

PLANTING PLAN LEGEND:

- PROJECT SITE LIMITS
- LIMITS OF CATEGORY III WETLAND
- CATEGORY III WETLAND
- CENTERLINE OF TYPE 2 WATERCOURSE
- STEEP SLOPE
- WETLAND IMPACT (3,075 SF)
- WETLAND BUFFER IMPACT (3,078 SF)

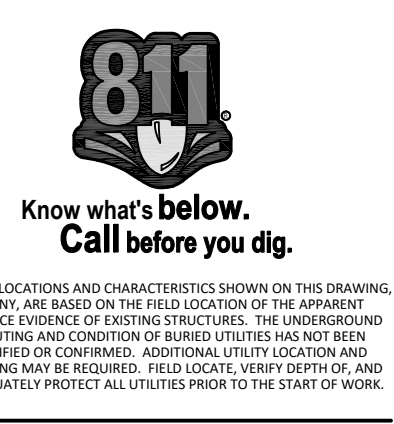
WETLAND AND WETLAND BUFFER IMPACT DETAIL:

- WETLAND IMPACT - STRUCTURE (1,833 SF)
- WETLAND IMPACT - 5' BUILDING SETBACK (664 SF)
- WETLAND IMPACT - TEMPORARY CONSTRUCTION (578 SF)
- WETLAND BUFFER IMPACT - STRUCTURE/DRIVEWAY (1,979 SF)
- WETLAND BUFFER IMPACT - 5' BUILDING SETBACK (123 SF)
- WETLAND BUFFER - TEMPORARY CONSTRUCTION (976 SF)

MITIGATION PLAN NOTE:

THIS CONCEPTUAL PLAN MAXIMIZES SITE MITIGATION PLANTING, AND EXCEEDS THAT WHICH WOULD BE REQUIRED TO MITIGATE BUFFER IMPACTS AND TEMPORARY CONSTRUCTION IMPACTS. THE FINAL PLAN MAY BE REVISED TO ADDRESS ISSUES OF VIABILITY DUE TO SLOPE AND OTHER SITE CONDITIONS.

CRITICAL AREA ENHANCEMENT PLAN
- MI TREEHOUSE LLC -
5637 EAST MERCER WAY
MERCER ISLAND, WASHINGTON



NO.	DATE	NOTES
1.	09/08/15	ADDED STREAM
2.	10/21/15	REVISED PER CITY COMMENTS
3.	12/04/18	REVISED PER NEW SITE PLAN
4.	12/17/18	ADDED IMPACT SITE PLAN
5.	01/24/19	REVISED PLANTING PLAN
6.	01/25/19	ADDED MITIGATION PLAN NOTE
7.	10/30/19	REVISED PER NEW SITE PLAN
8.	12/02/20	REVISED PER NEW SITE PLAN

DATE: 03/04/2015
JOB NUMBER: 14-206

SITE PLAN

5.00 4=17'48"50" L=113.48

MONITORING PLAN & MAINTENANCE PLAN

ENHANCEMENT PLAN GOALS, OBJECTIVES, AND PERFORMANCE STANDARDS

ENHANCEMENT PLAN GOALS, OBJECTIVES, AND PERFORMANCE STANDARDS ARE OUTLINED IN TABLE 2-1 (BELOW). THE GOALS AND OBJECTIVES OF THIS PLAN ARE CONSIDERED ACHIEVED WHEN THE PERFORMANCE STANDARDS ARE SATISFIED.

MONITORING PLAN

AS-BUILT

FOLLOWING COMPLETION OF THE WORK SHOWN ON THIS PLAN, A QUALIFIED PROFESSIONAL SHALL PREPARE AN AS-BUILT OF THE COMPLETED WORK. THE AS-BUILT SHALL SUMMARIZE THE COMPLETED WORK AS WELL AS ANY DEVIATIONS FROM THE APPROVED VERSION OF THIS PLAN.

BASELINE MONITORING DATA SHALL BE COLLECTED AT THE TIME OF THE AS-BUILT (SEE "ANNUAL COMPLIANCE MONITORING" FOR FIELD DATA COLLECTION REQUIREMENTS). PERMANENT PHOTO POINTS SHALL BE ESTABLISHED AT THE TIME OF THE AS-BUILT TO PHOTOGRAPHICALLY DOCUMENT REPRESENTATIVE CONDITIONS WITHIN BUFFER AREAS. BASELINE MONITORING AND PHOTOGRAPHS SHALL BE SUBMITTED WITH THE AS-BUILT.

THE AS-BUILT AND BASELINE MONITORING DATA SHALL BE SUBMITTED TO THE CITY OF MERCER ISLAND NO LATER THAN 30 DAYS FROM THE DATE THAT THE WORK SHOWN ON THIS PLAN HAS BEEN COMPLETED.

ANNUAL MONITORING

FOLLOWING ACCEPTANCE OF THE AS-BUILT BY THE CITY OF MERCER ISLAND, ANNUAL COMPLIANCE MONITORING SHALL BE COMPLETED FOR A PERIOD OF FIVE (5) YEARS. ANNUAL COMPLIANCE MONITORING SHALL BE COMPLETED BY A QUALIFIED PROFESSIONAL AND SHALL COMPRISE A SITE INVESTIGATION IN AUGUST OR SEPTEMBER AND REPORTING TO THE CITY OF MERCER ISLAND BY NOVEMBER 30 OF EACH MONITORING YEAR.

MONITORING SHALL COMPRISE A QUANTITATIVE ASSESSMENT OF CONDITIONS WITHIN BUFFER AREAS FOR PURPOSES OF EVALUATING THE CURRENT YEAR'S SUCCESS STANDARDS. AT THE TIME OF EACH MONITORING, THE FOLLOWING INFORMATION SHALL BE COLLECTED WITHIN BUFFER AREAS AND ASSESSED RELATIVE TO THE SUCCESS STANDARDS ESTABLISHED FOR THE PROJECT:

- THE CONDITION OF INSTALLED PLANT STOCK INCLUDING SURVIVORSHIP, HEALTH, AND VIGOR. THE RATIONALE FOR POOR CONDITIONS, IF PRESENT, WILL BE DETERMINED.

A DIRECT COUNT INVENTORY AND ASSESSMENT OF INSTALLED PLANT STOCK SHALL BE USED TO EVALUATE PLANT STOCK CONDITIONS. IN ADDITION, PHOTOGRAPHS OF BUFFER AREAS SHALL BE TAKEN FROM THE PERMANENT PHOTO POINTS ESTABLISHED DURING THE AS-BUILT.

