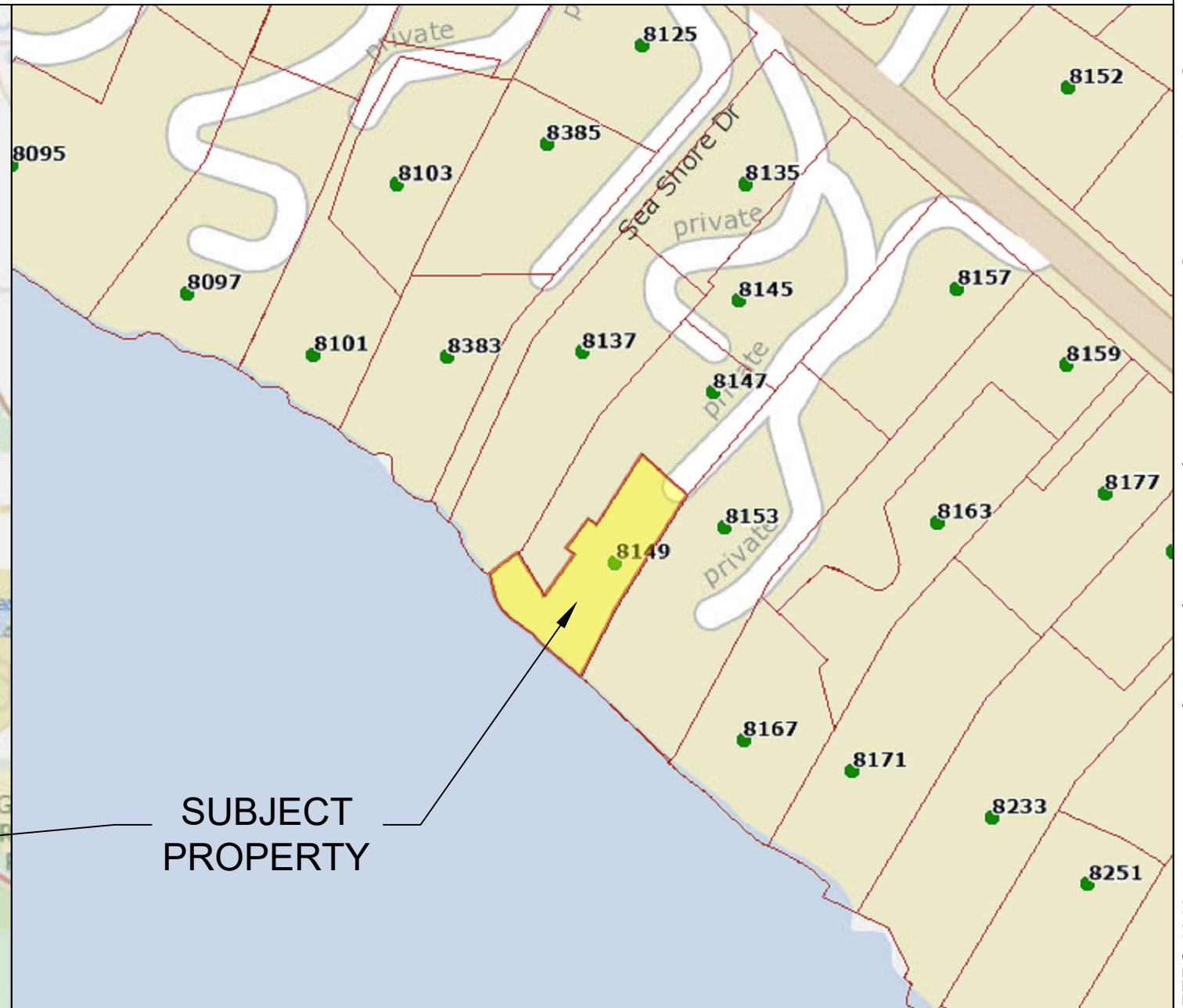
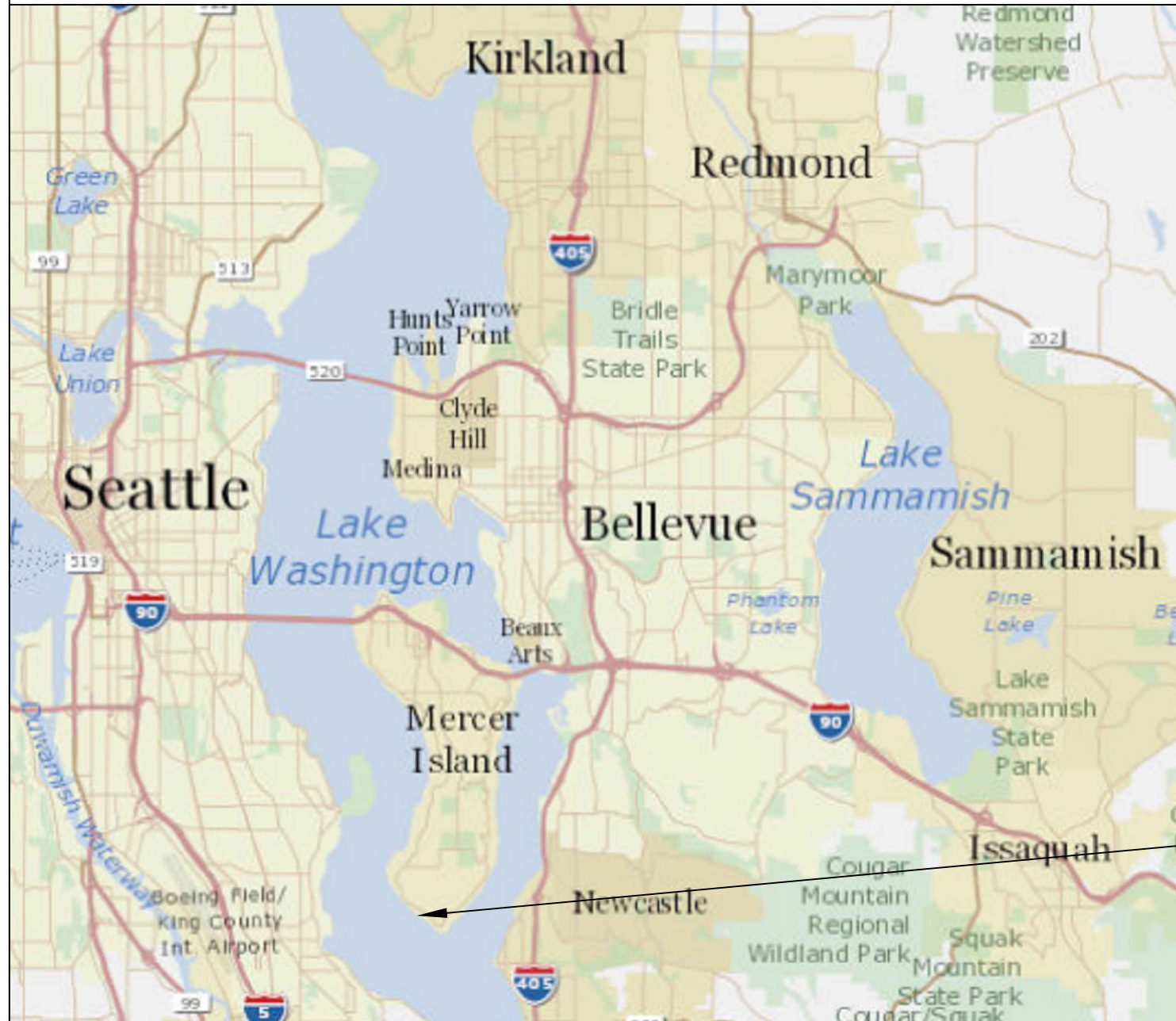


# SITE PLAN

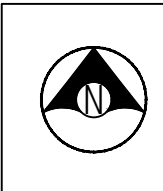


Pin: 335850-0355

Legal Description: HILLMANS C D SEA SHORE LAKE FRONT PCL B MERCER ISLAND LLR# SUB 14-007 REC #20140917900003 SD LLR DAF- PCLS A & B MI LLR# SUB 12-004 REC #20130404900003 SD LLR DAF - TRS 480 & 481 SD PLAT TGW LOT B MI SP# SP 87-04-03 (J3) REC # 8804119002 BEING TRS 478 & 479 TGW POR TRS 579 & 580 TGW SH LDS ADJ LESS CO RD TGW UNPLATTED STRIP ADJ TRS 480 & 481

Plat Block:  
Plat Lot: 480-481 &

Parcel	East Dock	West Dock
LAT: 47.52822	LAT: 47.52802778	LAT: 47.52811944
LONG: -122.2336	LONG: -122.23373056	LONG: -122.23389167



Seaborn Pile Driving  
1080 W Ewing St  
Seattle, WA 98119

Office: 206-236-1700 ext. 5  
www.seabornpiledriving.com

Scope of Work: We propose to repair (14) piles of the east dock, set back 6" and repair 107 lft of existing bulkhead, replace 4 lft of existing rock bulkhead with stairs, raise the existing east dock 1', and repair the existing east dock with (415 sqft) grated decking material.

County: King County  
Location: Lake Washington

Applicant: Thomas Residence  
8149 W Mercer Way  
Mercer Island, Washington 98040

Datum: CORPS OF ENGINEERS 1919  
NE Quarter Of Section 36, Township 24, Range 04

Adjacent Owners:  
MCMILLAN COREY TYLER+VICTOR  
8153 W MERCER WAY 98040  
KIVIAT MARK DAVID  
8137 W MERCER WAY 98040

Last Updated: 3/6/2024 2:11 am Leymar

Created: 07/17/23

**SHEET**  
**1.0**

# GENERAL NOTES:

**MATERIALS SPEC LIST:**

**Boat Lifts:** Aluminum

- \* 153" x 117"

**Boat Cover:**

- \* Canvas - 137" x 306"

**Decking Material:** FRPP - Fiberglass reinforced polypropylene

Light permeable percentage:

- \* Surface - 43%
- \* 18" Dock Height - 61%

**Sewer:**

- \* All sewer is field verified by probing the lake bed manually during the allowed work windows for the area.

**Piles:**

- \* Repair piles are done as a sleeve/strap method

**Preservatives**

- \* Structural Glued Laminated timber shall be alaskan cedar AC.AC. 20f-V12
- \* Wood Shall be seasoned dry with a maximum moisture content of 19%
- \* Preservative treated wood shall conform to the american wood protection association (AWP) UC4A. All wood shall bear a treatment identification mark by the certifying agency.

