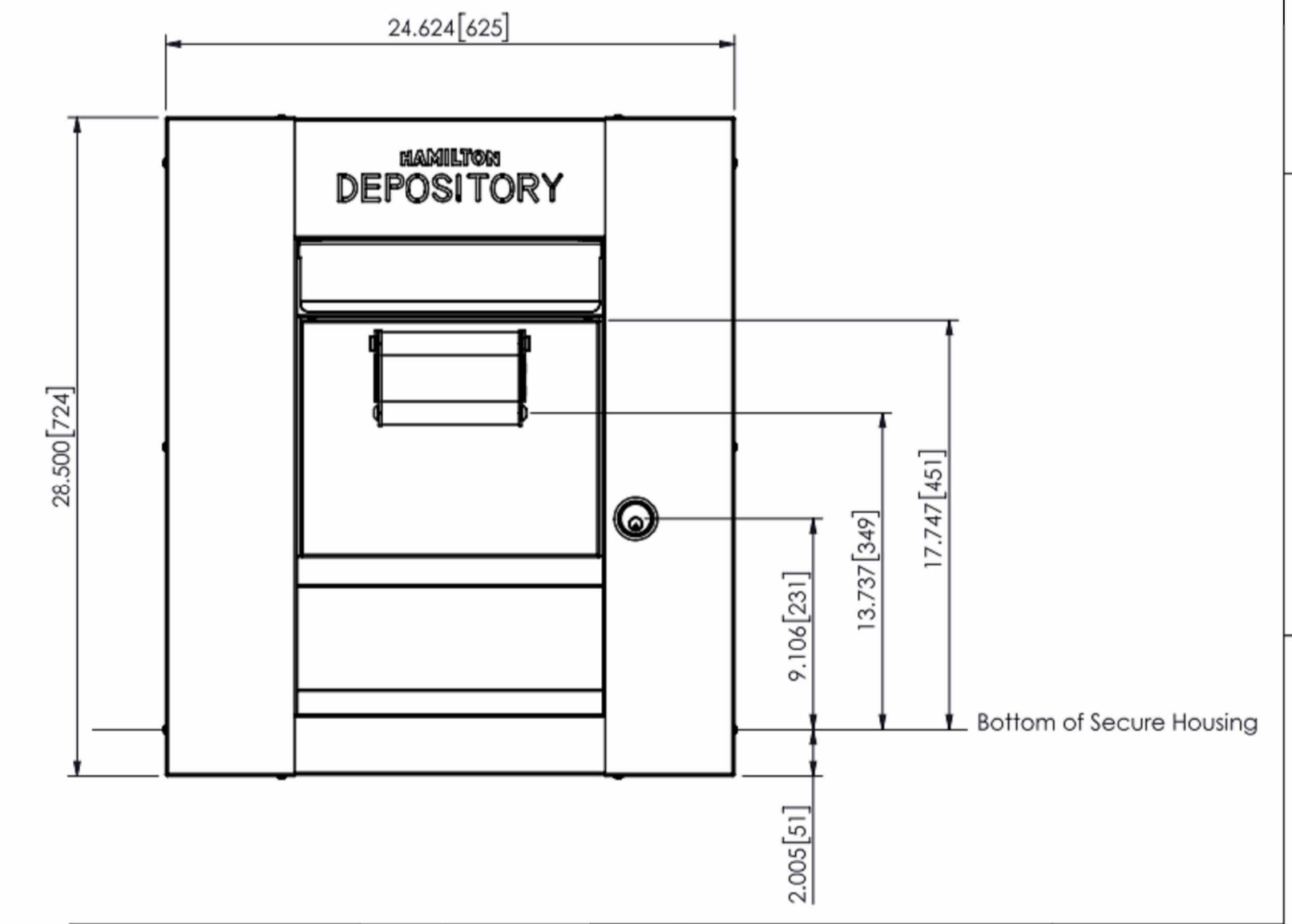
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		PART NUMBER OAK-80 + B2590-STD
DRAWN BY BIDet	DATE CHECKED BY 1/5/2023	DATE REVISION



OAK-80 Night Depository shown with B2590-SECURE Housing



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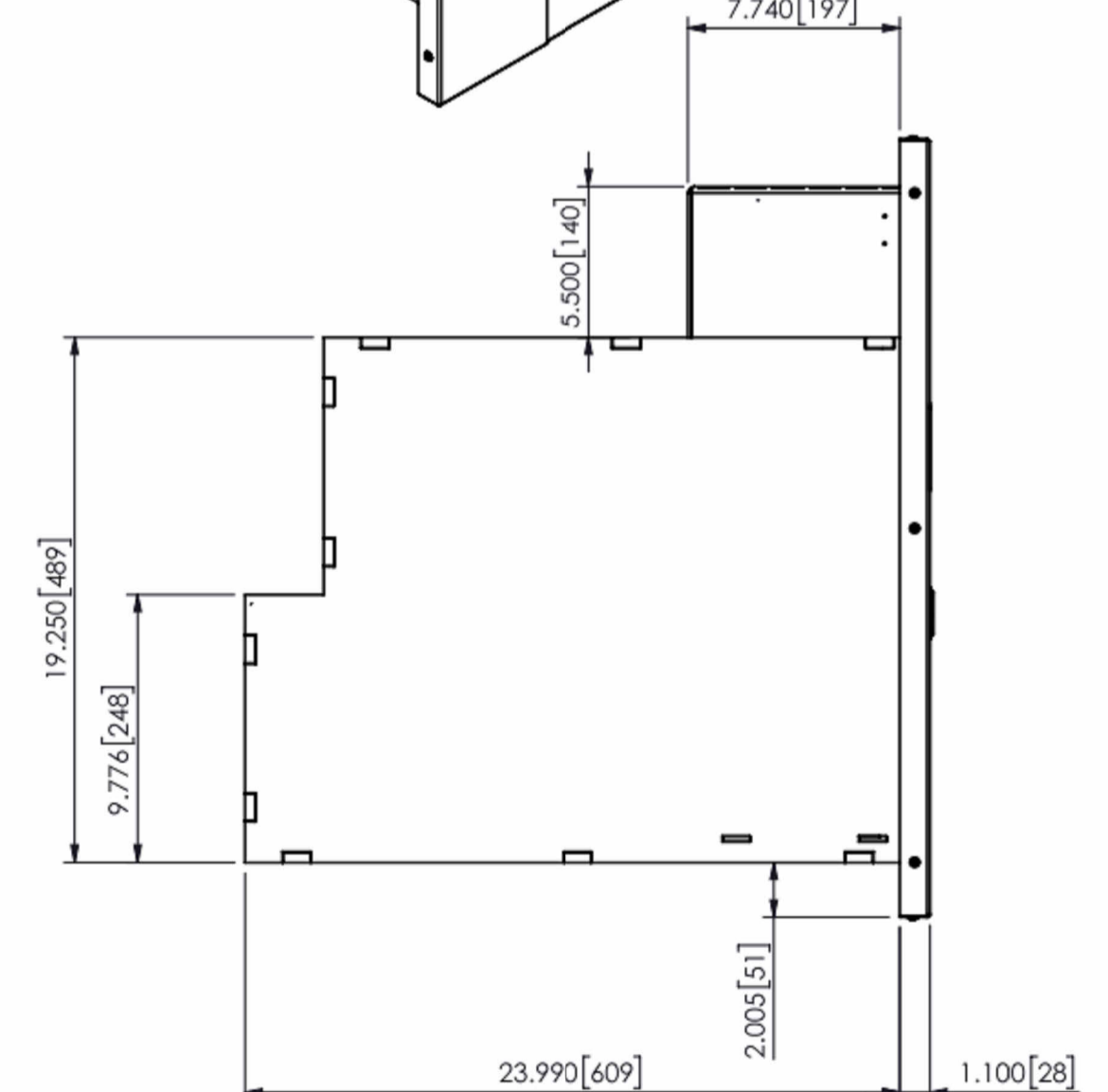