THE RESULTS OF EACH MONITORING ASSESSMENT SHALL BE SUMMARIZED IN A WRITTEN REPORT AND SUBMITTED TO THE CITY OF MERCER ISLAND NO LATER THAN NOVEMBER 30 OF THE RESPECTIVE MONITORING YEAR.

CONTINGENCY PLAN

SHOULD ANY COMPLIANCE MONITORING ASSESSMENT REVEAL THAT THE PERFORMANCE STANDARDS FOR THE RESPECTIVE YEAR ARE NOT SATISFIED, THE PERMITTEE SHALL WORK WITH THE CITY OF MERCER ISLAND TO DEVELOP A CONTINGENCY PLAN TO ADDRESS THE DEFICIENCY(IES). CONTINGENCY PLANS CAN INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING ACTIONS:

1. ADDITIONAL PLANT INSTALLATION;
2. EROSION CONTROL;
3. HERBIVORY PROTECTION;
4. MODIFICATION TO THE IRRIGATION REGIME; AND/OR
5. PLANT SUBSTITUTIONS OF TYPE, SIZE, QUANTITY, AND LOCATION.

SUCH CONTINGENCY PLAN SHALL BE SUBMITTED TO THE CITY OF MERCER ISLAND BY JANUARY 31 OF ANY YEAR WHEN DEFICIENCIES ARE DISCOVERED. UNLESS OTHERWISE APPROVED BY THE CITY OF MERCER ISLAND, ACTIONS SPECIFIED ON AN APPROVED CONTINGENCY PLAN MUST BE COMPLETED WITHIN 60 DAYS. IF THE FAILURE IS SUBSTANTIAL, THE CITY OF MERCER ISLAND MAY EXTEND THE COMPLIANCE MONITORING PERIOD FOR THE ENHANCEMENT WORK.

MAINTENANCE PLAN

THIS SECTION PROVIDES A GENERAL OVERVIEW OF THE MAINTENANCE PROGRAM NECESSARY TO ENSURE THE PERFORMANCE STANDARDS ESTABLISHED FOR THIS PLAN ARE SATISFIED.

GENERAL MAINTENANCE

INSTALLED PLANTS SHALL BE MAINTAINED AT REGULAR INTERVALS DURING THE MONITORING PERIOD TO PROMOTE THE SUCCESSFUL ESTABLISHMENT AND VIGOROUS GROWTH OF THE INSTALLED STOCK.

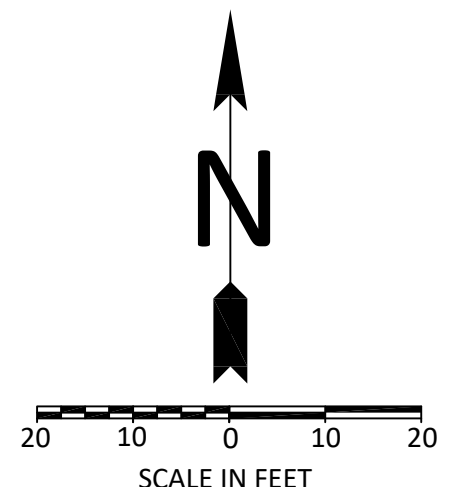
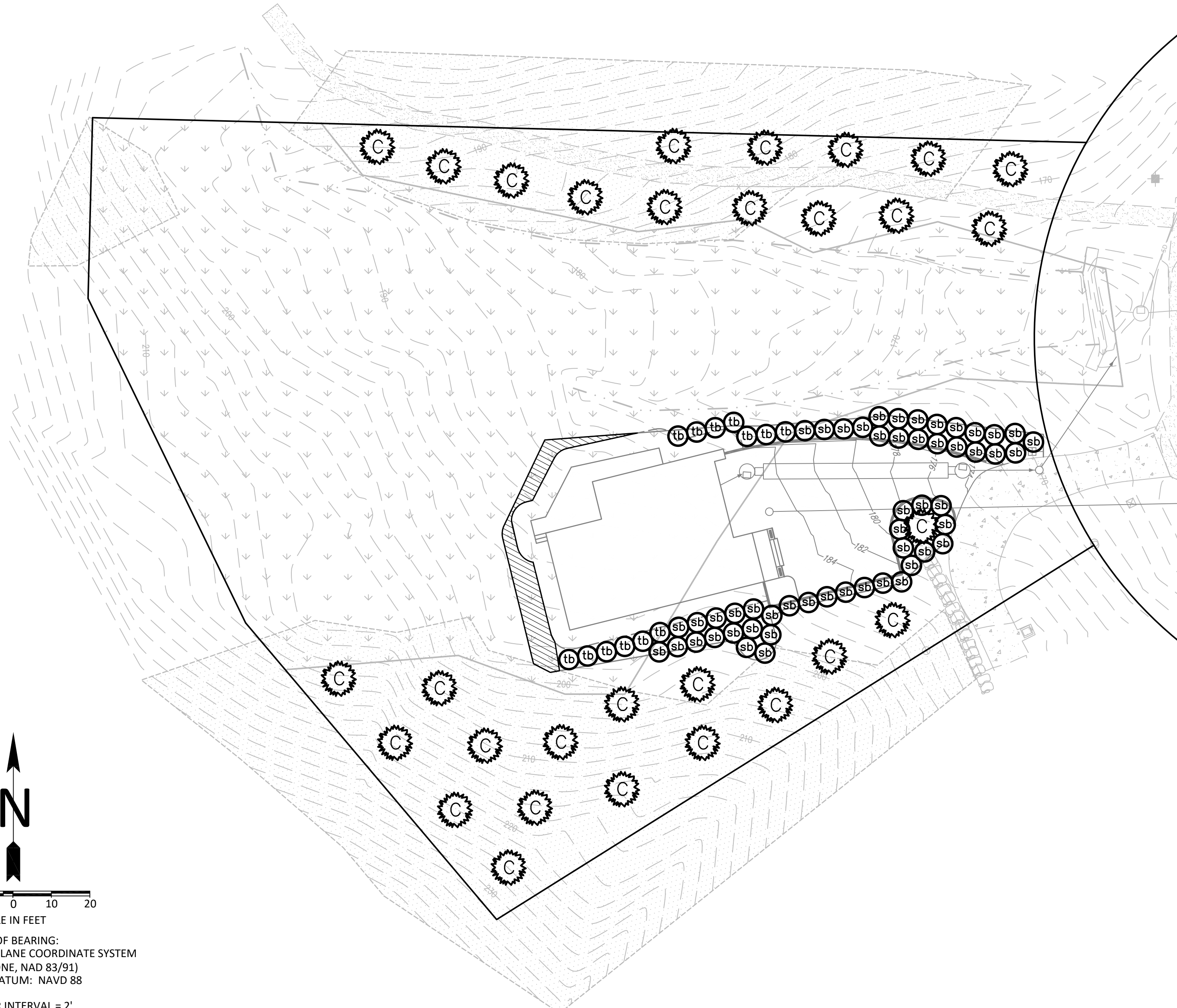
GENERAL MAINTENANCE SHALL INCLUDE:

1. RE-APPLYING BARK MULCH TO MAINTAIN A 6" MINIMUM APPLIED THICKNESS - YEAR 1 ONLY.
3. THE PRUNING OF INSTALLED PLANTS TO REMOVE DEAD WOOD AND PROMOTE VIGOROUS PLANT GROWTH AND PROPER FORM.
4. THE REPLACEMENT OF PLANTS THAT APPEAR TO BE IN DISTRESS AND/OR DISEASED.
5. THE REMOVAL OF TRASH, LITTER, AND/OR OTHER NON-DECOMPOSING DEBRIS.

GENERAL MAINTENANCE WORK SHALL OCCUR MONTHLY DURING THE GROWING SEASON AND/OR AT A FREQUENCY OTHERWISE NECESSARY TO ENSURE THE SUCCESSFUL ESTABLISHMENT AND VIGOROUS GROWTH OF THE INSTALLED PLANTS.

TABLE 2-1: GOALS, OBJECTIVES, MONITORING SCHEDULE, & PERFORMANCE STANDARDS

GOAL	OBJECTIVE	SCHEDULE	PERFORMANCE STANDARDS
TO SUCCESSFULLY ENHANCE ON-SITE WETLAND AND BUFFER AREAS USING NATIVE PLANT SPECIES.	TO INSTALL AND SUCCESSFULLY ESTABLISH NATIVE PLANTINGS AS SHOWN ON THIS DRAWING.	AUGUST OR SEPTEMBER OF YEARS 1, 2, 3, 4, & 5 FOLLOWING PLANT INITIAL INSTALLATION	<ul style="list-style-type: none"> • 100% SURVIVAL BY INSTALLED PLANT STOCK AFTER THE FIRST GROWING SEASON (YEAR 1). THIS STANDARD CAN BE MET THROUGH PLANT ESTABLISHMENT OR REPLANTING, AS NECESSARY, TO ACHIEVE THE REQUIRED PLANT NUMBERS. • 85% SURVIVAL BY INSTALLED PLANT STOCK AFTER THE FIFTH GROWING SEASON (YEAR 5).



SCALE IN FEET
BASIS OF BEARING:
WASHINGTON STATE PLANE COORDINATE SYSTEM
(NORTH ZONE, NAD 83/91)
VERTICAL DATUM: NAVD 88

CONTOUR INTERVAL = 2'

MITIGATION PLAN NOTE:

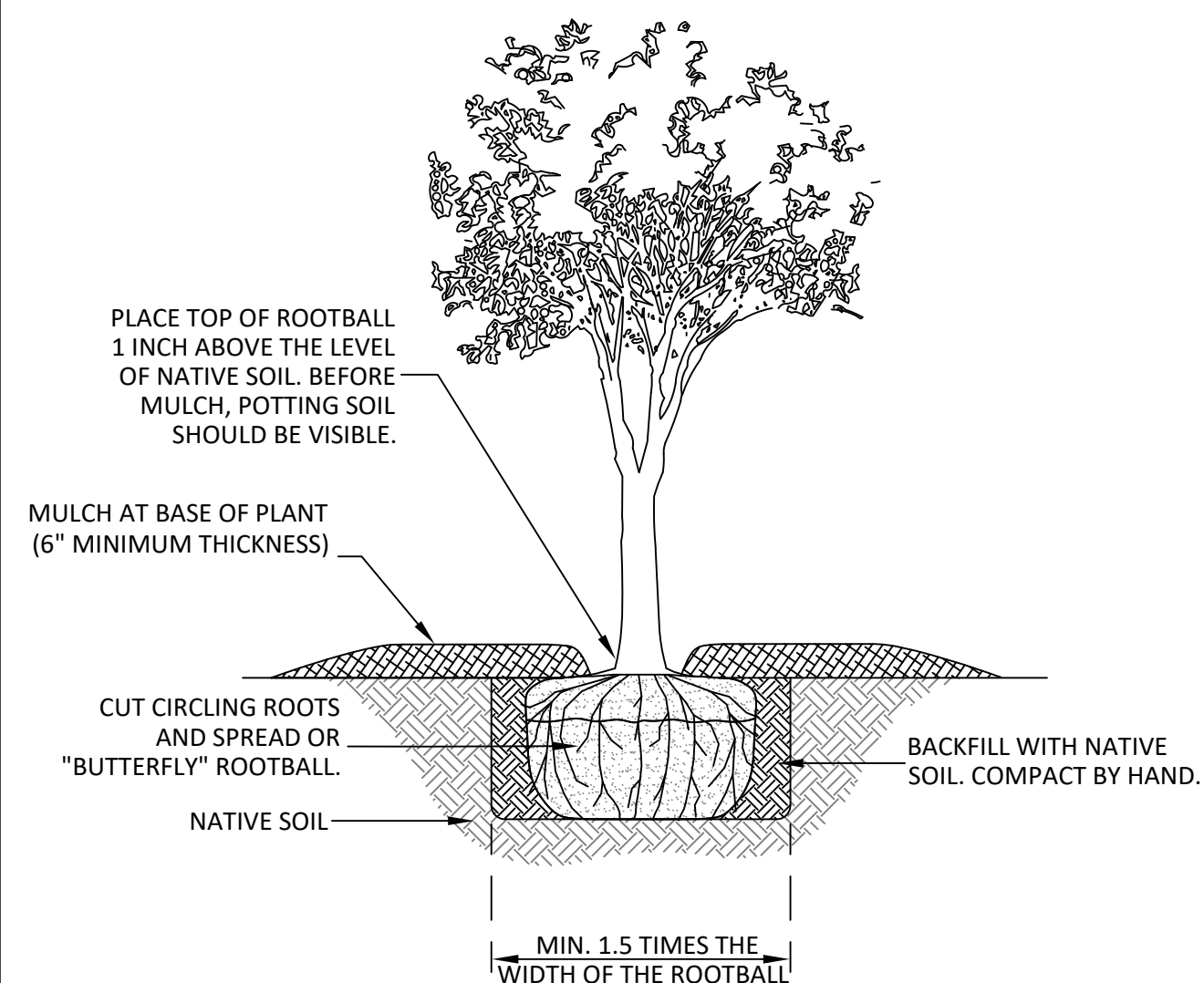
THIS CONCEPTUAL PLAN MAXIMIZES SITE MITIGATION PLANTING, AND EXCEEDS THAT WHICH WOULD BE REQUIRED TO MITIGATE BUFFER IMPACTS AND TEMPORARY CONSTRUCTION IMPACTS. THE FINAL PLAN MAY BE REVISED TO ADDRESS ISSUES OF VIABILITY DUE TO SLOPE AND OTHER SITE CONDITIONS.