CODE REFERENCES: Mercer Island

**We are applying for the permit to be reviewed under the:**

**"Development Standards for Replacement, Repair and Maintenance of Overwater Structures, Including Moorage Facilities" per MIMC 19.13050(F)(2).**

2. Development Standards for Replacement, Repair and Maintenance of Overwater Structures, Including Moorage Facilities. The maintenance, repair and complete replacement of legally existing overwater structures is permitted; provided, that:

- All permit requirements of federal and state agencies are met;
  - All permit requirement of federal and state agencies will be met and permits provided when received.**
- The area, width, or length of the structure is not increased, but may be decreased;
  - The area, width and length of the structure will not be increased.**
- The height of any structure is not increased, but may be decreased; provided, that the height above the OHWM may be increased as provided in subsection (F)(2)(ix)(b) of this section;
  - The height of the structure will be raised to comply with 18" above OHWM requirement.**
- The location of any structure is not changed unless the applicant demonstrates to the director's satisfaction that the proposed change in location results in: (A) a net gain in ecological function, and (B) a higher degree of conformity with the location standards for a new overwater structure;
  - The existing structure's location will not change**
- Piles shall not be treated with pentachlorophenol, creosote, CCA or comparably toxic compounds. If ammoniacal copper zinc arsenate (ACZA) pilings are proposed, the applicant shall meet all of the best management practices, including a post-treatment procedure, as outlined in the amended Best Management Practices of the Western Wood Preservers.
  - Pile will repaired with epoxy coated steel. Sizes stated per plan are in nominal inches.**
- All piling sizes are in nominal diameter; Any paint, stain or preservative applied to components of the overwater structure must be leach resistant, completely dried or cured prior to installation. Materials shall not be treated with pentochlorophenol, creosote, CCA or comparably toxic compounds;
  - Epoxy coating will be cured prior to installation.**
- The applicant shall abide by the work windows for listed species established by the U.S. Army Corps of Engineers and Washington Fish and Wildlife;
  - All proposed work will be completed in the work window approved by USACE.**
- Disturbance of bank vegetation shall be limited to the minimum amount necessary to accomplish the project. Disturbed bank vegetation shall be replaced with native, locally adapted herbaceous and/or woody vegetation. Herbaceous plantings shall occur within 48 hours of the completion of construction. Woody vegetation components shall be planted in the fall or early winter, whichever occurs first. The applicant shall take appropriate measures to ensure revegetation success; Ch. 19.13 Shoreline Master Program | Mercer Island City Code Page 29 of 34 The Mercer Island City Code is current through Ordinance 20C-13, passed June 16, 2020.
  - Vegetation will not be disturbed unless necessary and mitigation will be installed per plan to offset ecological impact.**
- Structural Repair. The structural repair, which may include replacement of framing elements, of moorage facilities that results in the repair of more than 50 percent of the structure's framing elements within a five-year period shall comply with subsections (F)(2)(ix)(a) through (F)(2)(ix)(c) of this section. For this section, framing elements include, but are not limited to, stringers, piles, pile caps, and attachment brackets, as shown in Figure D:
  - One hundred percent of the decking area of the pier, dock, and any platform lifts must be fully grated with materials that allow a minimum of 40 percent light transmittance;
  - The height above the OHWM for moorage facilities, except floats, shall be a minimum of one and one-half feet and a maximum of five feet; and
  - An existing moorage facility that is five feet wide or more within 30 feet waterward from the OHWM shall be replaced or repaired with a moorage face
    - Structural repair does not exceed the 50% threshold therefore parts A-C are not relevant to the scope of this project.**
- Exterior surface repair. The exterior surface repair, which may include the replacement of exterior surface materials of moorage facilities that results in the repair of more than 50 percent of the surface area of the moorage facility's decking, fascia, and platform lifts within a five-year period (see Figure D), shall be required to utilize materials that allow a minimum of 40 percent light transmittance over 100 percent of the dock; and
  - The exterior surface repair will utilize materials that exceed the 40% light transmittance requirement.**

Any decking that is removed in the course of repair shall be replaced with decking materials that allow a minimum of 40 percent light transmittance.

**All decking will be replaced with decking material that exceed the minimum 40% light transmittance requirement.**

**\*\*CODE REFERENCES CONTINUED ON FOLLOWING PAGE\*\***

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 Location: Lake Washington  
 Applicant: Thomas Residence  
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 Mercer Island, Washington 98040  
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 Last Updated: 3/6/2024 2:11 am Leymar  
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**SHEET**  
**2.0**  
 NWS-2023-XXX  
 PAGE 2 OF 15

# GENERAL NOTES:

CODE REFERENCES (cont.) : Mercer Island

**We are applying for the permit to be reviewed under the:**

**"19.13.020(a) Legal nonconforming uses and structures may continue."**

Overwater uses and structures, and uses and structures 25 feet landward from the OHWM, which were legally created may be maintained, repaired, renovated, remodeled and completely replaced to the extent that nonconformance with the standards and regulations of this chapter is not increased.

**We will be increasing the conformity on this property. We are proposing to replace 100% of wood members with steel framing. Steel will be using 62% of total material as opposed to steel.**

**SDP Exempt under WAC173-27-040(2)(b) Normal maintenance or repair**

**We are repairing an existing structure to prevent decay to existing structures. The repairs will also allow for more light transmission through the dock into the lake.**

**WAC 197-11-800(3) Repair, remodeling and maintenance activities**

**We are repairing an existing structure and are not driving any pile. We would only be repairing piles and dock, as well as lifting the dock 1FT to increase the conformity.**

**19.13.020(a) Legal nonconforming uses and structures may continue.**

Overwater uses and structures, and uses and structures 25 feet landward from the OHWM, which were legally created may be maintained, repaired, renovated, remodeled and completely replaced to the extent that nonconformance with the standards and regulations of this chapter is not increased.

**We will be increasing the conformity of this property by raising the dock to allow for more light transmission.**

**"19.13.050(b) Bulkheads and shoreline stabilization structures."**

1.An existing shoreline stabilization structure may be replaced with a similar structure if there is a demonstrated need to protect principal uses or structures from erosion caused by currents or waves, and the following conditions shall apply:

i.The replacement structure should be designed, located, sized, and constructed to assure no net loss of ecological functions

**We have provided a NNL Report for this project.**

ii.Replacement walls or bulkheads shall not encroach waterward of the ordinary high water mark or existing structure unless the primary structure was occupied prior to January 1, 1992, and there are overriding safety or environmental concerns. In such cases, the replacement structure shall abut the existing shoreline stabilization structure. Soft shoreline stabilization measures that provide restoration of shoreline ecological functions may be permitted waterward of the ordinary high water mark.

**The replacement bulkhead will not encroach waterward of the OHWM.**

iii.For purposes of this section standards on shoreline stabilization measures, "replacement" means the construction of a new structure to perform a shoreline stabilization function of an existing structure which can no longer adequately serve its purpose. Additions to or increases in size of existing shoreline stabilization measures shall be considered new structures.

**Out proposed bulkhead will not result in an increase in size of the existing structure and serve only to replace the existing failing structure**

iv.Construction and maintenance of normal protective bulkhead common to single-family dwellings requires only a shoreline exemption permit, unless a report is required by the code official to ensure compliance with the above conditions; however, if the construction of the bulkhead is undertaken wholly or in part on lands covered by water, such construction shall comply with SEPA mitigation

**We are seeking a Shoreline Exemption Permit for the repair of the existing bulkhead.**

**We have provided a geotechnical report and will be constructed and designed to the specifications.**

\*\*Dock established/constructed: 2/20/1974 Project No: CAO7404-001

\*\*Bulkhead established under 92-0031 3/2/1992

\*\*Boatlift: permitted under 92-0031 3/2/1992



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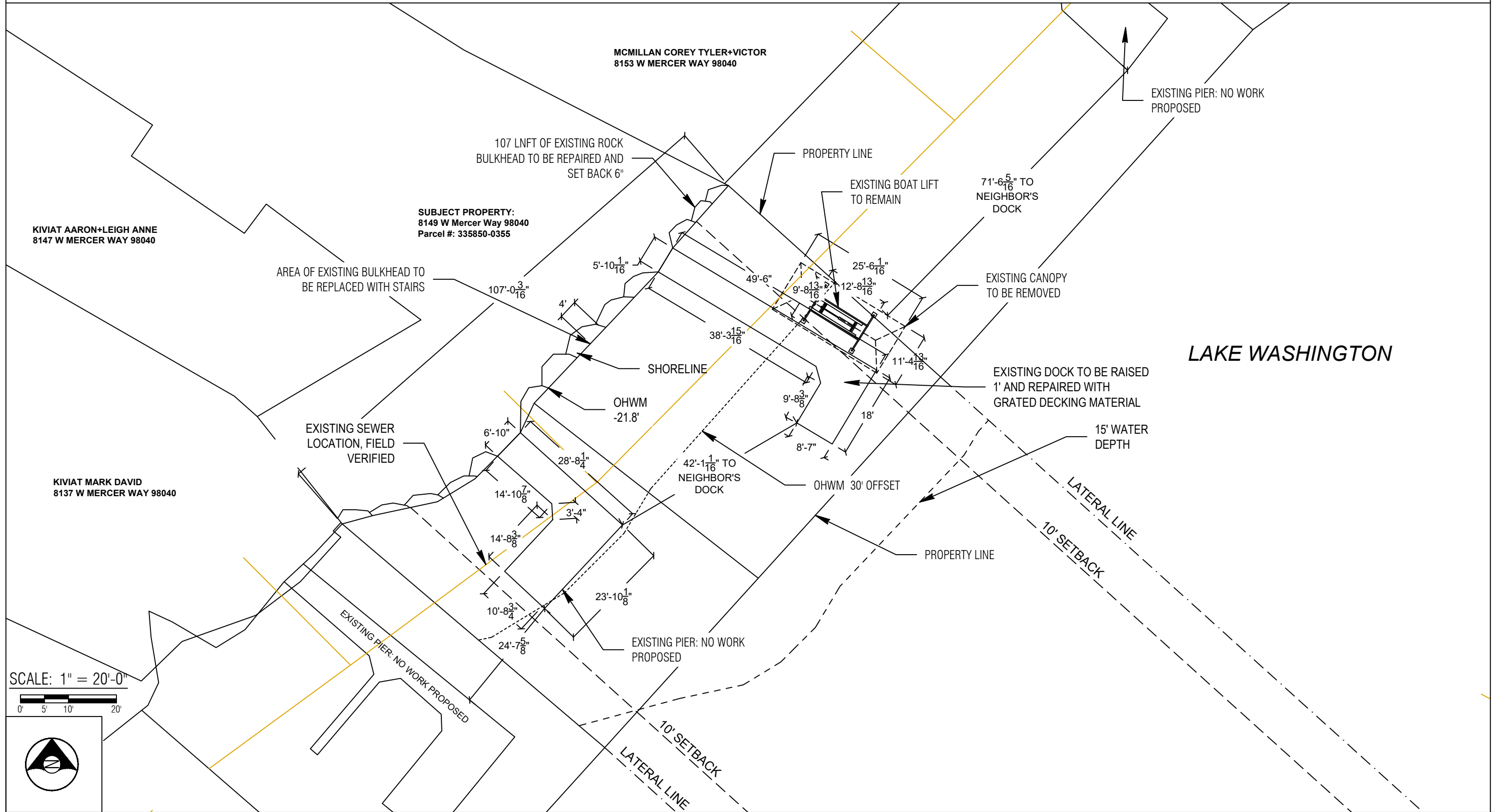
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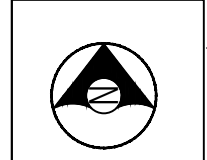
Applicant: Thomas Residence 8149 W Mercer Way Mercer Island, Washington 98040	County: King County Location: Lake Washington
Datum: CORPS OF ENGINEERS 1919 NE Quarter Of Section 36, Township 24, Range 04	Created: 07/17/23 Last Updated: 3/6/2024 2:11 am Leymar
Adjacent Owners: MCMILLAN COREY TYLER+VICTOR 8153 W MERCER WAY 98040	KIVIAT MARK DAVID 8137 W MERCER WAY 98040
<b>SHEET</b> <b>3.0</b>	NWS-2023-XXX PAGE 3 OF 15

# EXISTING CONDITIONS

**\*\*CLEAN UP LAKE AROUND PROJECT\*\***



SCALE: 1" = 20'-0"