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Bottom of Secure Housing

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		PART NUMBER OAK-80 + B2590-SECURE
DRAWN BY BIDet	DATE CHECKED BY 1/5/2023	DATE REVISION



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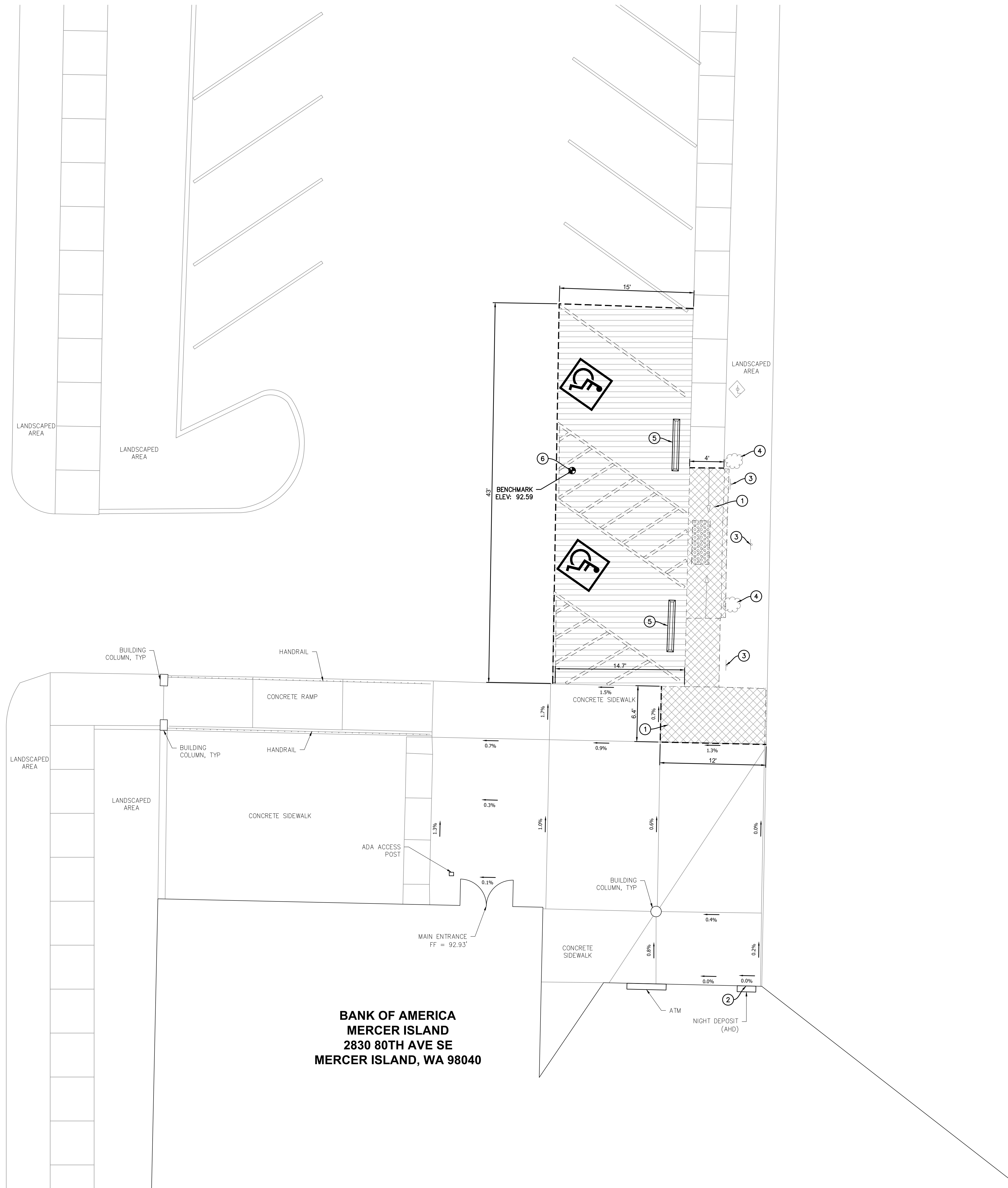
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1.100[28]

80TH AVE SE



**BANK OF AMERICA
MERCER ISLAND
2830 80TH AVE SE
MERCER ISLAND, WA 98040**

SHEET NOTES

- ① EXISTING SIDEWALK TO BE REMOVED. SAWCUT TO PROVIDE CLEAN EDGE.
- ② EXISTING AHD TO BE REMOVED AND REPLACED. SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
- ③ EXISTING SIGNAGE TO BE RAISED. SEE SHEET C2.0 FOR ADDITIONAL INFORMATION.
- ④ EXISTING TREE TO REMAIN. PROTECT DURING CONSTRUCTION.
- ⑤ EXISTING PARKING BLOCK TO BE REMOVED AND SALVAGED FOR RE-USE.
- ⑥ CONTRACTOR SHALL ESTABLISH NEW BENCHMARK PRIOR TO CONSTRUCTION.