PLANTING PLAN NOTES:

1. BASE TOPOGRAPHIC AND SITE PLAN PROVIDED BY HEALY-JORGENSEN ARCHITECTS (2958 222ND PLACE SE - SAMMAMISH, WASHINGTON 98075; 425-454-3096). SOURCE DRAWINGS HAVE BEEN MODIFIED FOR VISUAL ENHANCEMENT.
2. PROTECT AND ACCOMMODATE EXISTING NATIVE VEGETATION WHEN INSTALLING PLANTS.
3. PLANT MATERIAL QUALITY AND LOCATIONS SHALL BE INSPECTED BY PLAN DESIGNER PRIOR TO PLANT INSTALLATION.
4. PLANT LOCATIONS SHOWN ARE APPROXIMATE. ADJUST PLANT LOCATIONS TO ACCOMMODATE SITE CONDITIONS, TO PRESERVE AND PROTECT EXISTING NATIVE VEGETATION, AND/OR PER PLAN DESIGNER AT THE TIME OF INSTALLATION.
5. SEE THIS SHEET FOR PLANT INSTALLATION DETAILS.

PLANT SCHEDULE:

COMMON NAME	SCIENTIFIC NAME	SIZE/FORM	QUANTITY	SPACING
WESTERN REDCEDAR	<i>THUJA PLICATA</i>	2 GALLON CONTAINERIZED	30	AS SHOWN
TWINBERRY HONEYSUCKLE	<i>LONICERA INVOLUCRATA</i>	2 GALLON CONTAINERIZED	13	AS SHOWN
SALMONBERRY	<i>RUBUS SPECTABILIS</i>	2 GALLON CONTAINERIZED	52	AS-SHOWN
RED-OSIER DOGWOOD	<i>CORNUS SERICEA</i>	4 FOOT LIVE STAKE	25	4 FT ON-CENTER
			TOTAL - 120	



PLANT INSTALLATION DETAIL

NOT TO SCALE

GENERAL NOTES:

1. WORK SHALL CONFORM TO ANY AND ALL APPLICABLE PERMITS AND/OR APPROVED CONSTRUCTION DRAWINGS.
2. WORK SHALL BE COMPLETED BY PERSONS EXPERIENCED IN THE ENHANCEMENT WORK SHOWN ON THESE DRAWINGS.
3. BEFORE THE START OF CONSTRUCTION, A PRE-CONSTRUCTION MEETING MUST BE HELD BETWEEN MERCER ISLAND, THE OWNER, AND THE PLAN DESIGNER.
4. A COPY OF THESE APPROVED DRAWINGS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
5. SITE CONDITIONS MAY VARY BASED ON SEASON AND/OR TIME OF YEAR. THE CONSTRUCTION CONTRACTOR SHALL ACCOMMODATE REALIZED AND ANTICIPATED SITE CONDITIONS WHEN COMPLETING THE WORK SHOWN ON THESE DRAWINGS.

Sewall Wetland Consulting, Inc.
PO Box 880 - Fall City, Washington 98024 Phone: 253-859-0515

CRITICAL AREA ENHANCEMENT PLAN
- MI TREEHOUSE LLC -
5637 EAST MERCER WAY
MERCER ISLAND, WASHINGTON

811
Know what's below.
Call before you dig.

UTILITY LOCATIONS AND CHARACTERISTICS SHOWN ON THIS DRAWING, IF ANY, ARE BASED ON THE FIELD LOCATION OF THE APPROPRIATE SURFACE EVIDENCE OF EXISTING STRUCTURES. THE UNDERGROUND RESULTS AND CONDITION OF BURIED UTILITIES HAS NOT BEEN VERIFIED OR CONFIRMED. ADDITIONAL UTILITY LOCATION AND MAPPING MAY BE REQUIRED. FIELD LOCATE, VERIFY DEPTH, AND ADEQUATELY PROTECT ALL UTILITIES PRIOR TO THE START OF WORK.

NO.	DATE	NOTES
1.	09/08/15	ADDED STREAM
2.	10/21/15	REVISED PER CITY COMMENTS
3.	12/04/18	REVISED PER NEW SITE PLAN
4.	12/17/18	ADDED IMPACT SITE PLAN
5.	01/29/19	REVISED PLANTING PLAN
6.	01/29/19	ADDED MITIGATION PLAN NOTE
7.	10/30/19	REVISED PER NEW SITE PLAN
8.	12/02/20	REVISED PER NEW SITE PLAN