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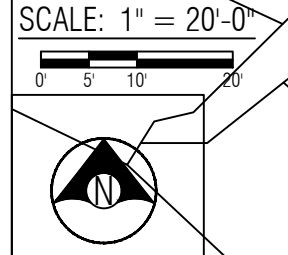
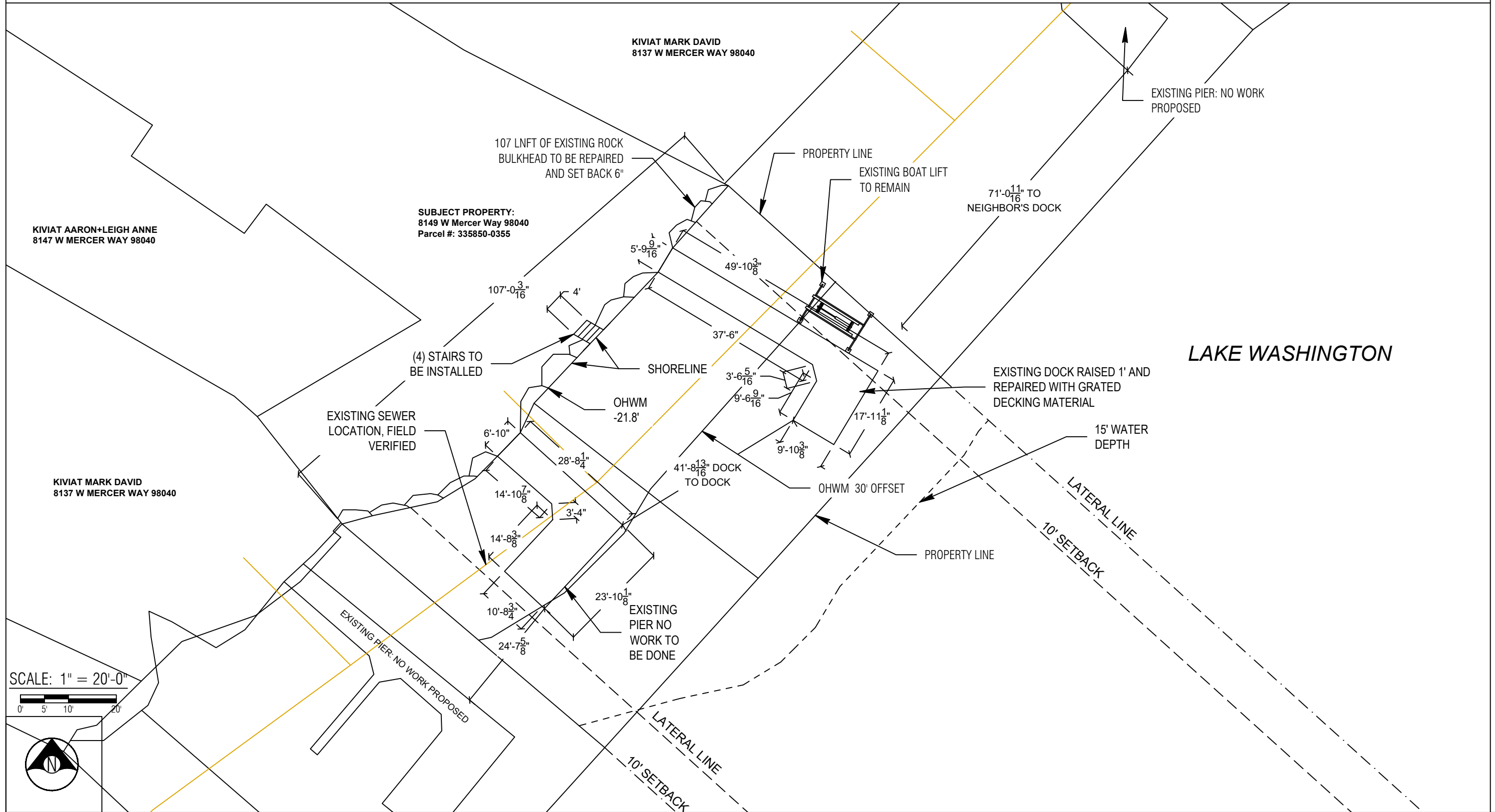
Adjacent Owners:  
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 KIVIAT MARK DAVID  
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 MCMILLAN COREY TYLER+VICTOR  
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**SHEET**  
**4.0**

# PROPOSED CONDITIONS

**\*\*CLEAN UP LAKE AROUND PROJECT\*\***



KIVIAT AARON+LEIGH ANNE  
8147 W MERCER WAY 98040

**SUBJECT PROPERTY:**  
8149 W Mercer Way 98040  
Parcel #: 335850-0355

KIVIAT MARK DAVID  
8137 W MERCER WAY 98040

KIVIAT MARK DAVID  
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**SHEET**  
**5.0**

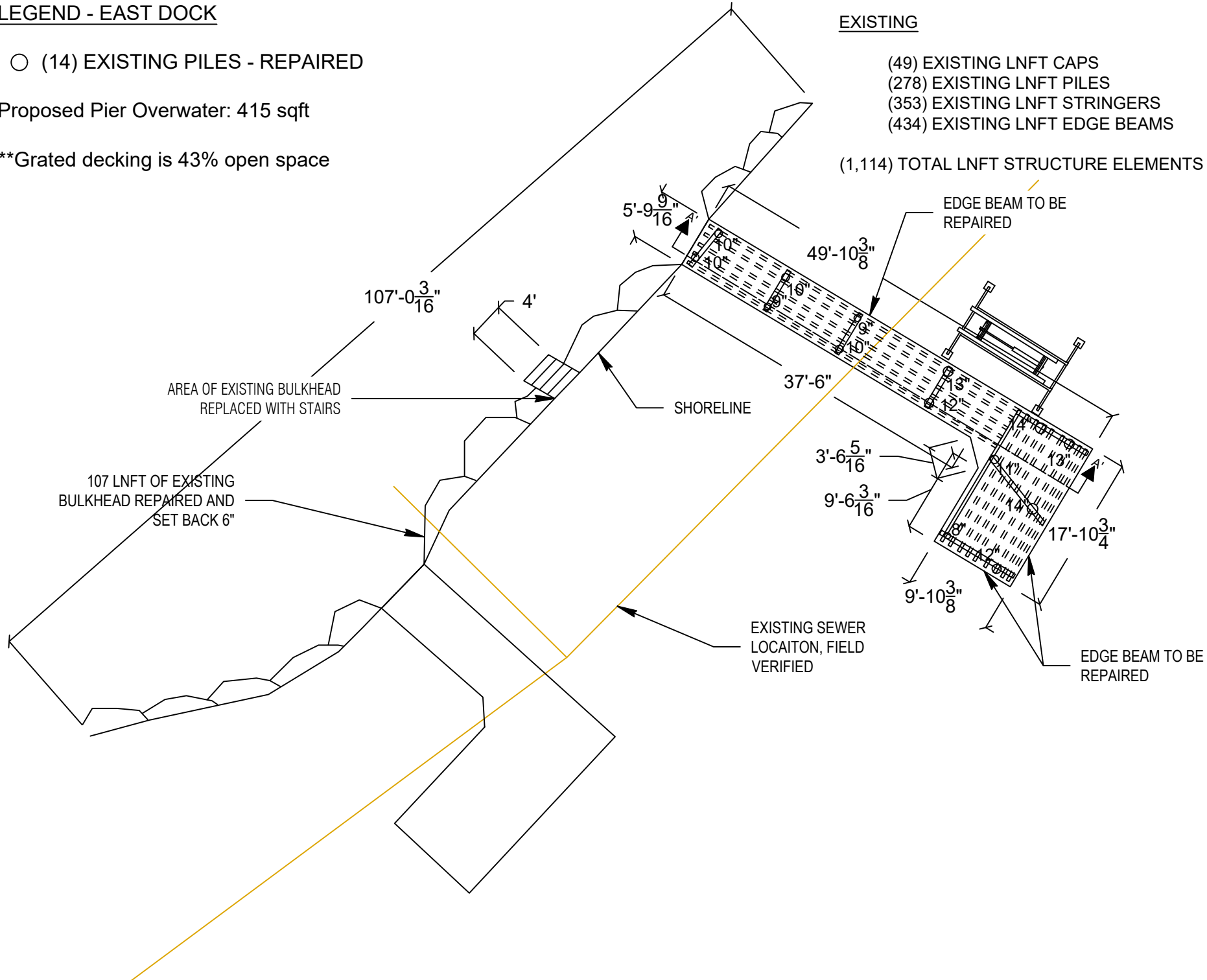
# PIER DETAILS - PROPOSED PLAN VIEW

## LEGEND - EAST DOCK

○ (14) EXISTING PILES - REPAIRED

Proposed Pier Overwater: 415 sqft

\*\*Grated decking is 43% open space



## EXISTING

- (49) EXISTING LNFT CAPS
- (278) EXISTING LNFT PILES
- (353) EXISTING LNFT STRINGERS
- (434) EXISTING LNFT EDGE BEAMS

(1,114) TOTAL LNFT STRUCTURE ELEMENTS

## TO BE REPAIRED

- (0) EXISTING LNFT CAPS TO BE REPAIRED
- (63) EXISTING LNFT PILES TO BE REPAIRED
- ▭ (215) EXISTING LNFT STRINGERS TO BE REPAIRED w/ ANGLE IRON
- ▭ (78) EXISTING LNFT EDGE BEAMS TO BE REPAIRED

(356) TOTAL LNFT STRUCTURE ELEMENTS TO BE REPAIRED

356/1,114 = 32%

**\*\*100% OF EXISTING WOOD STRINGERS LINEAR FOOTAGE TO BE REPLACED WITH STEEL FRAMES USING 61% OF LINEAR FOOTAGE\*\***

(SEE PROPOSED FRAMING PLAN ON SHEET S2.01 FOR DIFFERENTIATION)

ALL PILES ARE REPAIRED USING A SLEEVE METHOD, ONLY 4-1/2' OF EACH PILE WILL BE REPAIRED (SEE PILE REPAIR DETAIL S3.02)

PLAN VIEW



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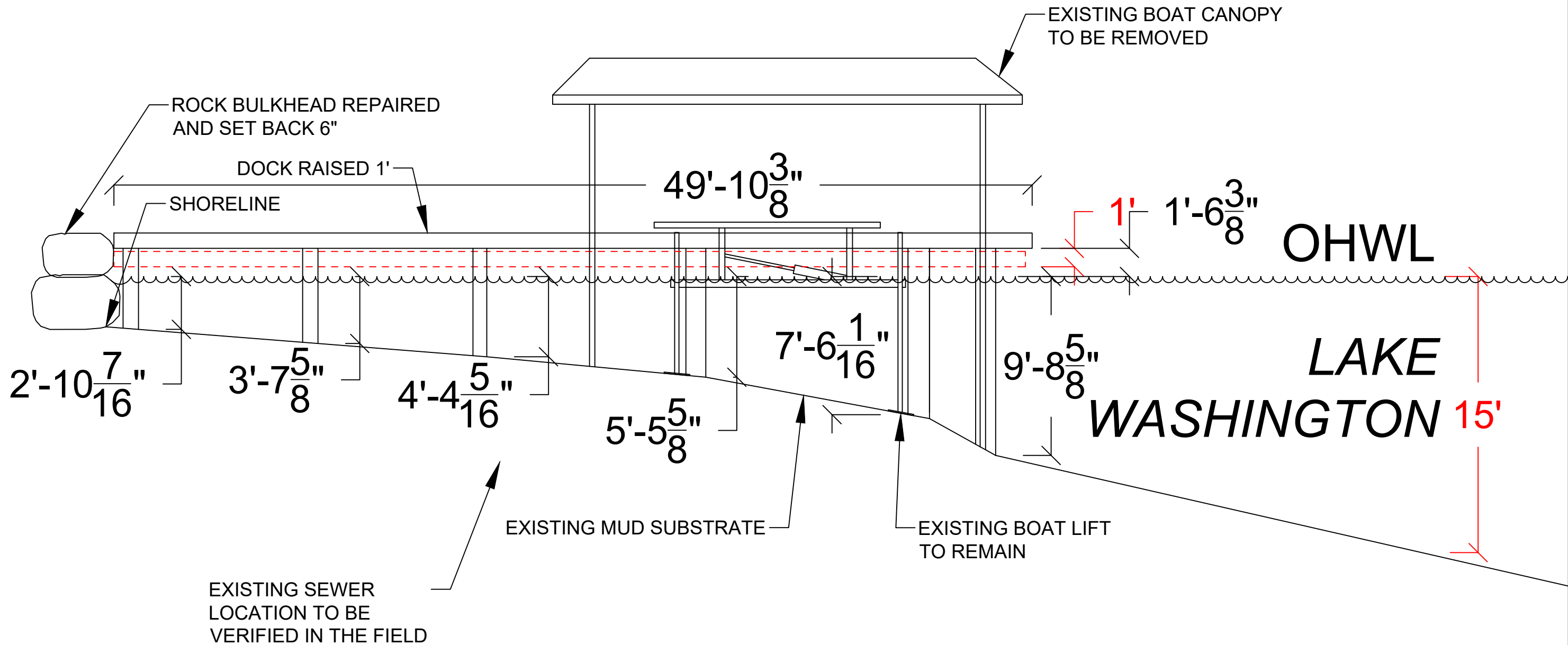
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NWS-2023-XXX  
PAGE 6 OF 15

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# PIER DETAILS PROPOSED - SECTION VIEW



SECTION VIEW: A'-A'