GENERAL NOTES

A. EXISTING CONDITIONS ARE BASED ON SURVEY PROVIDED BY TRUE NORTH LAND SURVEYING, INC. COMPLETED 03/04/24.

LEGEND

- REMOVE CONCRETE SIDEWALK/CURB. SAWCUT AT NEAREST JOINT.
- ASPHALT TO BE REMOVED.
- SAWCUT
- EXISTING SLOPES
- ADA ACCESSIBLE RAMP 1:12 MAX



ADA AHD REMEDIATION
2830 80TH AVE SE
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kelly.stedman@woolpert.com
EOR - Kelly Stedman
kelly.stedman@woolpert.com

Date	Description
05.20.24	ISSUE FOR PERMIT

Seal / Signature



Project Name
MERCER ISLAND

Project Number
059.6780.093

Description
DEMOLITION PLAN

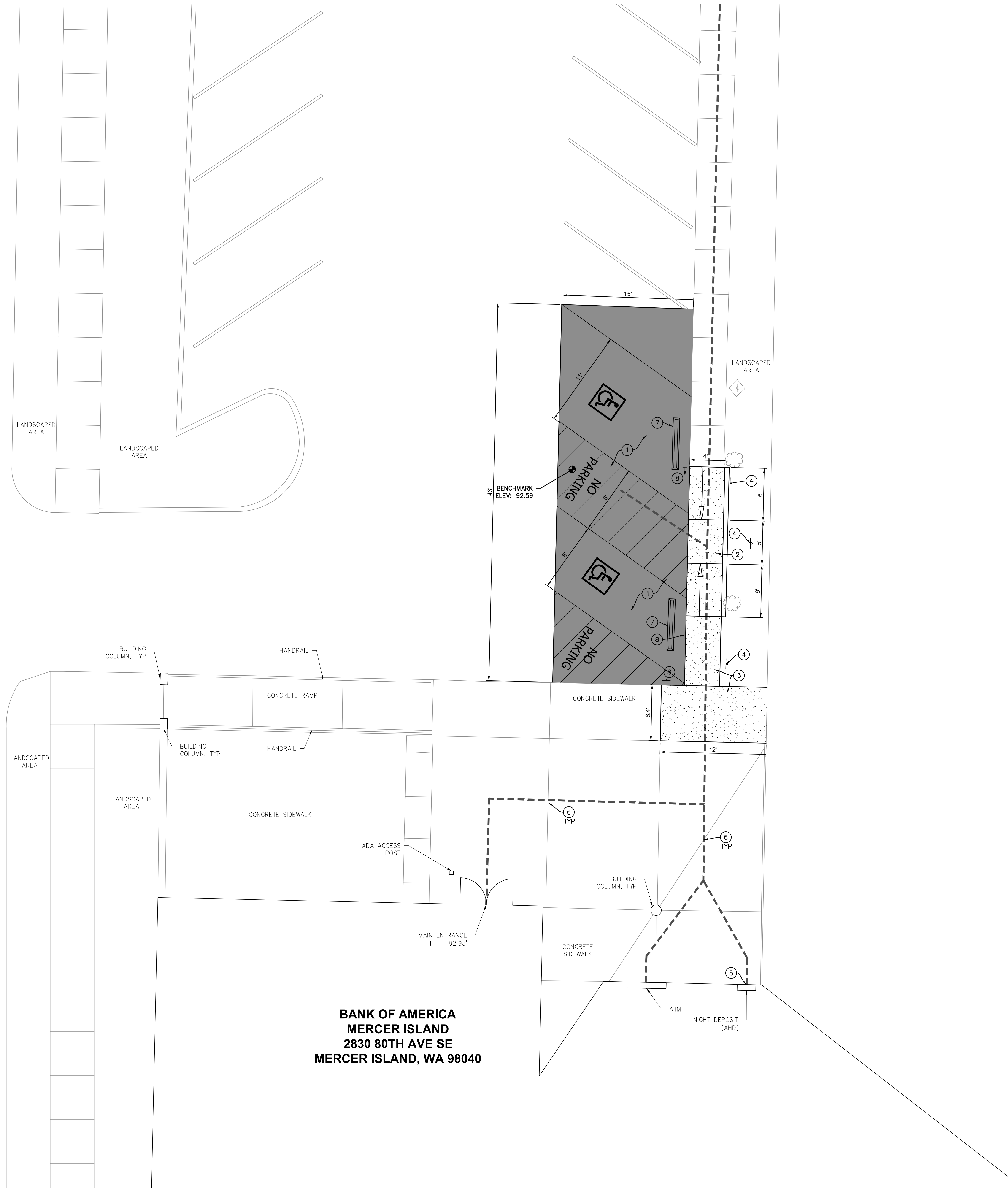
Scale
As indicated

C1.1

DEMOLITION PLAN

SCALE: 1" = 5'-0"

80TH AVE SE



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MERCER ISLAND
2830 80TH AVE SE
MERCER ISLAND, WA 98040**

SHEET NOTES

- ① ACCESSIBLE PARKING STALL. SEE DETAIL. MATCH EXISTING STALL LENGTHS. ⑥
C7.0
- ② CURB RAMP. SEE DETAIL. PROVIDE SMOOTH TRANSITION FROM RAMP TO ASPHALT. ⑤
C7.0
- ③ TURNDOWN SIDEWALK. SEE DETAIL. ③
C7.0
- ④ SIGNAGE TO BE ADJUSTED TO 80° TO BOTTOM OF THE SIGN FROM PAVEMENT. PROVIDE EXTENSION TO EXISTING SIGN POST IF NECESSARY.
- ⑤ PROPOSED AHD. SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
- ⑥ PATCH DAMAGED AREAS OF PAVEMENT IN SIDEWALK. AND FILL GAPS ALONG ACCESSIBLE PATH OF TRAVEL. GREATER THAN 0.5' WIDTH. SEE NOTE A.
- ⑦ RE-INSTALL SALVAGED PARKING BLOCK.
- ⑧ PAINT FACE OF CURB YELLOW TO MATCH EXISTING.