DATE: 03/04/2015
JOB NUMBER: 14-206

Planting Plan, Notes, Details, & Monitoring Plan

5637 MERCER WAY

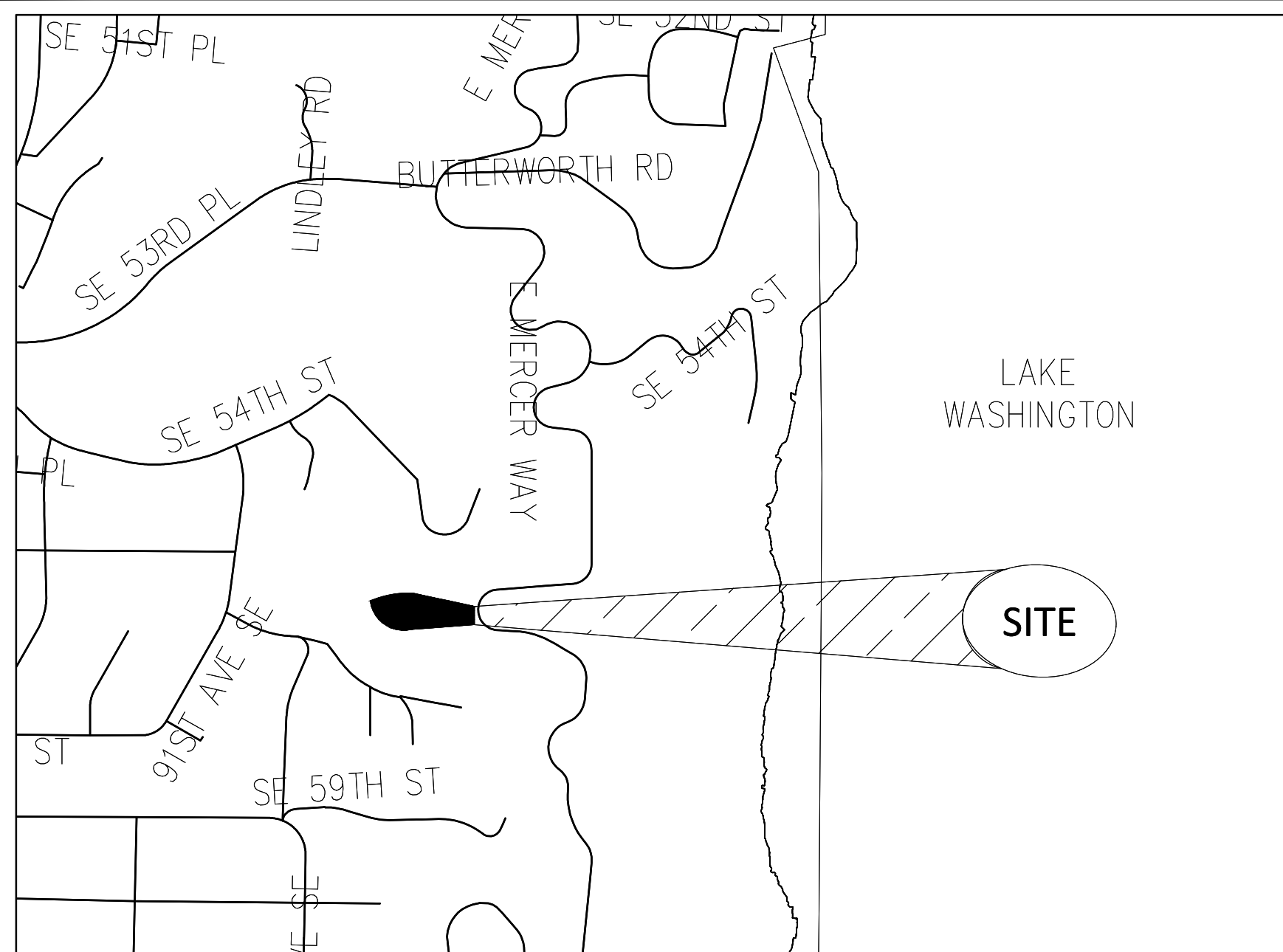
5637 E MERCER WAY
MERCER ISLAND, WASHINGTON

OWNER:

MI TREEHOUSE, LLC
11030 SE 30TH ST
BELLEVUE, WA 98004

ENGINEER/ SURVEY:

CORE DESIGN INC
14711 NE 29TH PL, SUITE 101
BELLEVUE, WASHINGTON 98007
(425) 885-7877
CONTACT: MICHAEL A. MOODY, P.E.
GLENN R. SPRAGUE, P.L.S.



VICINITY MAP

1" = 500'

BASIS OF BEARINGS

N00°01'20"W BETWEEN THE FOUND MONUMENTS ALONG THE CENTERLINE OF EAST MERCER WAY

REFERENCES

STATUTORY WARRANTY DEED RECORDED UNDER RECORDING NUMBER 20140929000870

LEGAL DESCRIPTION

LOT A OF A CITY OF MERCER ISLAND SHORT PLAT NO. MI-77-1-010, AS RECORDED MARCH 31, 1977 UNDER RECORDING NO. 7703310851, RECORDS OF KING COUNTY AUDITOR;

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

RESTRICTIONS

1. THIS SITE IS SUBJECT TO THE TERMS AND CONDITIONS CONTAINED IN DEED RECORDED UNDER RECORDING NUMBER 1579689.
2. THIS SITE IS SUBJECT TO THE CONDITIONS, COVENANTS, RESTRICTIONS, EASEMENTS, NOTES, AND SETBACKS, IF ANY, AS SHOWN ON THE FACE OF CITY OF MERCER ISLAND SHORT PLAT NO. MI-77-1-010 AS RECORDED UNDER RECORDING NUMBER 7703310851
3. THIS SITE IS SUBJECT TO AN EASEMENT FOR SIDE SEWER SERVICE AND THE TERMS AND CONDITIONS THEREOF AS RECORDED UNDER RECORDING NUMBER 7804100820.
4. THIS SITE IS SUBJECT TO AN EASEMENT FOR STORMWATER/UTILITY FACILITIES & PEDESTRIAN TRAIL AND THE TERMS AND CONDITIONS THEREOF AS RECORDED UNDER RECORDING NUMBER 20070425001878.

BASIS OF BEARINGS

1. THIS SURVEY HAS BEEN PERFORMED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT. IN PREPARING THIS MAP, CORE DESIGN, INC. HAS CONDUCTED NO INDEPENDENT TITLE SEARCH NOR IS CORE DESIGN, INC. AWARE OF ANY TITLE ISSUES AFFECTING THE SURVEYED PROPERTY OTHER THAN THOSE SHOWN ON THE MAP AND DISCLOSED BY STATUTORY WARRANTY DEED RECORDED UNDER RECORDING NUMBER 20140929000870 AND THEREFORE CORE DESIGN, INC. QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT.
2. THIS SURVEY REPRESENTS VISIBLE PHYSICAL IMPROVEMENT CONDITIONS EXISTING ON JUNE 8, 2018. ALL SURVEY CONTROL INDICATED AS "FOUND" WAS RECOVERED FOR THIS PROJECT IN JUNE, 2018.
3. PROPERTY AREA = 37,528± SQUARE FEET (0.8615± ACRES).
4. ALL DISTANCES ARE IN FEET.
5. THIS IS A FIELD TRAVERSE SURVEY. A LEICA ROBOTIC TOTAL STATION WAS USED TO MEASURE THE ANGULAR AND DISTANCE RELATIONSHIPS BETWEEN THE CONTROLLING MONUMENTATION AS SHOWN. CLOSURE RATIOS OF THE TRAVERSE MET OR EXCEEDED THOSE SPECIFIED IN WA0 332-130-100. ALL MEASURING INSTRUMENTS AND EQUIPMENT ARE MAINTAINED IN ADJUSTMENT ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
6. UTILITIES OTHER THAN THOSE SHOWN MAY EXIST ON THIS SITE. ONLY THOSE UTILITIES WITH EVIDENCE OF THEIR INSTALLATION VISIBLE AT GROUND SURFACE ARE SHOWN HEREON. UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY. UNDERGROUND CONNECTIONS ARE SHOWN AS STRAIGHT LINES BETWEEN SURFACE UTILITY LOCATIONS BUT MAY CONTAIN BENDS OR CURVES NOT SHOWN. SOME UNDERGROUND LOCATIONS SHOWN HEREON MAY HAVE BEEN TAKEN FROM PUBLIC RECORDS. CORE DESIGN ASSUMES NO LIABILITY FOR THE ACCURACY OF PUBLIC RECORDS.