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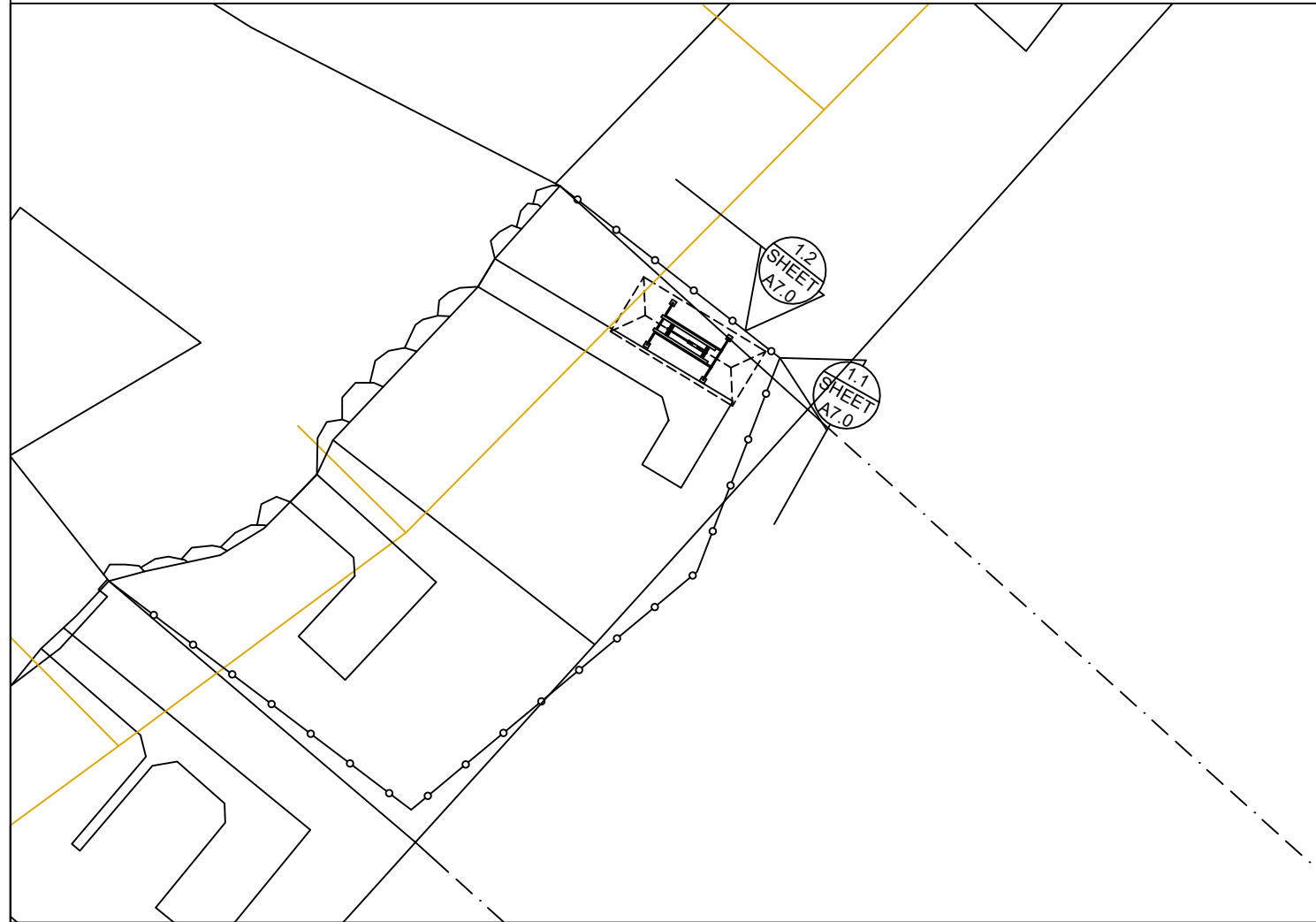
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# BMP INFORMATION

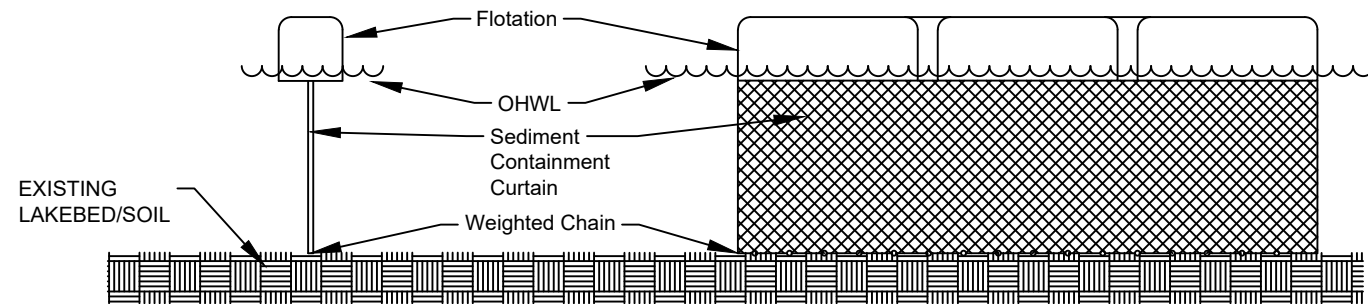


## BMP NOTES:

- A. Constant vigilance shall be kept for the presence of protected fish species during all aspects of the proposed action, particularly during in-water activities such as vessel movement, deployment of anchors & spuds, pile driving, dredging, and placement of gravels and other fill.
  1. The project manager shall designate an appropriate number of competent observers to survey the project site and adjacent areas for protected species, including the presence of fish as conditions allow.
  2. Visual surveys shall be made prior to the start of work each day, and prior to resumption of work following any break of more than an hour. Periodic additional visual surveys throughout the work day are strongly recommended.
  3. All in-water work shall be done during the in-water work window for the waterbody. Where there is a difference between the USCOE and WDFW work windows, the overlap of the two shall apply.
  4. All pile driving and extraction shall be postponed or halted when obvious aggregations or schooling of fish are observed within 50 yards of that work, and shall only begin/resume after the animals have voluntarily departed the area.
  5. When piloting vessels, vessel operators shall operate at speeds and power settings to avoid grounding vessels, and minimize substrate scour and mobilization of bottom sediments.
- B. No contamination of the marine environment shall result from project-related activities.
  1. Appropriate materials to contain and clean potential spills shall be stored and readily available at the work site and/or aboard project-related vessels.
  2. The project manager and heavy equipment operators shall perform daily pre-work equipment inspections for cleanliness and leaks. All heavy equipment operations shall be postponed or halted should a leak be detected, and shall not proceed until the leak is repaired and the equipment is cleaned.
  3. To the greatest extent practicable, utilize biodegradable oils for equipment that would be operated in or near water.
  4. Fueling of land-based vehicles and equipment shall take place at least 50 feet away from the water, preferably over an impervious surface. Fueling of vessels shall be done at approved fueling facilities.
  5. Turbidity and siltation from project-related work shall be minimized and contained through the appropriate use of erosion control practices, effective silt containment devices, and the curtailment of work during adverse weather and tidal/flow conditions.
  6. All wastes shall be collected and contained for proper disposal at approved upland disposal sites appropriate for the material(s).
  7. When removing piles and other similarly treated wood, containment curtain must fully enclose the work area. Wood debris, oils, and any other materials released into lake waters must be collected, removed, and properly disposed of at approved disposal sites.
  8. All in- and over-water wood cutting would be limited to the minimum required to remove the subject wood component, and all cutting work should be enclosed within floating containment curtain.
  9. When removing piles, no actions shall be taken that would cause adhering sediments to return to lake waters.
  10. Above-water containment shall be installed around removed piles to prevent sediment laden waters from returning to lake waters.
  11. Construction staging (including stocking of materials, etc.) will occur on the supply barge.
  12. All Exposed wood to be used on the project will be treated with a cheminite treatment.

DETAIL 1.1

DETAIL 1.2



DETAIL 1.1 & 1.2



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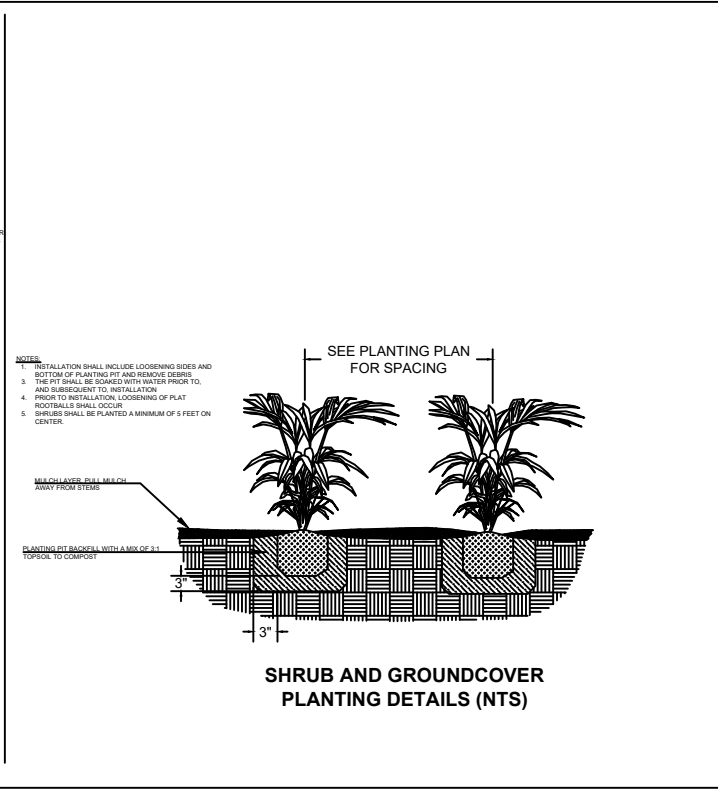
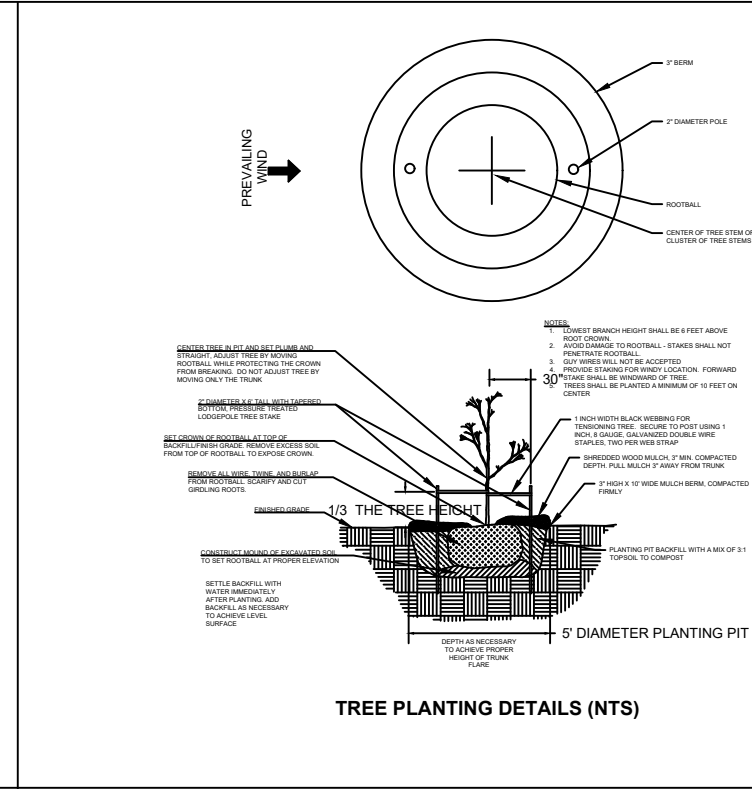
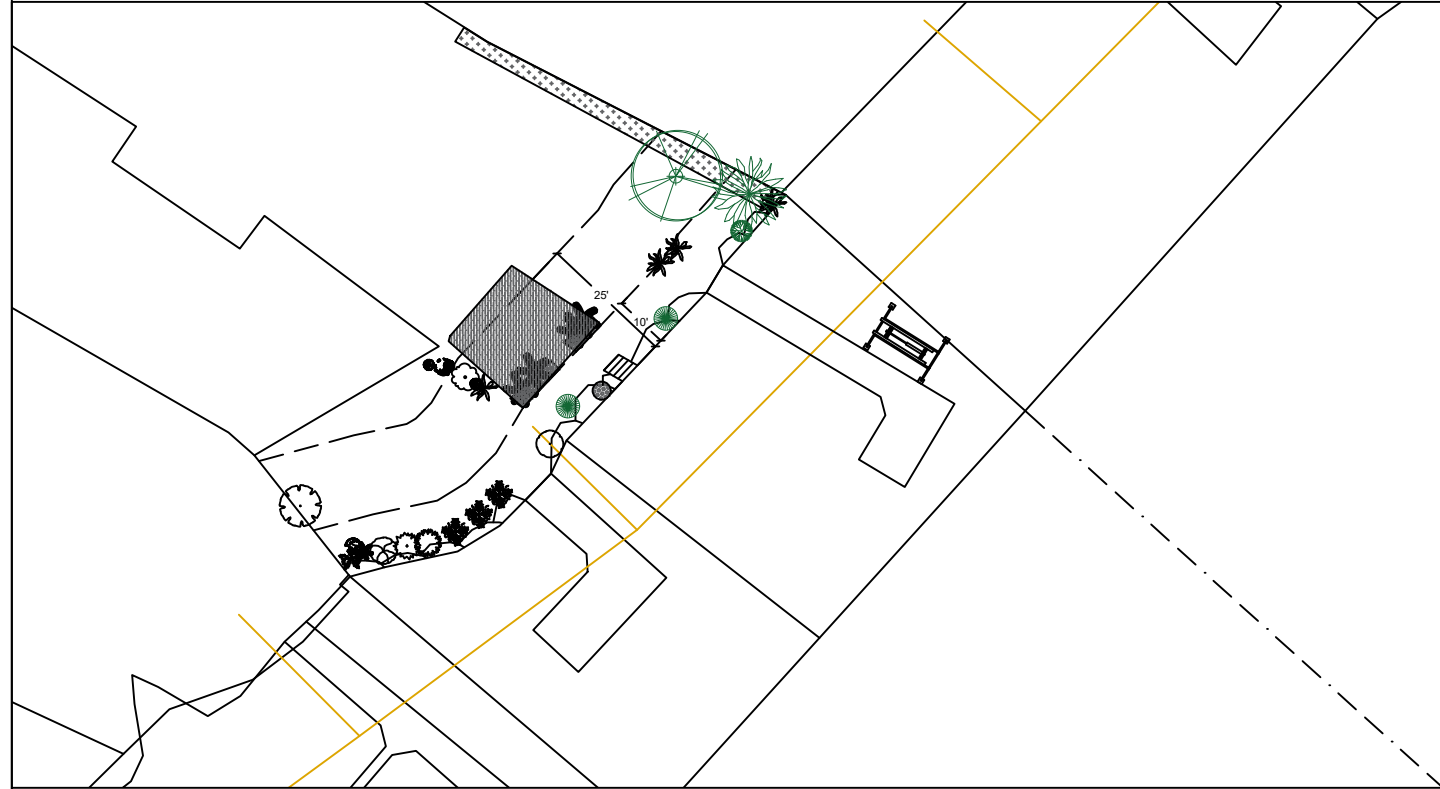
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# MITIGATION PLAN