GENERAL NOTES

- A. CONTRACTOR TO VERIFY ACCESSIBLE PATH DOES NOT HAVE GAPS GREATER THAN 0.5' WIDTH. FILL GAPS WITH SONNEBORNE SL1 SELF LEVELING SEALANT OR APPROVED EQUAL. COLOR TO MATCH CONCRETE.
- B. CONTRACTOR TO VERIFY A MINIMUM 3' CLEAR WIDTH ALONG ACCESSIBLE PATH.
- C. ACCESSIBLE PATH SHALL HAVE A 5.0% MAXIMUM RUNNING SLOPE AND A 2.0% MAXIMUM CROSS SLOPE.
- D. CONTRACTOR SHALL VERIFY ACCESSIBLE PATH DOES NOT HAVE CHANGE IN ELEVATION GREATER THAN 0.25' VERTICAL. GRIND CONCRETE UNTIL PAVEMENT IS FLUSH.

LEGEND

- ASPHALT PAVEMENT. SEE DETAIL. ④
C7.0
- CONCRETE SIDEWALK PAVEMENT. SEE DETAIL. ③
C7.0
- ADA ACCESSIBLE PATH OF TRAVEL
- ADA ACCESSIBLE RAMP 1:12 MAX.



ADA AHD REMEDIATION
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EOR - Kelly Stedman
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Seal / Signature



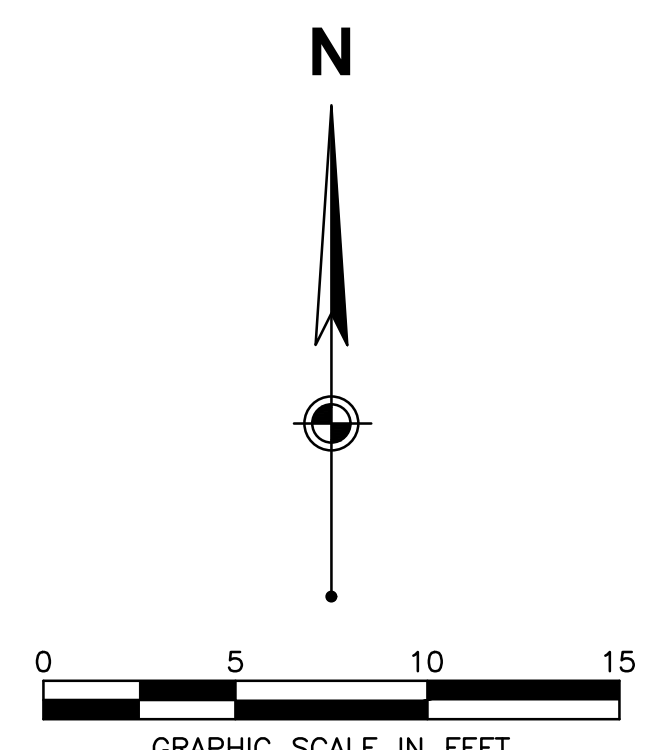
Project Name
MERCER ISLAND

Project Number
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Description
SITE PLAN

Scale
As indicated

C2.0

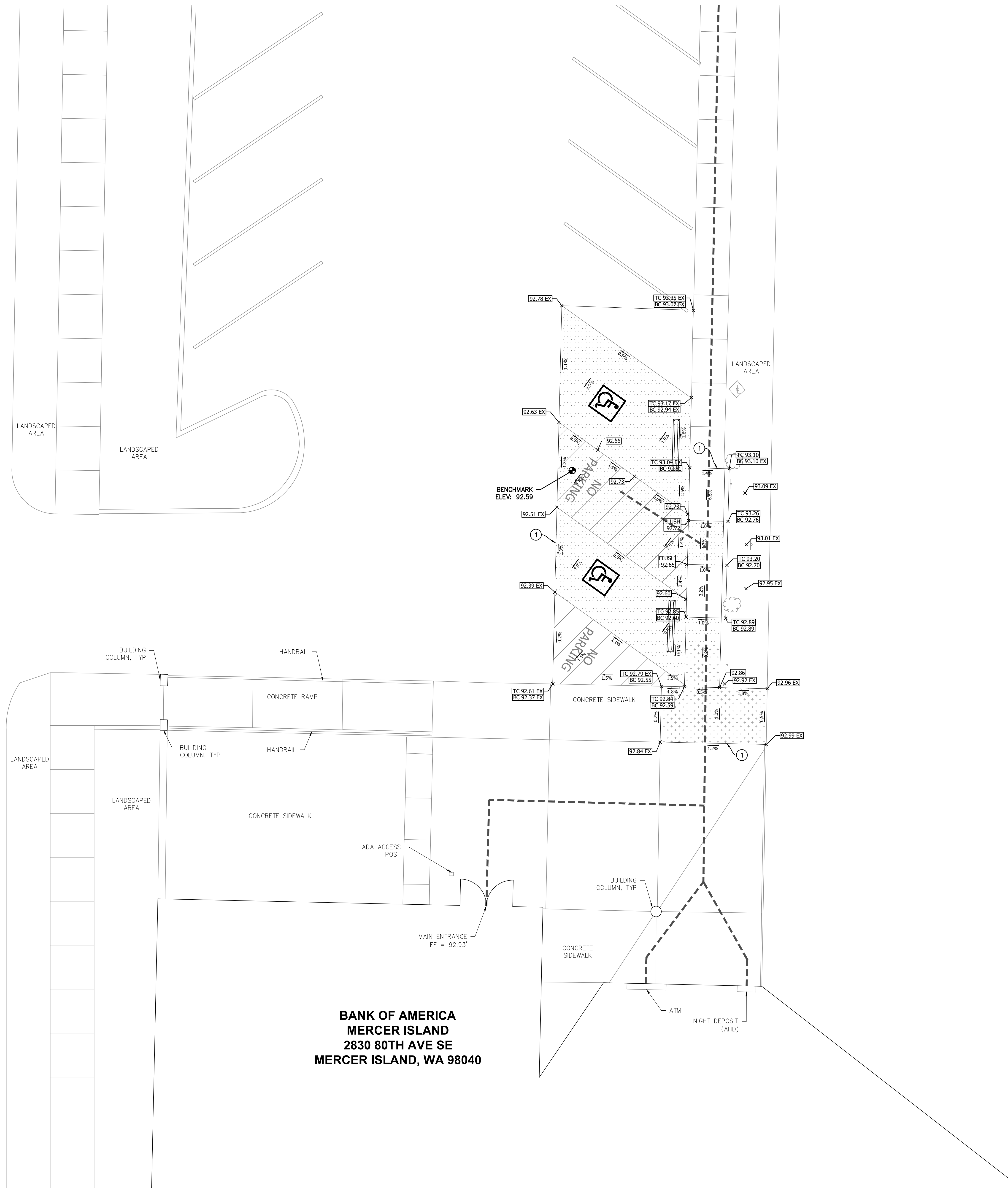


SITE PLAN

SCALE: 1" = 5'-0"