VERTICAL DATUM

NAVD 88

BENCHMARKS

CITY OF MERCER ISLAND POINT "CASC 38"
ELEVATION=163.23

SHEET INDEX

1 SITE PLAN

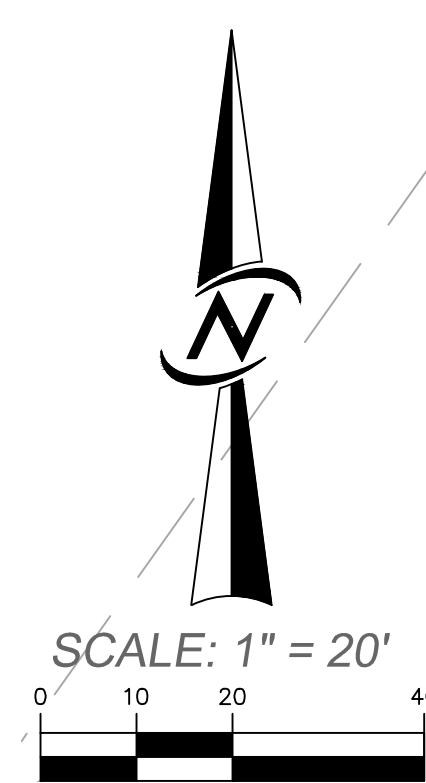
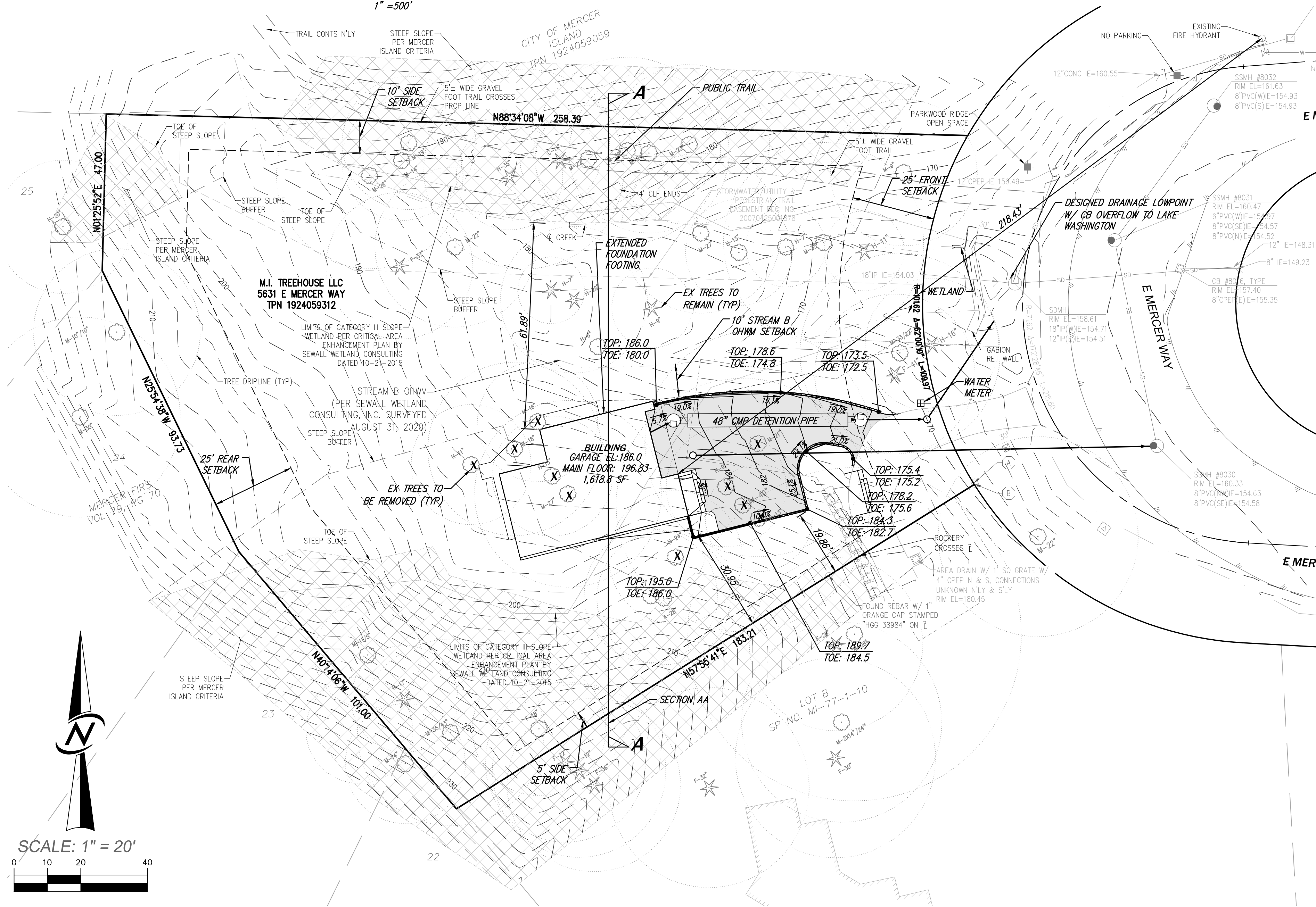
SITE STATISTICS

ZONING: R-15 (RESIDENTIAL-SINGLE FAMILY)
SITE AREA: ±37,554 SF (±0.862 ACRES)
NET LOT AREA: 35,823 SF (0.822 ACRES)
LOTS PROPOSED: 1
TAX PARCEL: 192405-9312
DWELLING UNITS: 1
IMPERVIOUS AREA: 3,739 SF (9.9%)