**Notes:**

- The property owner shall implement and abide by the shoreline planting plan, including the installation of the identified species, in the identified locations. Shrubs shall be planted at least five feet on center, and trees shall be planted at least ten feet on center.
- For best plant survival, planting should be completed the first October through March period concurrent with or immediately following the work authorized by this permit. A report, as-built drawing and photographs demonstrating the plants have been installed or a report on the status of project construction will be submitted to the U.S. Army Corps of Engineers, Seattle District, Regulatory Branch, within 12 months from the date of permit issuance. This reporting requirement may be met by completing and submitting a U.S. Army Corps of Engineers approved Report for Mitigation Work Completion form.
- The property owner shall preserve in good health 100% of shoreline planting plan vegetation for as long as the structures that have been permitted under the RAP program remain in place. Plants that die must be replaced with the appropriate plant type (i.e. tree for tree, shrub for shrub) from the RAP Plant List.
- The property owner shall monitor the survival of shoreline planting plan vegetation for five years (Monitoring Years 1-5) after the U.S. Army Corps of Engineers accepts the as-built report. The property owner shall also submit annual monitoring reports to the U.S. Army Corps of Engineers each year during this period. Each annual monitoring report will include written and photographic documentation that the performance standards are being met, including documentation of plant mortality and replacement. Photos will be taken from established points and used repeatedly for each monitoring year. In addition to photos at designated points, photo documentation will include a panoramic view of the entire planting area. Submitted photos will be formatted on standard 8 1/2 x 11" paper, dated with the date the photo was taken, and clearly labeled with the direction from which the photo was taken. The photo location points will be identified on an appropriate drawing. Annual shoreline planting monitoring reports will be submitted to the U.S. Army Corps of Engineers, Seattle District, Regulatory Branch, by November 31 of each monitoring year. This reporting requirement may be met by completing and submitting a U.S. Army Corps of Engineers approved Mitigation Planting Monitoring Report form.

## PROPOSED PLANTING SPECIES/QUANTITIES

SYMBOL	LATIN NAME	COMMON NAME	QTY	SIZE
	Thuja plicata	Western Red Cedar	1	3 ft
	Pinus contorta v contorta	Shore pine	1	3 ft
	Rosa nutkana	Nootka Rose	1	1 Gallon
	Philadelphus lewisii	Mock Orange	2	1 Gallon

**PLANTS:** Shrubs to be installed 5ft on center and trees to be installed 10ft on center.



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**Scope of Work:** We propose to repair (14) piles of the east dock, set back 6" and repair 107 lft of existing bulkhead, replace 4 lft of existing rock bulkhead with stairs, raise the existing east dock 1', and repair the existing east dock with (415 sqft) grated decking material.

County: King County  
Location: Lake Washington

Applicant: Thomas Residence  
8149 W Mercer Way  
Mercer Island, Washington 98040

Datum: CORPS OF ENGINEERS 1919  
NE Quarter Of Section 36, Township 24, Range 04

Adjacent Owners:  
MCMILLAN COREY TYLER+VICTOR  
8153 W MERCER WAY 98040

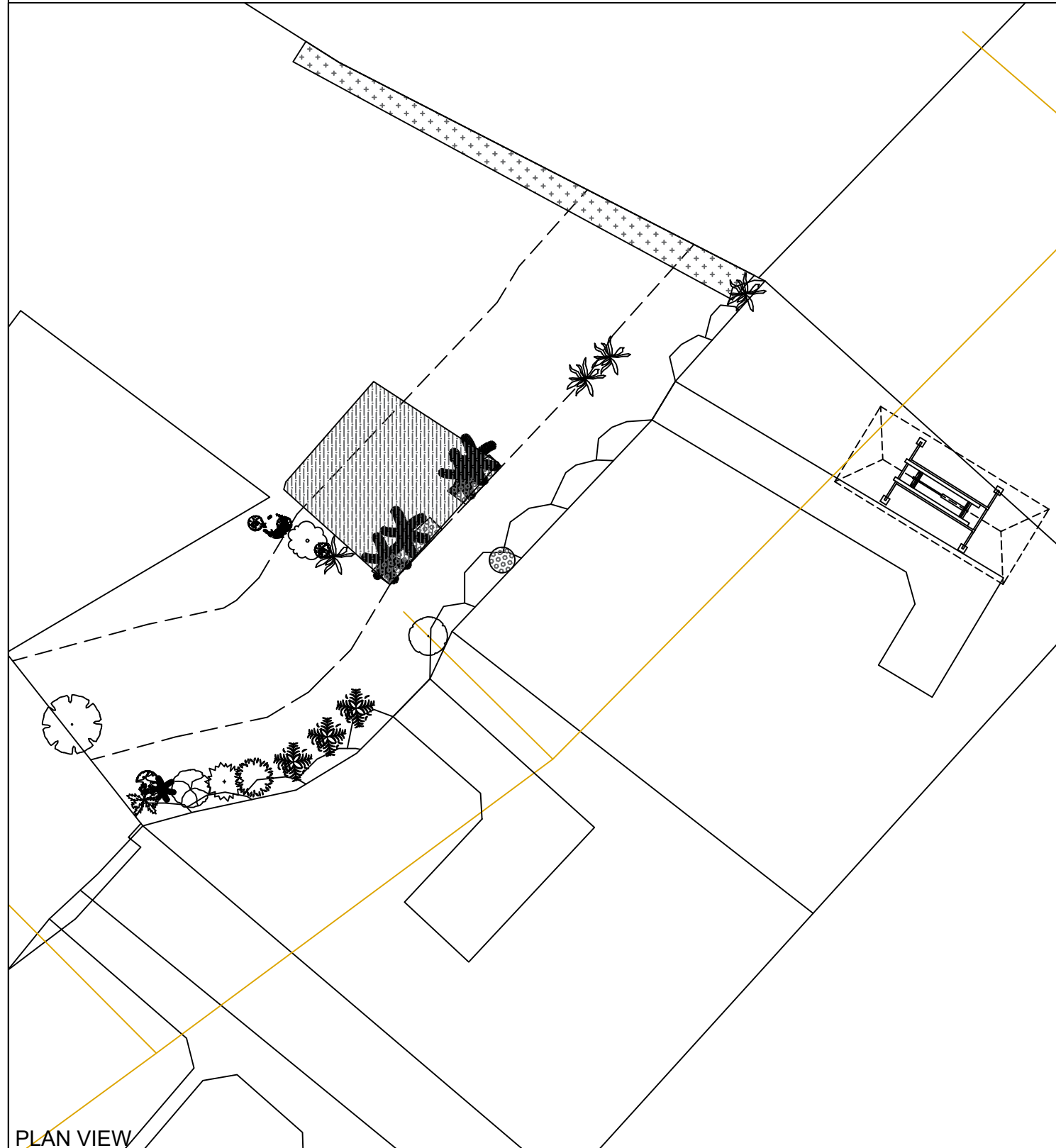
KIVIAT MARK DAVID  
8137 W MERCER WAY 98040

Created: 07/17/23  
Last Updated: 3/6/2024 2:11 am Leymar

**SHEET 9.0**

NWS-2023-XXX  
PAGE 9 OF 15

# EXISTING PLANT PLAN



## EXISTING PLANTING SPECIES/QUANTITIES

SYMBOL	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE
	Salvia microphylla	Baby Sage	1	5' x 5'
	Polystichum munitum	Western Swordfern	4	varies
	Rosa x hybrida	Hybrid tea rose	3	varies
	Crococsmia	Montbretia	1	~5' x 5ft
	Hydrangea paniculata	Panicle hydrangea	5	varies
	Verbena bonariensis	Purpletop vervain	1	~5' x5'
	Rudbeckia hirta	Black-eyed Susan	1	~4'
	Zantedeschia	Calla lily	1	~4'
	Musa basjoo	Hardy banana	1	~8'
	Hypericum androsaemum	Tutsan	1	~5'
	Prunus laurocerasus	Cherry laurel	N/A	N/A
	Juniperus communis	Juniper	N/A	N/A
	Wisteria sinensis	Chinese wisteria	N/A	N/A
	Passiflora caerulea	Blue passionflower	1	N/A
	Hemerocallis liloasphodelus	Yellow daylily	1	~ 5'
	Berberis thunbergii	Japanese barberry	3	varies

EXISTING PLANTS TABLE

PLAN VIEW

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**SHEET 10.0**

GENERAL CONDITIONS

1. THE CONTRACTOR SHALL VERIFY AND REVIEW ALL ITEMS WITHIN THE DRAWINGS PRIOR TO PROCEEDING WITH THE WORK. NOTIFY THE ENGINEER IMMEDIATELY WITH ANY DISCREPANCIES.
2. IF A SPECIFIC DETAIL IS NOT SHOWN FOR ANY PART OF THE WORK, THE CONSTRUCTION SHALL BE THE SAME AS FOR SIMILAR WORK.
3. DIMENSIONS ARE NOT TO BE SCALED FROM THE PLANS, SECTIONS, OR DETAILS WITHIN THE DRAWINGS.
4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCE, AND PROCEDURES.
5. ALL WORK SHALL CONFORM TO THE MINIMUM STANDARDS OF THE REFERENCED CONSTRUCTION AND ALL OTHER REGULATING AGENCIES, EXERCISING AUTHORITY OVER ANY PORTION OF THE WORK.
6. THE PROJECT SPECIFICATIONS AND SPECIFIC NOTES AND DETAILS IN THE DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES.
7. NOTIFY THE ENGINEER OF ALL CHANGES MADE IN THE FIELD PRIOR TO INSTALLATION.
8. CONSTRUCTION TOLERANCE: VERTICAL 1/8", PLUMBNESS 1", HORIZONTAL DRIFT 1".
9. COMPLY WITH PROJECT PERMITS.