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80TH AVE SE



**BANK OF AMERICA
MERCER ISLAND
2830 80TH AVE SE
MERCER ISLAND, WA 98040**

SHEET NOTES

- 1 MATCH EXISTING GRADES

LEGEND

- TC 100.00 TOP BACK OF CURB
- BC 99.50 BOTTOM-FACE OF CURB
- 99.50 SPOT SHOT
- 99.50 (EX) EXISTING SPOT ELEVATION
- X.X% SLOPE
- ADA ACCESSIBLE PATH OF TRAVEL
- [Hatched Box] 2.0% MAXIMUM SLOPE IN ANY DIRECTION
- [Dotted Box] 5.0% MAXIMUM RUNNING SLOPE / 2.0% MAXIMUM CROSS SLOPE

BENCHMARK INFORMATION

- ⊙ BENCHMARK
ELEV: 92.59



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Date	Description
05.20.24	ISSUE FOR PERMIT

Seal / Signature



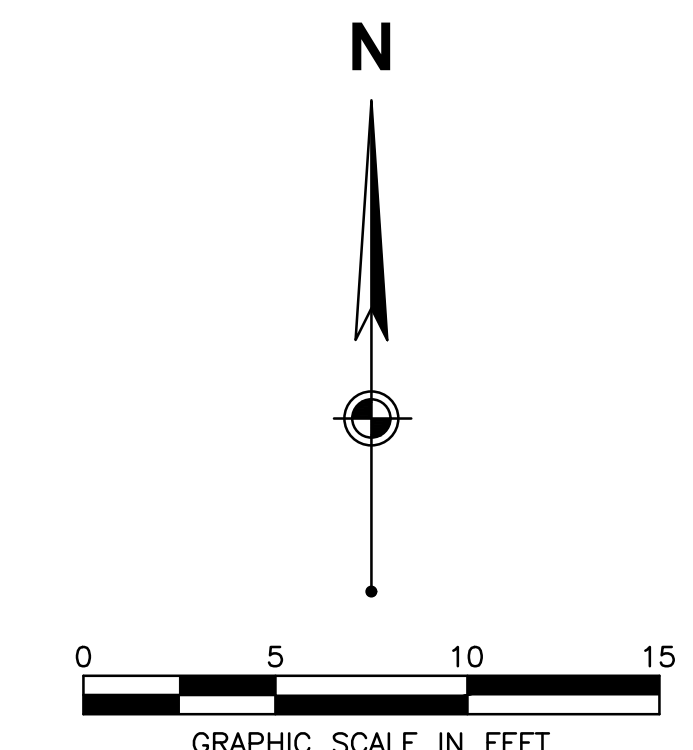
Project Name
MERCER ISLAND

Project Number
059.6780.093

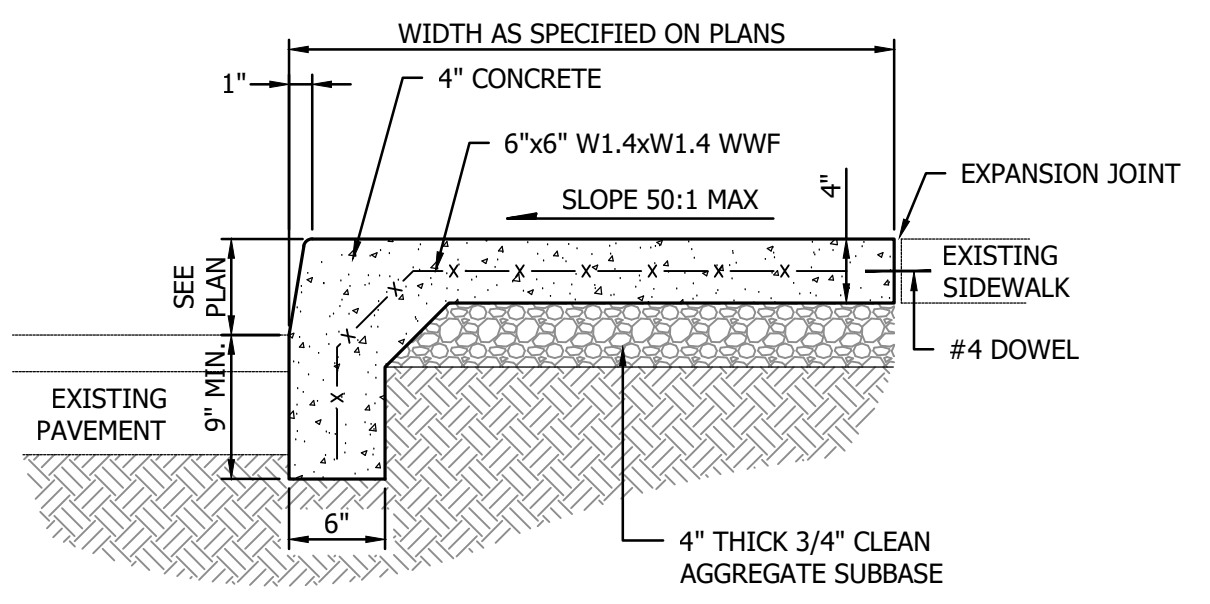
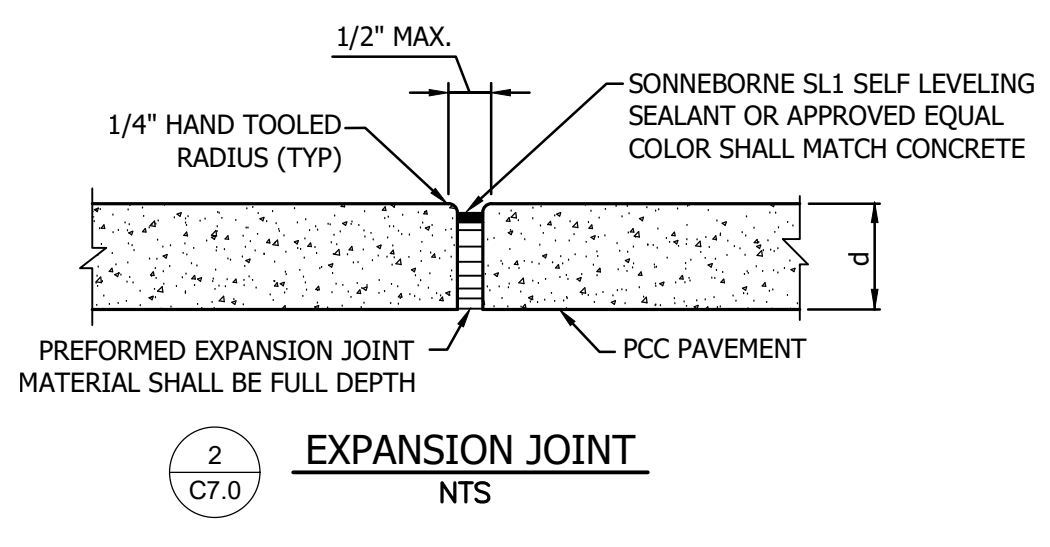
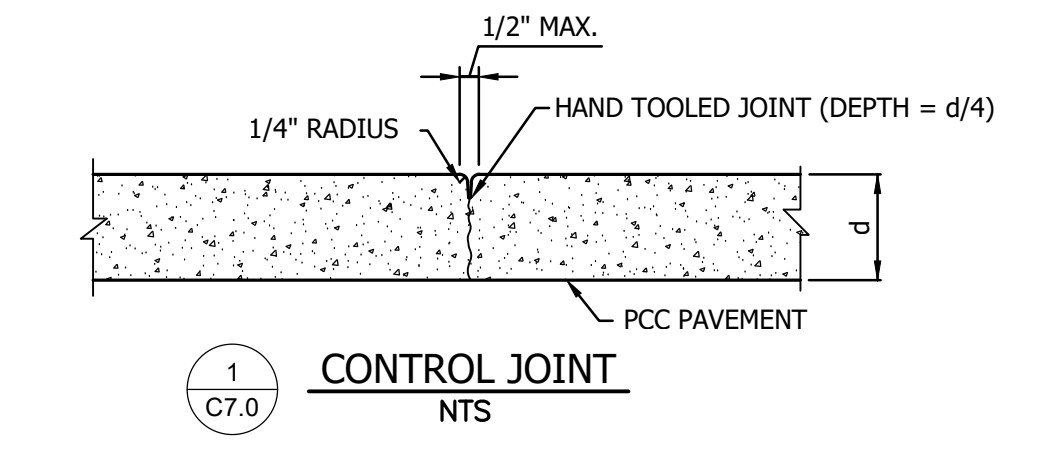
Description
GRADING PLAN