LOT SLOPE STATISTICS
LOT 1: 24.5%

LEGEND

- BUILDING OVERHANG
- LOT LINES
- DRIVEWAY BOUNDARY
- PROPERTY BOUNDARY
- BUILDING EDGE
- SURVEY ALIGNMENT
- 41ST PAVEMENT EDGE
- ⊕ FOUND MONUMENT AS DESCRIBED
- FOUND PIPE/REBAR AS DESCRIBED
- M MADRONA O OAK
- FIG FIG
- D DOGWOOD
- CLF CHAIN LINK FENCE
- VBF VERTICAL BOARD FENCE
- ⊗ ROCKERY
- ⊗ INLET FILTER (W.S.D.O.T. STD DTL. 1-40.20-00)
- SILT FENCE
- ⊗ STABILIZED CONSTRUCTION ENTRANCE DOE STD DTL. BMP 205
- CLEARING LIMITS
- EXISTING CONTOUR
- PROPOSED CONTOUR
- ⊗ ONSITE TREE TO BE REMOVED



DATE	JUNE, 2018	DESIGNED	NICHOLAS JOHNSON	DRAWN	NICHOLAS JOHNSON	APPROVED	MICHAEL A. MOODY	PROJECT MANAGER	MICHAEL A. MOODY
SHEET	OF								
3	1								
PROJECT NUMBER		18039							

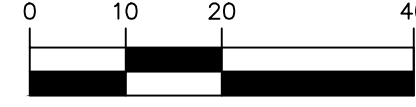
ENGINEERING • PLANNING • SURVEYING

SITE PLAN
5637 MERCER WAY
MI TREEHOUSE, LLC
11030 SE 30TH ST
BELLEVUE, WA 98004

14711 NE 29th Place Suite 101
Bellevue, Washington 98007
425.885.7877 Fax 425.885.7963



SCALE: 1" = 20'



LEGEND

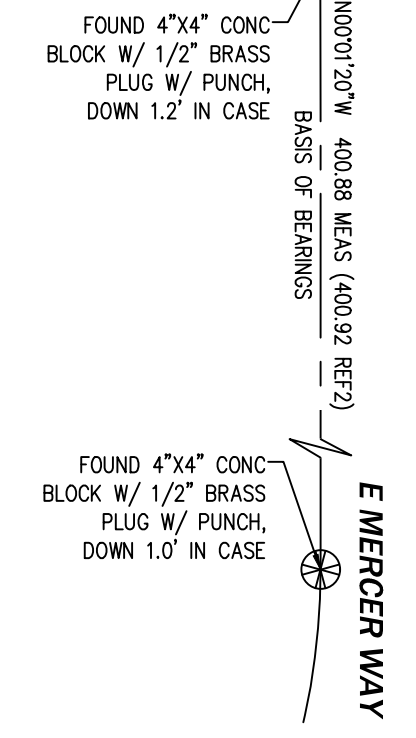
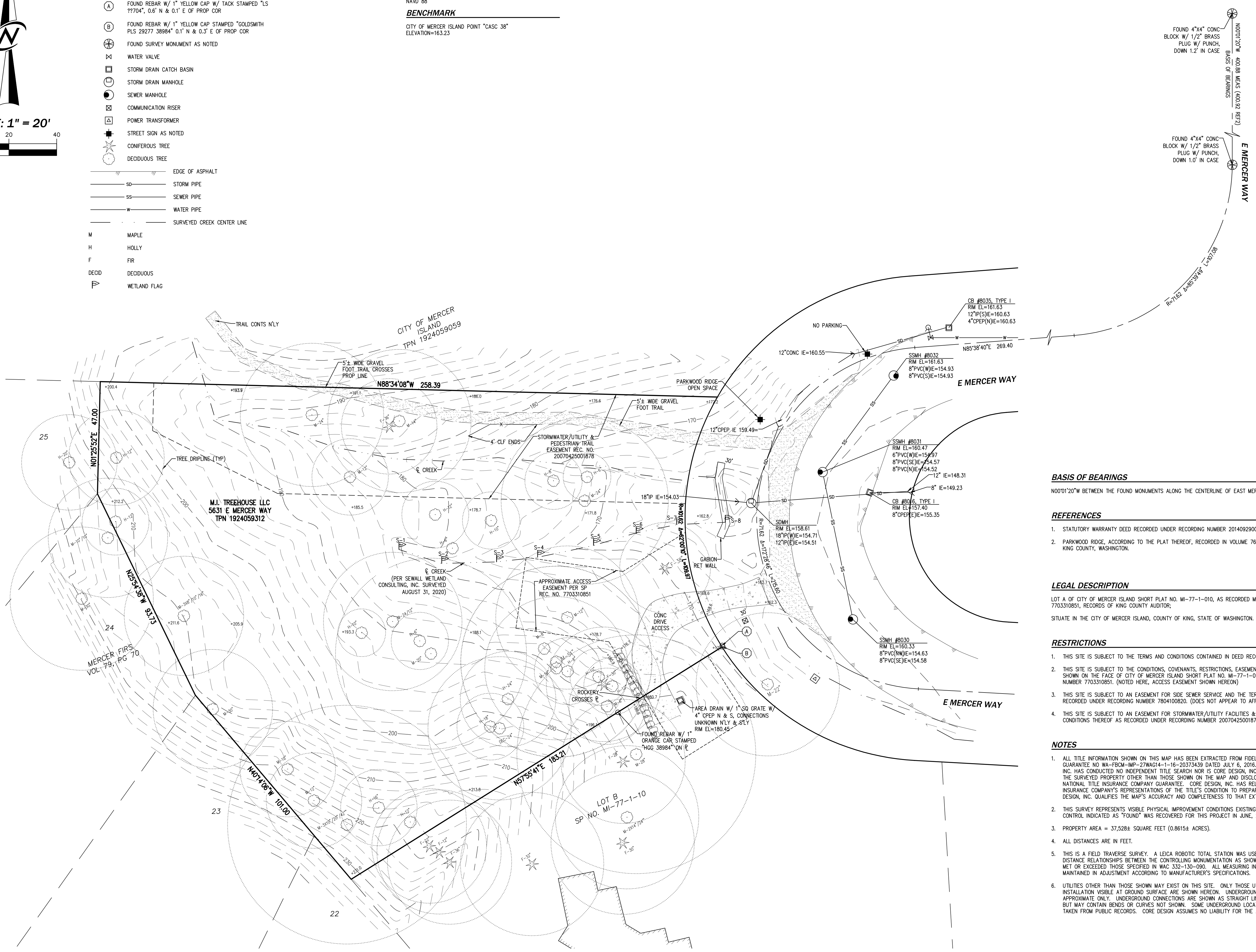
- ⊙ FOUND REBAR W/ 1" YELLOW CAP W/ TACK STAMPED "LS
???04", 0.6' N & 0.1' E OF PROP COR
- ⊙ FOUND REBAR W/ 1" YELLOW CAP STAMPED "GOLDSMITH
PLS 29277 38984" 0.1' N & 0.3' E OF PROP COR
- ⊙ FOUND SURVEY MONUMENT AS NOTED
- ⊗ WATER VALVE
- ⊠ STORM DRAIN CATCH BASIN
- ⊕ STORM DRAIN MANHOLE
- ⊙ SEWER MANHOLE
- ⊠ COMMUNICATION RISER
- ⊠ POWER TRANSFORMER
- ⊠ STREET SIGN AS NOTED
- ⊙ CONIFEROUS TREE
- ⊙ DECIDUOUS TREE
- EDGE OF ASPHALT
- SD — STORM PIPE
- SS — SEWER PIPE
- W — WATER PIPE
- SURVEYED CREEK CENTER LINE
- M MAPLE
- H HOLLY
- F FIR
- DECOD DECIDUOUS
- WETLAND FLAG