DESIGN CRITERIA

DESIGN CODE: AASHTO LRFD, ASCE DESIGN OF MARINE FACILITIES

WIND DESIGN: V= 78 MPH

DESIGN VESSEL: 25' VESSEL

WAVE DESIGN: SIGNIFICANT WAVE HEIGHT 2.1 FT  
WAVE PERIOD 2.3 SEC  
WAVE LENGTH 27.2 FT

LIVE LOAD: 40 PSF

STRUCTURAL STEEL

1. ALL PLATES SHALL CONFORM TO ASTM 50.
2. ALL WF SHAPED SHALL CONFORM TO ASTM A992, FY = 50 KSI.
3. ALL PILES SHALL CONFORM TO ASTM A252 GRADE 3 FY = 45 KSI.
4. ALL BOLTS SHALL CONFORM TO ASTM A307, UNO.
5. ALL NUTS SHALL CONFORM TO ASTM A563, UNO.
6. ALL WASHERS SHALL CONFORM TO ASTM F436, UNO.
7. ALL THREADED RODS SHALL CONFORM TO ASTM F1554, GRADE 36.
8. ALL STEEL MEMBERS THAT ARE NOT EPOXY COASTED SHALL BE HOT DIP GALVANIZED IN ACCORDANCE WITH ASTM A153 AS APPLICABLE.

WELDING

1. ALL WELDING SHALL BE PERFORMED BY WELDERS QUALIFIED FOR THE WELD AND POSITION SHOWN IN ACCORDANCE WITH AWS AND HAVING CURRENT CERTIFICATION FROM WABO.
2. ALL WELDS SHALL BE PERFORMED WITH PROCEDURES PRE-QUALIFIED OR QUALIFIED IN ACCORDANCE WITH AWS D1.1.
3. THE WELDS SHOWN ARE FOR THE FINAL CONNECTIONS. FIELD WELD SYMBOLS ARE SHOWN WHERE REQUIRED BY THE STRUCTURAL DESIGN. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING IF A WELD SHOULD BE SHOP OR FIELD WELDED IN ORDER TO FACILITATE THE STRUCTURAL STEEL ERECTION.
4. WELDING ELECTRODES SHALL BE 70 KSI STRENGTH AND SHALL BE "LOW-HYDROGEN ELECTRODES"

TIMBER

1. EACH PIECE OF LUMBER SHALL BEAR A STAMP INDICATING A GRADE MARK OF THE WEST COAST LUMBER INSPECTION BUREAU (WCLIB), WESTERN WOOD PRODUCTS ASSOCIATION (WWPA), OR OTHER AGENCY ACCREDITED BY THE AMERICAN STANDARD COMMITTEE (ALSC).
2. DIMENSION LUMBER SHALL BE P.T. DOUG-FIR NO 2 OR BETTER, UNLESS NOTED OTHERWISE.
3. WOOD SHALL BE SEASON DRY WITH A MAXIMUM MOISTURE CONTENT OF 19%
4. PRESERVATION TREATED WOOD SHALL CONFORM TO THE AMERICAN WOOD PROTECTION ASSOCIATION (AWPA) UC4A. ALL WOOD SHALL BEAR A TREATMENT IDENTIFICATION MARK BY THE CERTIFYING AGENCY.
5. ALL BOLT HOLES IN WOOD MEMBERS SHALL BE A MINIMUM OF 1/32" TO MAXIMUM OF 1/16" LARGER THAN THE BOLT DIAMETER. PROVIDE PLATE WASHERS WHERE NUTS BEAR ON WOOD. CUT WASHERS SHALL MEASURE 2 1/4" X 3/16" THICK.
6. JOIST TO EDGE BEAM CONNECTION SHALL BE HUS28 OR EQUIVALENT FOR PT 4X8 JOIST, AND OHU48-SDS3 OR EQUIVALENT FOR PT 2X8 JOIST BEAM.

MARINE GRADE PLYWOOD

1. PLYWOOD: US PRODUCT PS1 (LATEST EDITION), GRADE STOMPED AND EDGE BRANDED TO DFPA STANDARDS OF THE APA - THE ENGINEERED WOOD ASSOCIATION
2. FRAMING, BLOCKING, BACKING, ETC., UNLESS OTHERWISE SHOWN, SHALL BE DOUGLAS FIR. ALL INTERIOR WOOD AND PLYWOOD USED FOR BLOCKING AND BUILT INTO ROOFING, WALLS, OR OTHERWISE SHOWN SHALL RECEIVE FIRE RETARDANT PRESSURE TREATMENT IN ACCORDANCE TO IBC TYPE IIB CONSTRUCTION.
3. FOR PLYWOOD NAILING, SIZE AND SPACING SHALL AS INDICATED ON THE DRAWINGS, NAILS SHALL HAVE A DISTANCE NOT LESS THAN 3/8 INCH.

GRATING

1. DECK GRATING SHALL BE SAFE-T-SPAN I6010 FRP GRATING WITH MINIMUM OPEN AREA OF 60%

SPECIAL INSPECTIONS

1. ALL WELDS FOR THE ACCESS BRIDGE/ABUTMENT/FLOAT MODULES SHALL BE INSPECTED AFTER FIT-UP PRIOR TO PRODUCTION WELDING & AFTER PRODUCTION WELDING PRIOR TO COATING REPAIR
2. ALL CAST IN PLACE AND PRECAST CONCRETE SHALL BE THIRD PARTY INSPECTED FOR REINFORCING BAR PLACEMENT, COMPRESSIVE STRENGTH PER ASTM C39, SLUMP PER ASTM C143, AND AIR ENTRAINMENT PER ASTM C260

ABBREVIATIONS

@	AT
AWS	AMERICAN WELDING SOCIETY
CL	CENTER LINE
CLR	CLEAR
COL	COLUMN
CONT.	CONTINUOUS
DF	DOUF FIR
EA	EACH
EX OR (E)	EXISTING
GLB	GLULAM BEAM
LLH	LONG LEG HORIZONTAL
MIN	MINIMUM
MNFR	MANUFACTURER
OC	ON CENTER
OPP	OPPOSITE
PL	PLATE
PSI	POUND PER SQUARE INCH
PSF	POUND PER SQUARE FOOT
P.T.	PRESERVATIVE TREATED
SF	SQUARE FOOT
REF	REFERENCE
SIM	SIMILAR
SS	STAINLESS STEEL
t	THICK
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VIF	VERIFY IN FIELD
WABO	WASHINGTON ASSOCIATION OF BUILDING OFFICIALS
WF	WIDE FLANGE
W/	WITH

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Last Updated: 9/26/2023 2:58 PM Isabella  
Created: 07/17/23



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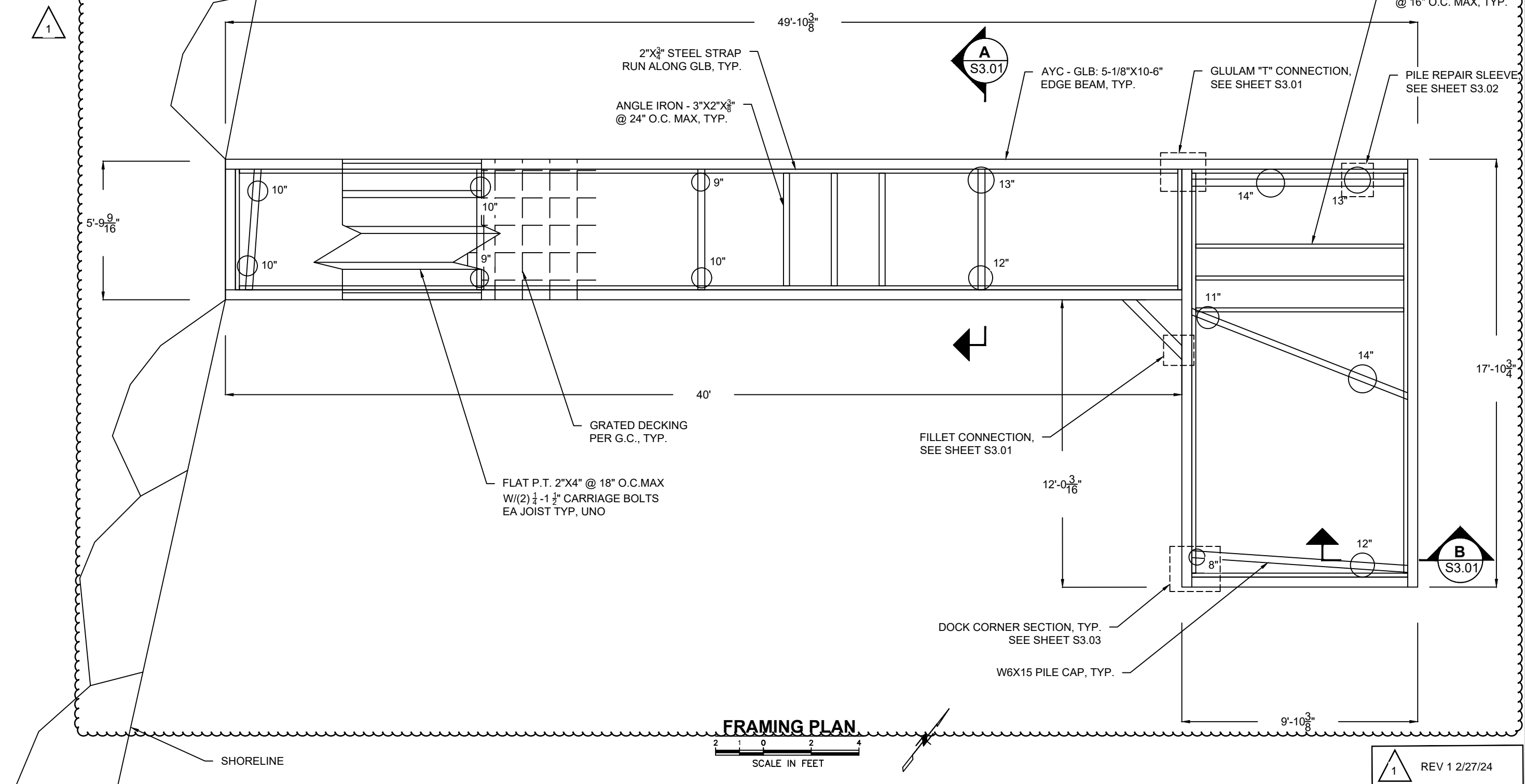
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DESIGNED BY: JS  
CHECKED BY: DT