Scale
As indicated

C3.0

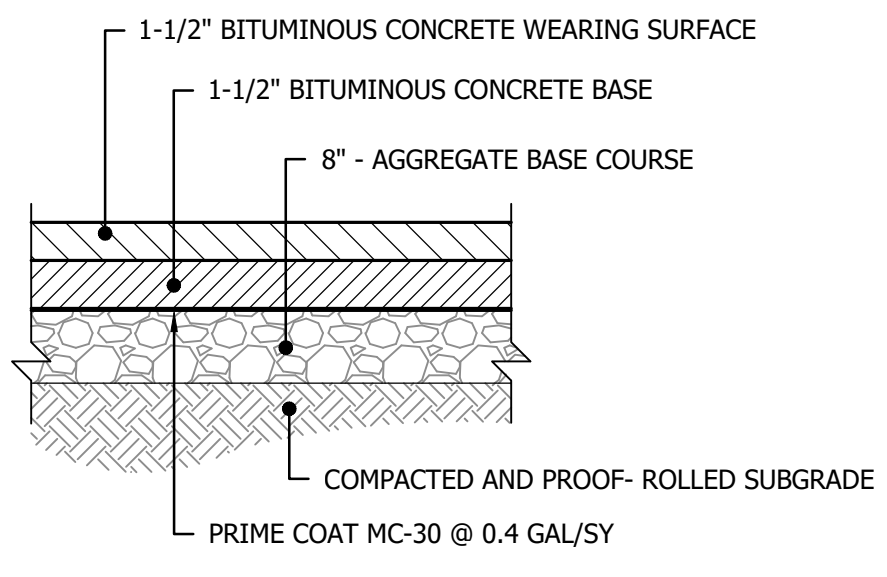


GRADING PLAN
SCALE: 1" = 5'-0"



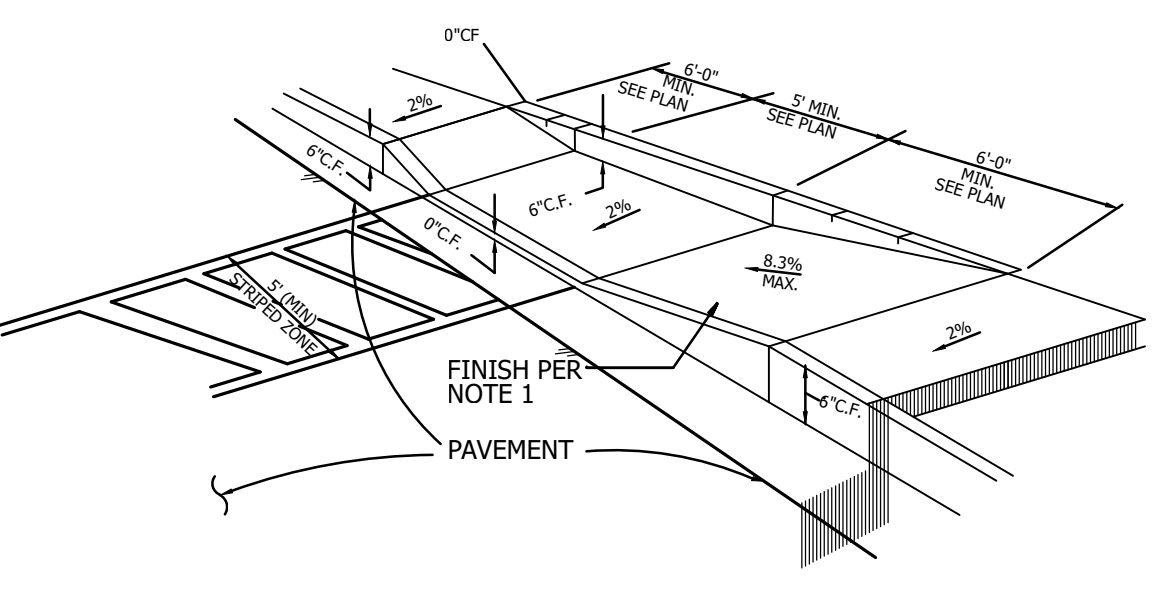
- NOTES:**
- EXPANSION JOINTS SHALL BE PROVIDED AT 100' INTERVALS, AT STRUCTURES, AND RADIUS PC AND PT. SAWED CONTROL JOINTS SHALL BE PROVIDED AT 10' SPACING MAX. OR SIDEWALK WIDTH.
 - SEE CONCRETE SIDEWALK DETAIL FOR SLOPE REQUIREMENT.