VERTICAL DATUM

NAVD 88

BENCHMARK

CITY OF MERCER ISLAND POINT "CASC 38"
ELEVATION=163.23



BASIS OF BEARINGS

N00°01'20"W BETWEEN THE FOUND MONUMENTS ALONG THE CENTERLINE OF EAST MERCER WAY

REFERENCES

1. STATUTORY WARRANTY DEED RECORDED UNDER RECORDING NUMBER 20140929000870.
2. PARKWOOD RIDGE, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 76 OF PLATS, PAGES 81-82, RECORDS OF KING COUNTY, WASHINGTON.

LEGAL DESCRIPTION

LOT A OF CITY OF MERCER ISLAND SHORT PLAT NO. MI-77-1-010, AS RECORDED MARCH 31, 1977 UNDER RECORDING NO. 7703310851, RECORDS OF KING COUNTY AUDITOR;
SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

RESTRICTIONS

1. THIS SITE IS SUBJECT TO THE TERMS AND CONDITIONS CONTAINED IN DEED RECORDED UNDER RECORDING NUMBER 1579699.
2. THIS SITE IS SUBJECT TO THE CONDITIONS, COVENANTS, RESTRICTIONS, EASEMENTS, NOTES, AND SETBACKS, IF ANY, AS SHOWN ON THE FACE OF CITY OF MERCER ISLAND SHORT PLAT NO. MI-77-1-010 AS RECORDED UNDER RECORDING NUMBER 7703310851. (NOTED HERE, ACCESS EASEMENT SHOWN HEREON)
3. THIS SITE IS SUBJECT TO AN EASEMENT FOR SIDE SEWER SERVICE AND THE TERMS AND CONDITIONS THEREOF AS RECORDED UNDER RECORDING NUMBER 7804100820. (DOES NOT APPEAR TO AFFECT THIS PROPERTY)
4. THIS SITE IS SUBJECT TO AN EASEMENT FOR STORMWATER/UTILITY FACILITIES & PEDESTRIAN TRAIL AND THE TERMS AND CONDITIONS THEREOF AS RECORDED UNDER RECORDING NUMBER 20070425001878. SHOWN HEREON.

NOTES

1. ALL TITLE INFORMATION SHOWN ON THIS MAP HAS BEEN EXTRACTED FROM FIDELITY NATIONAL TITLE INSURANCE COMPANY GUARANTEE NO WA-FBCN-MP-27WAG14-1-16-20373439 DATED JULY 6, 2016. IN PREPARING THIS MAP, CORE DESIGN, INC. HAS CONDUCTED NO INDEPENDENT TITLE SEARCH NOR IS CORE DESIGN, INC. AWARE OF ANY TITLE ISSUES AFFECTING THE SURVEYED PROPERTY OTHER THAN THOSE SHOWN ON THE MAP AND DISCLOSED BY THE REFERENCED FIDELITY NATIONAL TITLE INSURANCE COMPANY GUARANTEE. CORE DESIGN, INC. HAS RELIED WHOLLY ON FIDELITY NATIONAL TITLE INSURANCE COMPANY'S REPRESENTATIONS OF THE TITLE'S CONDITION TO PREPARE THIS SURVEY AND THEREFORE CORE DESIGN, INC. QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT.
2. THIS SURVEY REPRESENTS VISIBLE PHYSICAL IMPROVEMENT CONDITIONS EXISTING ON AUGUST 31, 2020. ALL SURVEY CONTROL INDICATED AS "FOUND" WAS RECOVERED FOR THIS PROJECT IN JUNE, 2018.
3. PROPERTY AREA = 37,528± SQUARE FEET (0.8615± ACRES).
4. ALL DISTANCES ARE IN FEET.
5. THIS IS A FIELD TRAVERSE SURVEY. A LEICA ROBOTIC TOTAL STATION WAS USED TO MEASURE THE ANGULAR AND DISTANCE RELATIONSHIPS BETWEEN THE CONTROLLING MONUMENTATION AS SHOWN. CLOSURE RATIOS OF THE TRAVERSE MET OR EXCEEDED THOSE SPECIFIED IN WAC 332-130-090. ALL MEASURING INSTRUMENTS AND EQUIPMENT ARE MAINTAINED IN ADJUSTMENT ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
6. UTILITIES OTHER THAN THOSE SHOWN MAY EXIST ON THIS SITE. ONLY THOSE UTILITIES WITH EVIDENCE OF THEIR INSTALLATION VISIBLE AT GROUND SURFACE ARE SHOWN HEREON. UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY. UNDERGROUND CONNECTIONS ARE SHOWN AS STRAIGHT LINES BETWEEN SURFACE UTILITY LOCATIONS BUT MAY CONTAIN BENDS OR CURVES NOT SHOWN. SOME UNDERGROUND LOCATIONS SHOWN HEREON MAY HAVE BEEN TAKEN FROM PUBLIC RECORDS. CORE DESIGN ASSUMES NO LIABILITY FOR THE ACCURACY OF PUBLIC RECORDS.

NO.	REVISIONS	DATE
1	ADDITIONAL FIELD WORK/WETLAND FLAGS	8/21/20

14711 NE 28th Place, #101
Bellevue, Washington 98007
425-885-7877 Fax 425-885-7963

CORE DESIGN
ENGINEERING • PLANNING • SURVEYING

BOUNDARY & TOPOGRAPHIC SURVEY
MERCER ISLAND TREEHOUSE
MI TREEHOUSE, LLC
PO BOX 261
MEDINA, WA

DATE: 2018-06-13	DESIGNED	DRAWN: NRR	APPROVED: KWS
SHEET	1	OF	1
PROJECT NUMBER	18039		