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SHEET  
S1.01

**LEGEND - EAST DOCK**

○ (14) EXISTING PILES - SLEEVE REPAIRED



**FRAMING PLAN**  
SCALE IN FEET

△ 1 REV 1 2/27/24

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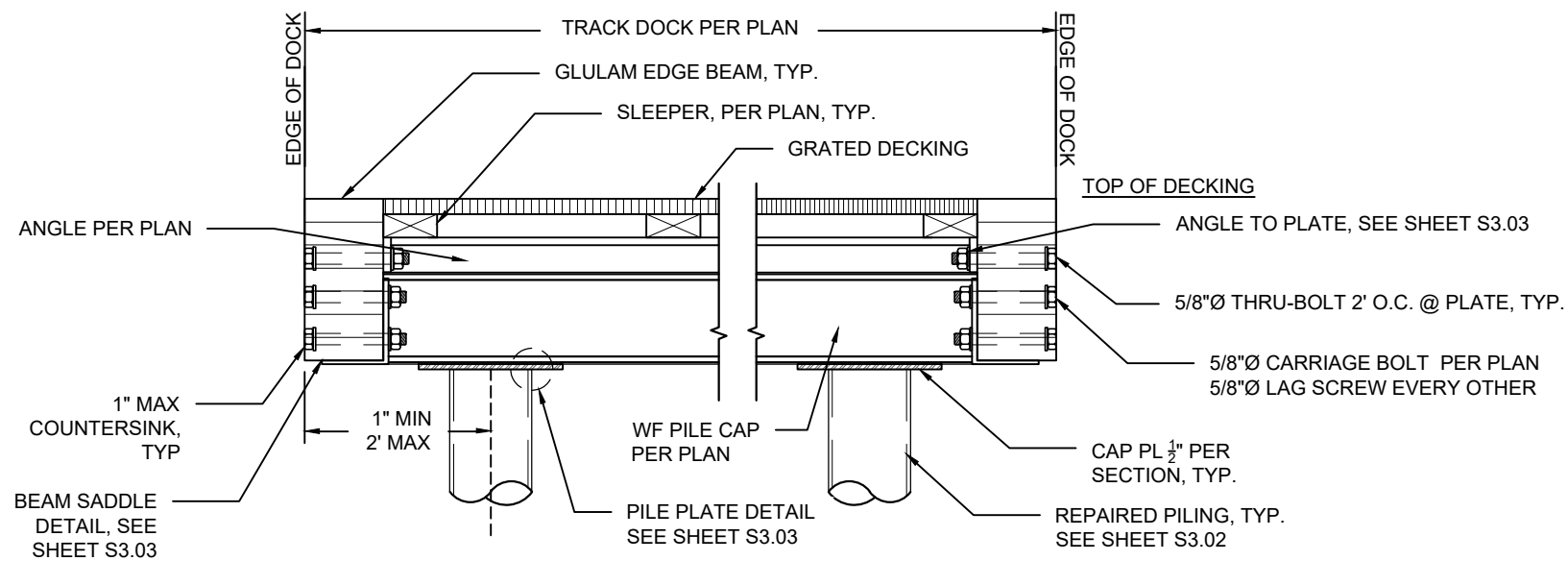
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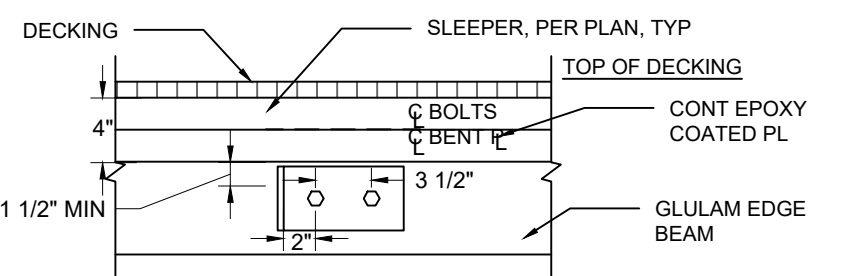
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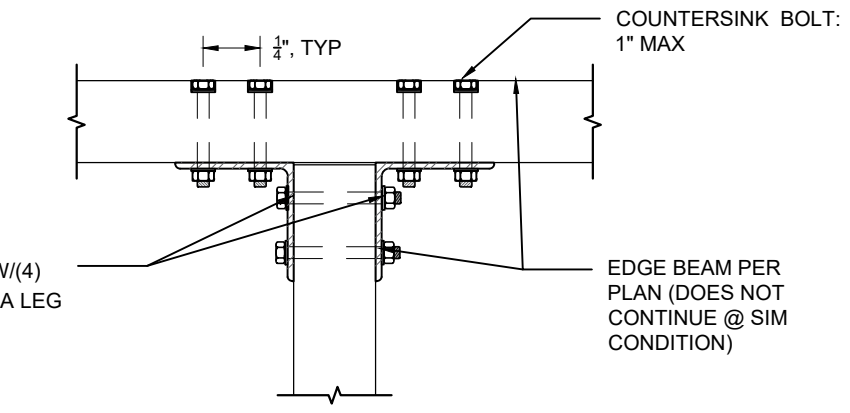
**SHEET S2.01**



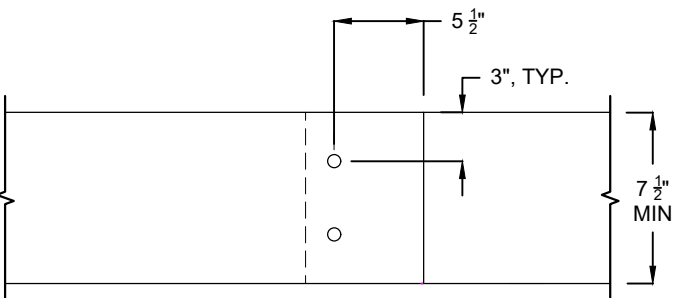
**A**  
S2.01  
**TYPICAL DOCK SECTION**  
SCALE IN FEET



**B**  
S2.01  
**DOCK END SECTION**  
SCALE IN FEET



**GLULAM "T" CONNECTION**  
SCALE IN FEET



**FILLET CONNECTION**  
SCALE IN FEET



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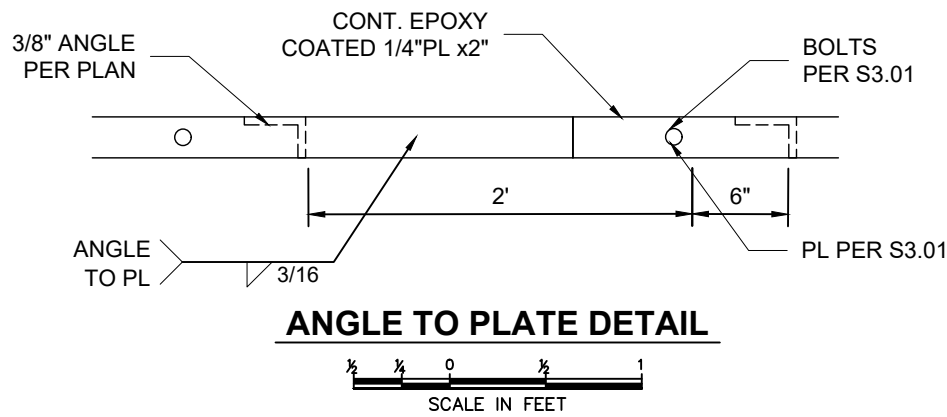
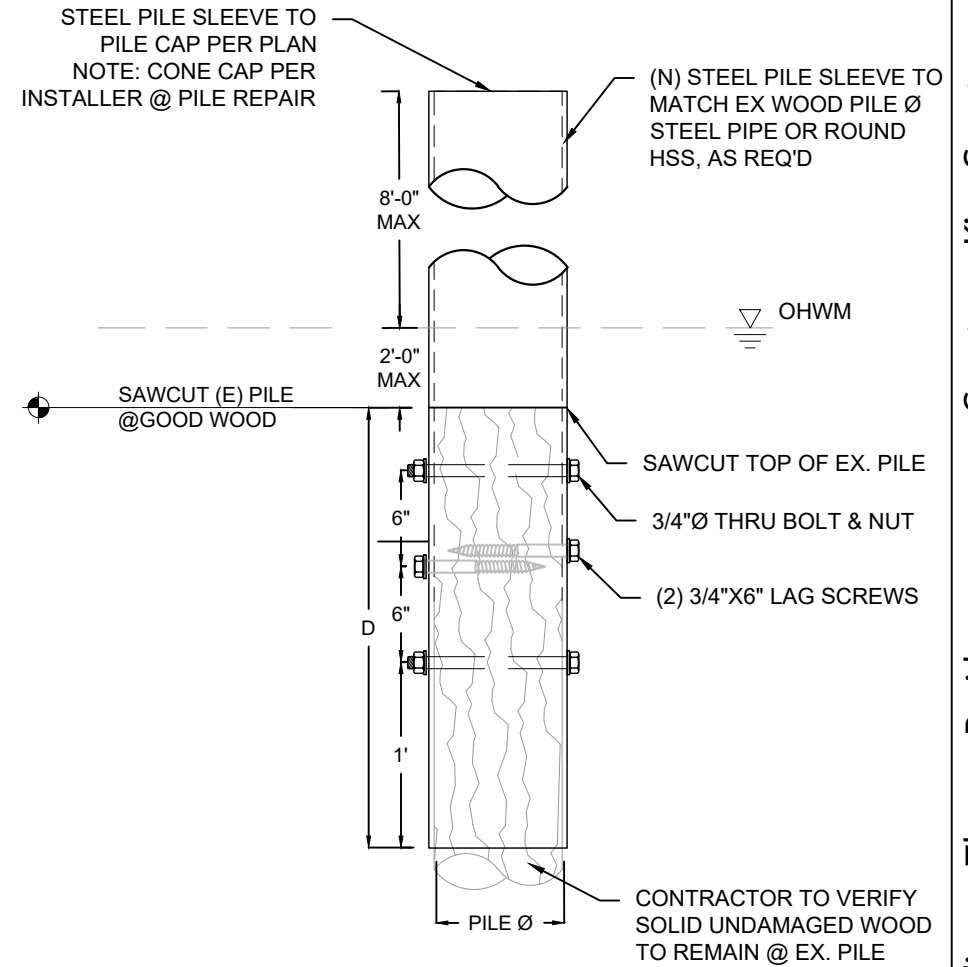
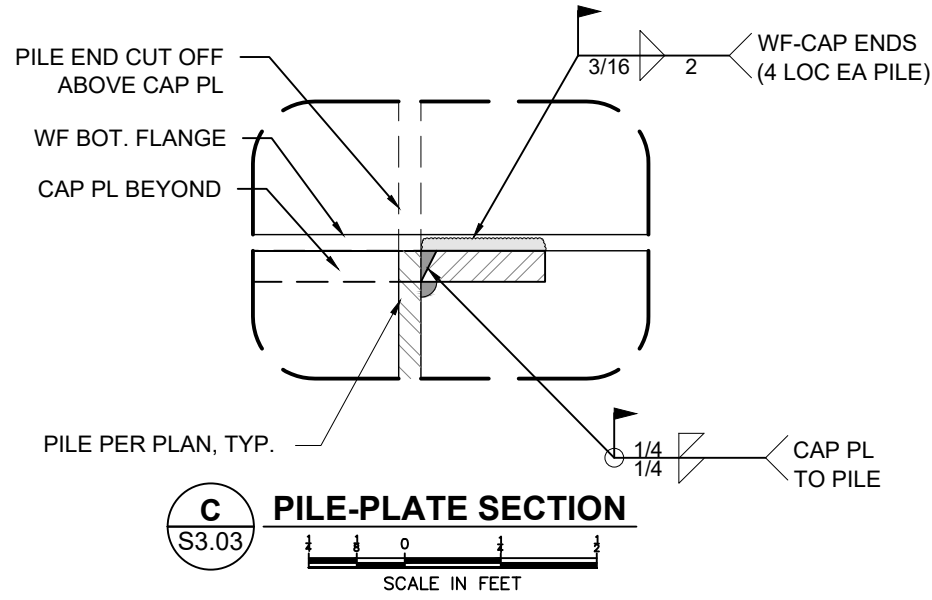
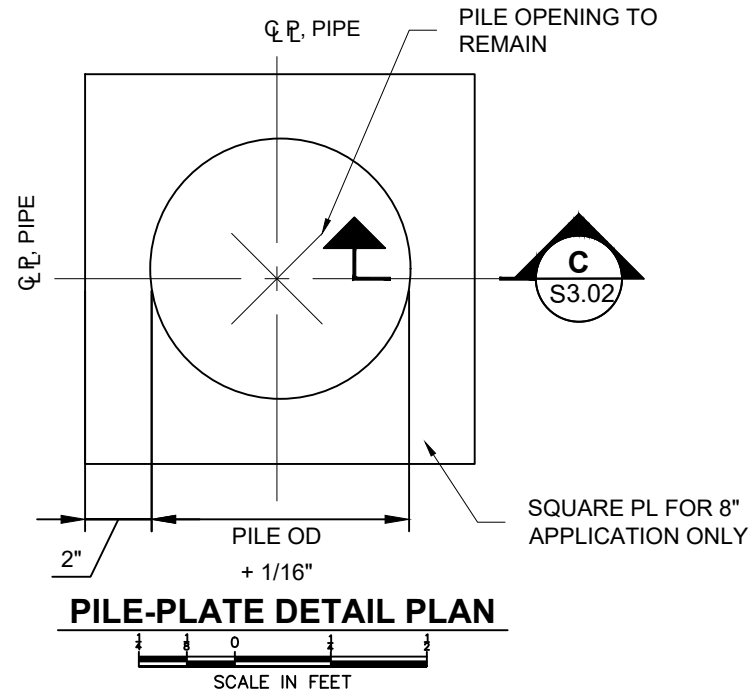
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SHEET  
S3.01  
Last Updated: 9/26/2023 3:09 PM Jimi  
Created: 07/17/23