3 TURNDOWN SIDEWALK
NOT TO SCALE



- NOTE:**
- SUBGRADE SHALL BE PROOF ROLLED AND TESTED BY GEOTECHNICAL ENGINEER PRIOR TO PAVEMENT CONSTRUCTION

4 ASPHALT PAVEMENT
NOT TO SCALE



- ACCESS RAMP CONSTRUCTION NOTES:**
- THE SURFACE OF THE RAMP SHALL HAVE A TRANSVERSE BROOMED SLIP-RESISTANT SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
 - RAMP CONSTRUCTION SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL CODES AND REGULATIONS.
 - MAXIMUM SLOPE OF GUTTER IN ANY DIRECTION SHALL BE 2% AT BASE OF CURB RAMP.
 - PROVIDE 48" LANDING WITH MAXIMUM 2% SLOPE IN ANY DIRECTION AT THE TOP OF CURB RAMPS.
 - PER ADAAG, A CURB RAMP CAN HAVE A MAXIMUM RUNNING SLOPE OF 12:1 (OR 1" PER FOOT) FOR A MAXIMUM VERTICAL RISE OF 6". CONTRACTOR TO ENSURE VERTICAL RISE OF RAMP DOES NOT EXCEED 6".
 - RAMP SURFACE AND CURB IN FRONT OF THE ADA COMPLIANT CURB RAMPS TO BE PAINTED YELLOW. PAINT MIXTURES TO PROVIDE MICROKINIZED POLYMER SLIP RESISTANT ADMIXTURE CERTIFIED BY MANUFACTURER TO BE COMPATIBLE WITH SOLVENT PAINT COATINGS AND HAVE MINIMAL EFFECTS ON COATING VISCOSITY. DO NOT USE ADMIXTURE CONTAINING SILICA.

5 CURB RAMP
NOT TO SCALE

GENERAL NOTES

ALL WORK PERFORMED ON THIS PROJECT SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG), TO THE LATEST EDITIONS AND ALL APPLICABLE SECTIONS OF THE WASHINGTON DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION, TO ALL APPLICABLE REQUIREMENTS/CODES, TO ALL APPLICABLE REQUIREMENTS/CODES OF THE CITY, COUNTY, AND STATE WHERE THIS PROJECT IS LOCATED, TO PROJECT SPECIFIC SPECIFICATIONS, AND TO BEST BUY STANDARDS AND SPECIFICATIONS.

PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, AND CONDITIONS AFFECTING THEIR WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IN ADDITION, THE CONTRACTOR SHALL VERIFY THE ENGINEER'S LINE AND GRADES. IF THERE ARE ANY DISCREPANCIES FROM WHAT IS SHOWN ON THE CONSTRUCTION PLANS, STANDARD SPECIFICATIONS AND/OR SPECIAL DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY THE DISCREPANCIES. FAILING TO SECURE SUCH INSTRUCTION, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTION ARISING WITH RESPECT TO THE TRUE INTENT OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE LOCATION OF ALL UNDERGROUND UTILITIES AND PROTECT THEM FROM DAMAGE DURING CONSTRUCTION. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED. DETAILED INFORMATION RELATIVE TO THE LOCATION OF FACILITIES AND THE WORKING SCHEDULES OF THE UTILITY COMPANIES FOR REMOVING OR ADJUSTING THE UTILITY SHALL BE OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES.

THE CONTRACTOR SHALL PROCEED AT HIS OWN RISK IN PERFORMING ANY WORK PRIOR TO VERIFYING OR RECEIVING ALL NECESSARY PERMITS FOR THE WORK TO BE DONE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ADEQUATE SIGNS, TRAFFIC CONTROL DEVICES, AND WARNING DEVICES TO INFORM AND PROTECT THE PUBLIC DURING ALL PHASES OF CONSTRUCTION.

THE CONTRACTOR SHALL REMOVE FROM THE SITE AND DISPOSE OF IN A LEGAL MANNER, ANY AND ALL MATERIALS AND DEBRIS WHICH RESULT FROM CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR RETURNING ALL AREAS AFFECTED BY EQUIPMENT OR CONSTRUCTION TO EXISTING CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL NEW WORK UNTIL COMPLETION OF THIS CONTRACT.

ALL PROPOSED ITEMS ARE INTENDED TO BE PROVIDED AND INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.

UTILITIES (BOTH PUBLIC AND PRIVATE) AND APPURTENANCES TO REMAIN IN THEIR PRESENT LOCATION SHALL BE ADJUSTED TO PROPOSED GRADE WHERE NECESSARY.

PROVIDE POSITIVE DRAINAGE IN ALL AREAS. PAVEMENT/SIDEWALKS SHALL SLOPE AWAY FROM BUILDING.

A SMOOTH TRANSITION SHALL BE PROVIDED FROM PROPOSED WORK IN THIS CONTRACT TO ALL ADJACENT EXISTING FEATURES.

PAVING NOTES

THE EXISTING ASPHALT EDGE SHALL BE PROPERLY SEALED WITH TACK COAT PRIOR TO PROPOSED PAVING IN ALL AREAS WHERE EXISTING ASPHALT PAVEMENT MEETS PROPOSED ASPHALT PAVEMENT.