STEEL SLEEVE TABLE	
PILE Ø	MIN D
8"	27"
10"	30"
12"+	36"

CONTRACTOR TO VERIFY THAT THE PILE FITS SNUGLY IN THE SLEEVE SUCH THAT THERE IS UNIFORM BEARING OF THE PILE AGAINST THE SLEEVE

**PILE REPAIR - SLEEVE**  
SCALE IN FEET



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**SHEET S3.02**

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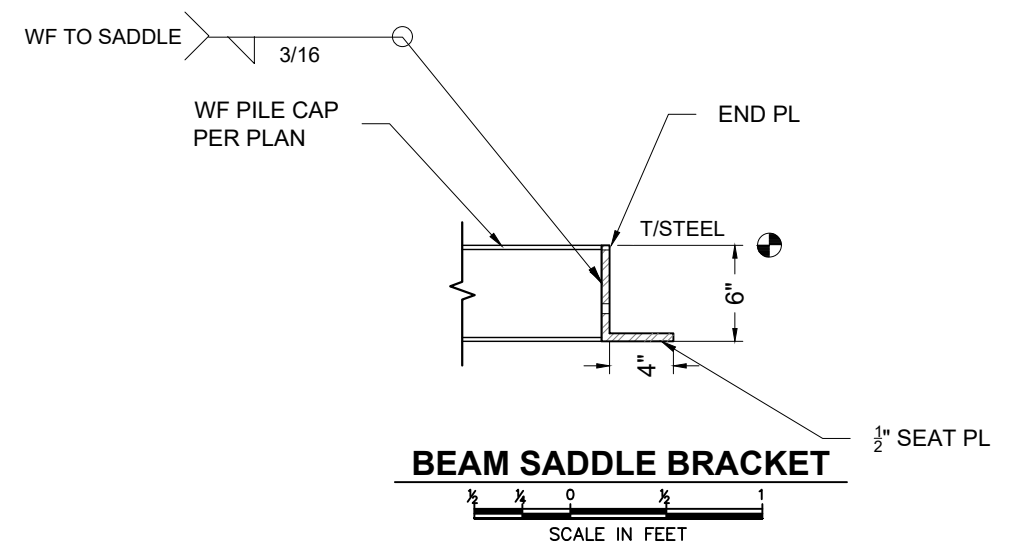
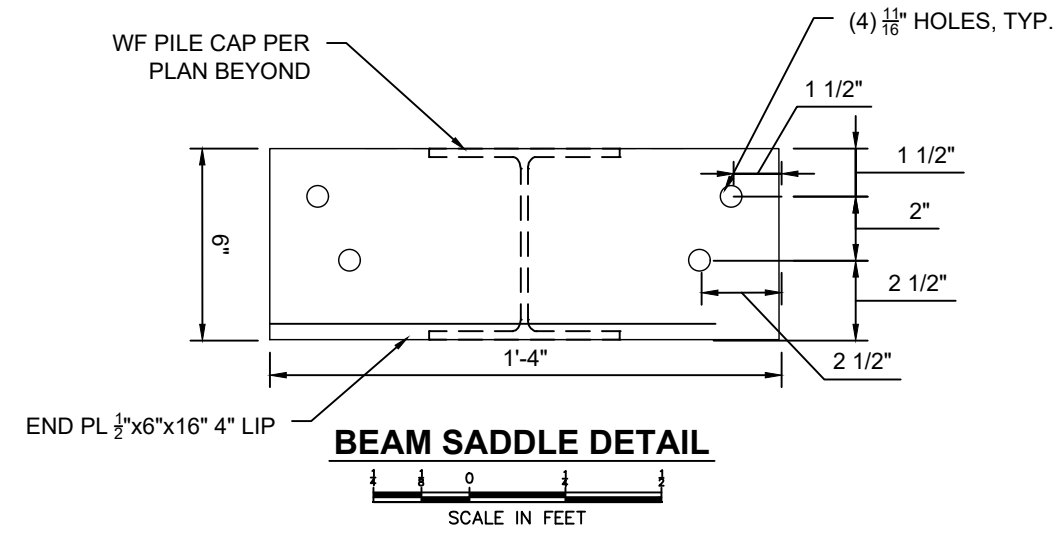
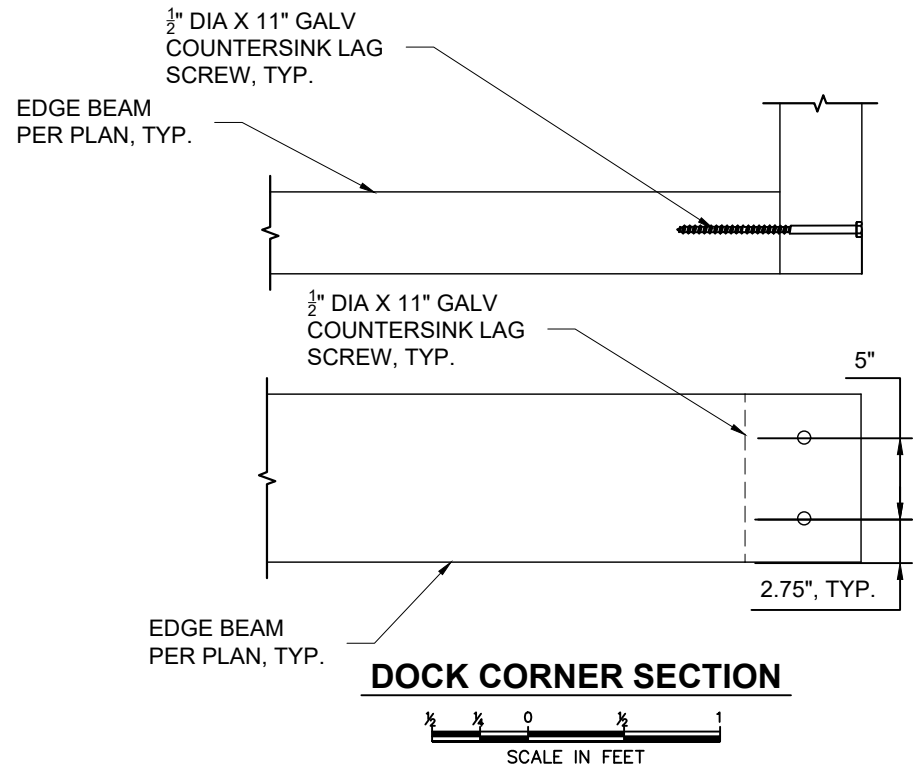
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County: King County  
Location: Lake Washington

Created: 07/17/23

Last Updated: 9/26/2023 2:58 PM Isabella



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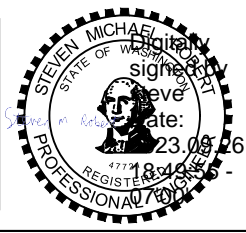
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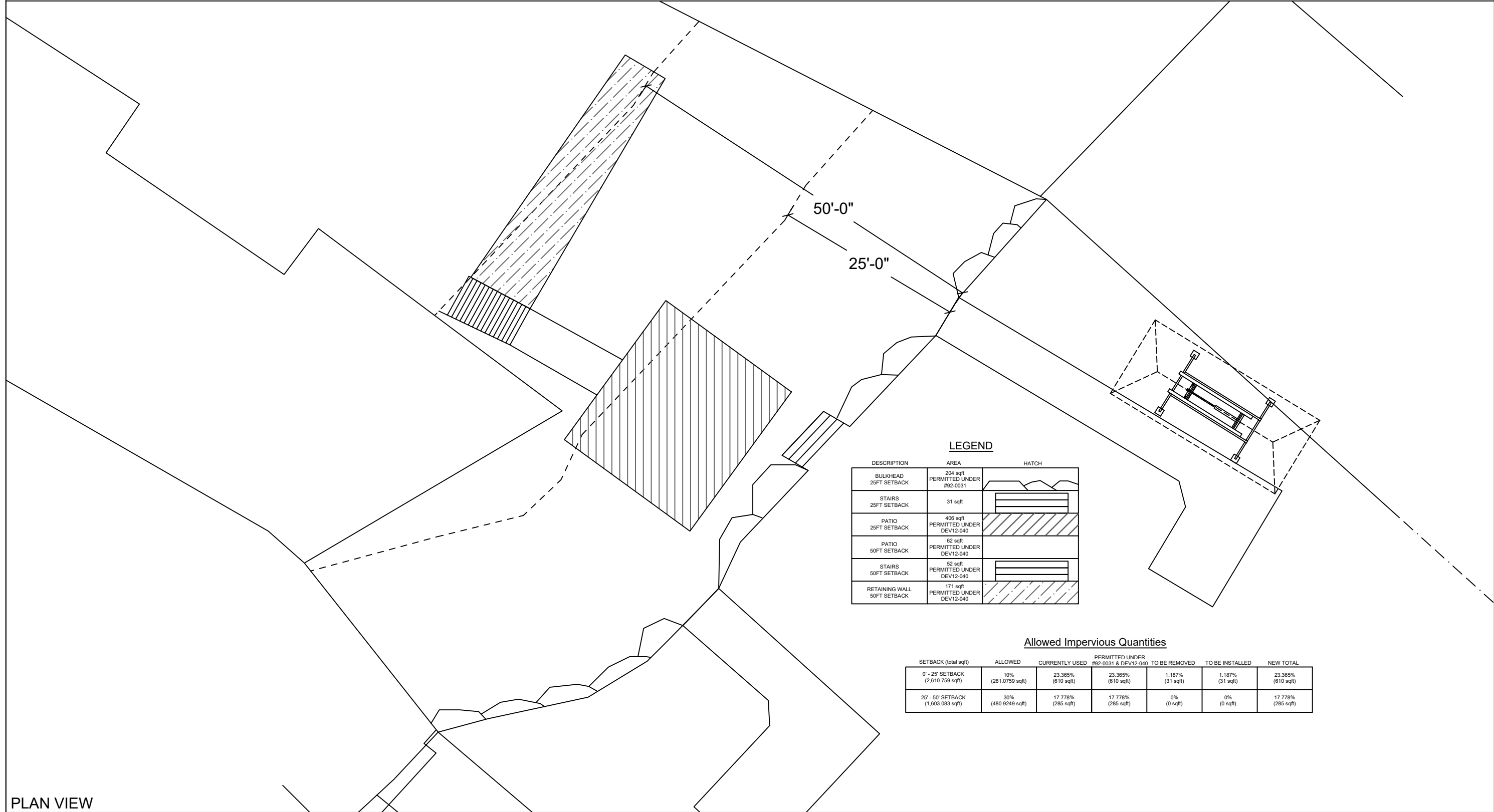


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**SHEET**  
**S3.03**

# HARDSCAPE CALCULATION



### LEGEND

DESCRIPTION	AREA	HATCH
BULKHEAD 25FT SETBACK	204 sqft PERMITTED UNDER #92-0031	
STAIRS 25FT SETBACK	31 sqft	
PATIO 25FT SETBACK	406 sqft PERMITTED UNDER DEV12-040	
PATIO 50FT SETBACK	62 sqft PERMITTED UNDER DEV12-040	
STAIRS 50FT SETBACK	52 sqft PERMITTED UNDER DEV12-040	
RETAINING WALL 50FT SETBACK	171 sqft PERMITTED UNDER DEV12-040	

### Allowed Impervious Quantities

SETBACK (total sqft)	ALLOWED	CURRENTLY USED	PERMITTED UNDER #92-0031 & DEV12-040	TO BE REMOVED	TO BE INSTALLED	NEW TOTAL
0' - 25' SETBACK (2,610,759 sqft)	10% (261,075.9 sqft)	23.365% (610 sqft)	23.365% (610 sqft)	1.187% (31 sqft)	1.187% (31 sqft)	23.365% (610 sqft)
25' - 50' SETBACK (1,603,083 sqft)	30% (480,924.9 sqft)	17.778% (285 sqft)	17.778% (285 sqft)	0% (0 sqft)	0% (0 sqft)	17.778% (285 sqft)

PLAN VIEW



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**SHEET**  
**15.0**

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