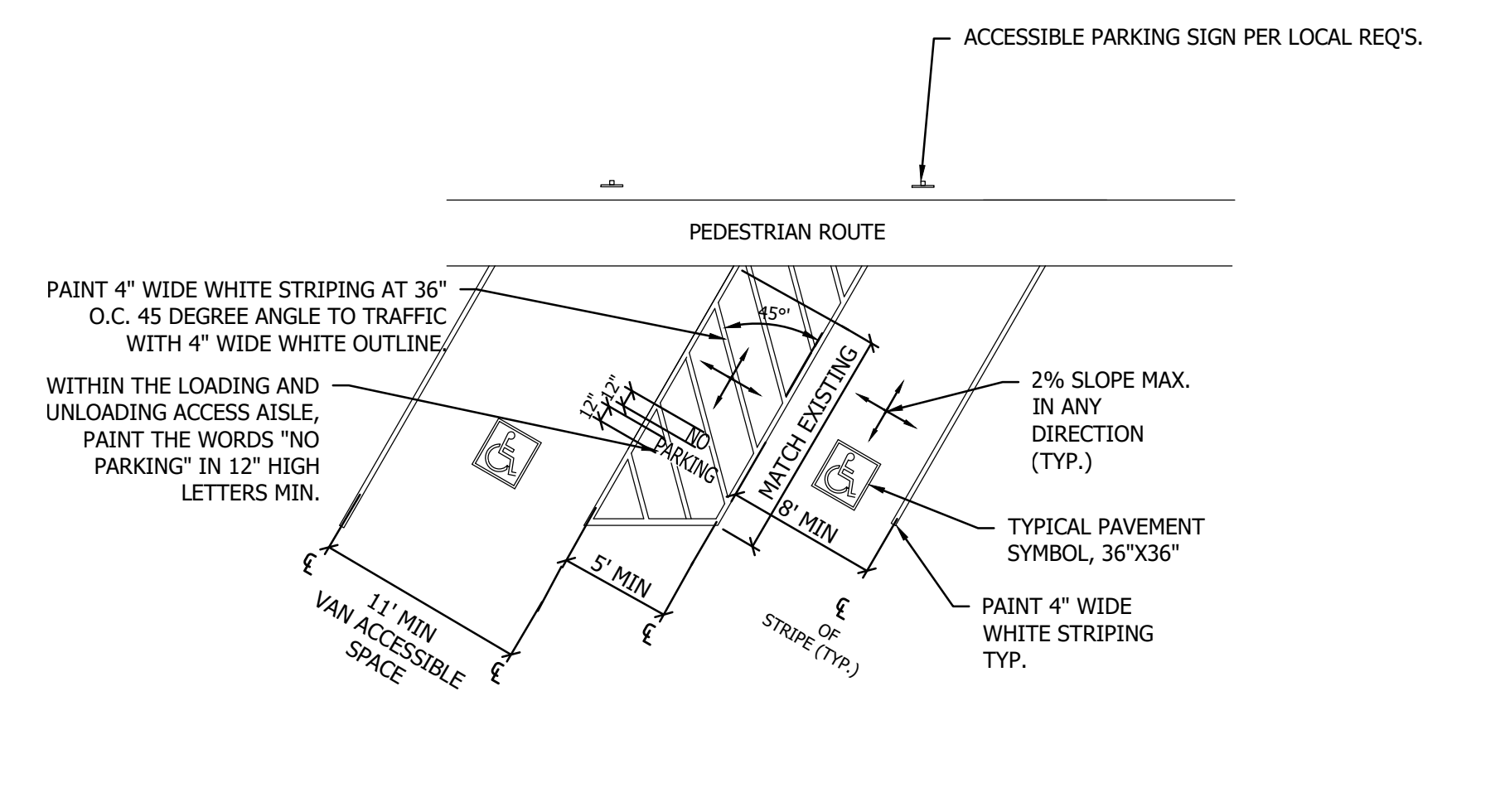
CONTOURS AND SPOT GRADES SHOWN REPRESENT FINAL CONSTRUCTED SURFACE. PAVEMENT AND OTHER IMPROVEMENTS MUST BE TAKEN INTO ACCOUNT WHEN PERFORMING GRADING.

COMPACTION TESTING OF THE SUB GRADE WILL BE PERFORMED BY THE CONTRACTOR WITH A REPUTABLE GEOTECHNICAL COMPANY. THE CONTRACTOR SHALL BE IN ATTENDANCE DURING TESTS.

THE SUB GRADE IN PAVED AREAS SHALL BE PROOF-ROLLED WITH A LOADED DUMP TRUCK OR SIMILAR PNEUMATIC Tired VEHICLE WITH A LOAD WEIGHT OF AT LEAST 20 TONS. ANY RUTTING OR PUMPING AREAS SHALL BE REPAIRED.

AREAS THAT RUT OR PUMP SHALL BE UNDERCUT TO STABLE SOILS OR AN EVALUATION MADE BY THE GEOTECHNICAL ENGINEER TO DETERMINE METHOD OF SUBGRADE STABILIZATION METHODS.

6 ACCESSIBLE PARKING STALLS
NOT TO SCALE



- NOTES:**
- THE INFORMATION AND DIMENSIONS PROVIDED ON THE SITE PLAN SHALL APPLY UNLESS OTHERWISE NOTICED.

SITE DETAILS
SCALE: NO SCALE

ADA AHD REMEDIATION
2830 80TH AVE SE
MERCER ISLAND, WA 98040
SERIAL NUM./MANH. ID: WA3-143
NRSP VERSION: 4.0
BULLETIN: 04-2022

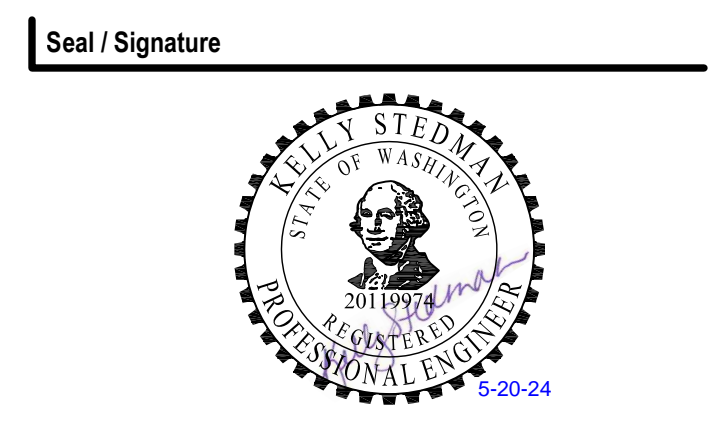
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C7.0