## MATTERS OF RECORD:

THE HEREIN DESCRIBED PROPERTY IS SUBJECT TO THE FOLLOWING EASEMENTS AND ENCUMBRANCES OF RECORD:

- COVENANTS, CONDITIONS, RESTRICTIONS, RESERVATIONS EASEMENTS AND OTHER TERMS AND CONDITIONS SHOWN ON LINDLEY ADDITION TO SEATTLE PER RECORDING NO. 32487
- RIGHT TO MAKE NECESSARY SLOPES FOR CUTS AND FILLS FOR FRANK W. FLOOD ROAD RECORDED IN VOLUME 29 ON PAGE 345 OF COMMISSIONER'S RECORDS.
- EASEMENT FOR WATER PIPELINE AND WATER SERVICE PER RECORDING NO. 3766695 (EXACT LOCATION IS NOT SPECIFIED)
- RIGHT TO MAKE NECESSARY SLOPES FOR CUTS AND FILLS PER RECORDING NO'S 4793511 AND 5056292.
- EASEMENT CONDEMNED IN KING COUNTY SUPERIOR COURT AND THE TERMS AND CONDITIONS THEREOF FOR ELECTRIC TRANSMISSION AND/OR DISTRIBUTION LINES PER CAUSE NO. 679116.
- EASEMENT CONDEMNED IN KING COUNTY SUPERIOR COURT AND THE TERMS AND CONDITIONS THEREOF FOR WATER PIPELINES PER CAUSE NO. 679116 (EXACT LOCATION IS NOT SPECIFIED).
- DECREE OF APPROPRIATION ENTERED IN KING COUNTY CAUSE NO. 541679 AND THE TERMS AND CONDITIONS THEREOF PER RECORDING NO. 5150805.
- EASEMENT FOR PUGET SOUND POWER AND LIGHT COMPANY GUY WIRE AND ANCHOR PER RECORDING NO. 6258135.
- NOTICE OF ADDITIONAL TAP AND CONNECTION CHARGES AND THE TERMS AND CONDITIONS THEREOF PER RECORDING NO. 7712060812.
- 10. COVENANTS, CONDITIONS RESTRICTIONS, RECITALS, EASEMENTS AND OTHER TERMS AND CONDITIONS SHOWN ON MERCER ISLAND LOT LINE REVISION SUB15-018 PER RECORDING NO. 20160519900008.

## LEGAL DESCRIPTION:

THE NORTH 200 FEET OF THE SOUTH 400 FEET OF VACATED BLOCK 4 LINDLEY ADDITION TO SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 3 OF PLATS, PAGE 103, RECORDS OF KING COUNTY WASHINGTON.

TOGETHER WITH THAT PORTION OF VACATED 90TH AVENUE ADJOINING PURSUANT TO KING COUNTY SUPERIOR COURT CAUSE NO. 679116.

EXCEPT THE WEST 10 FEET THEREOF CONVEYED TO KING COUNTY FOR ROAD BY DEEDS RECORDED UNDER RECORDING NO. 5056292 AND RECORDING NO. 4793511.

AND EXCEPT THAT PORTION THEREOF APPROPRIATED IN KING COUNTY SUPERIOR COURT CAUSE NO. 541679, RECORDED UNDER RECORDING NO. 4793511.

**REFERENCE SURVEYS:** 

- R1. PLAT OF LINDLEY ADDITION TO SEATTLE, VOL. 3 PG. 103.
- R2. MERCER ISLAND SHORT PLAT SUB12-0006. REC. NO. 20131220900005.
- R3. MERCER ISLAND BOUNDARY LINE REVISION, REC. NO. 20160519900008.

TOPOGRAPHY SURVEY NOTES:

- BASIS OF BEARINGS IS THE WASHINGTON STATE PLANE COORDINATE SYSTEM, N.A.D. 1983/2011, BASED ON GPS TIES TO THE WASHINGTON STATE REFERENCE NETWORK WSRN).
- 2. ELEVATION DATUM IS N.A.V.D. 1988 BASED ON GPS TIES TO THE WSRN.
- 3. FIELD WORK WAS DONE IN MARCH OF 2022 USING A TRIMBLE R8 GNSS GPS RECEIVER, AND A SPECTRA PRECISION FOCUS 35 ROBOTIC TOTAL STATION IN ACCORDANCE WITH W.A.C. 332-130.
- THE PURPOSE OF THIS SURVEY IS TO PROVIDE A BASE MAP FOR CIVIL ENGINEERING DESIGN.
- 5. THE CONTOURS SHOWN ARE DERIVED FROM DIRECT FIELD OBSERVATIONS. THE CONTOUR INTERVAL IS 2.0 FEET AND THE CONTOUR ACCURACY IS ONE HALF OF THE INTERVAL (±1.0 FEET).
- 6. PROPERTY LINES SHOWN ARE BASED ON A FIELD SURVEY.
- 7. THE LEGAL DESCRIPTION AND MATTERS OF RECORD ARE TAKEN FROM FIDELITY NATIONAL TITLE INSURANCE COMPANY, CERTIFICATE NUMBER 611311326, DATED FEBRUARY 10, 2022 AT 8:00 AM.
- 8. THE UNDERGROUND UTILITIES SHOWN ARE BASED ON A COMBINATION OF PAINT MARKS PROVIDED BY APPLIED PROFESSIONAL SERVICES, INC, AND THE SURVEYED LOCATION OF OBVIOUS SURFACE FEATURES. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST ON AND AROUND THIS SITE.

# SHEETS INDEX

C - 1.0	Cov	<b>V</b> (
C - 1.1	City	У
C - 2.0	Exis	St
C - 2.1	Tre	96
C - 3.0	Tre	96
C - 4.0	TES	5(
C - 5.0	Pre	
C - 6.0	Pre	





Applicant / Project Owner

Mr. Jintao (Adison) Cui Home-Link Capital LLC 7683 SE 27th Street, Unit 186 Mercer Island, WA 98040 (206) 265 - 0810 adisoncui@outlook.com

ver Sheet Plan. PRE22 - 028 Notes sting Site Conditions Plan. es Table Plan. es Protection Plan. C Plan. liminary Short Plat Map Plan. liminary Grading, Drainage, and Utilities Plan.

# Existing Site Data:

Parcel Number:	4351300487
Parcel Address:	4833 90th Ave. SE
	Mercer Island, WA 98040
Zoning:	R - 8.5

Total Parcel Area (per survey): 41,165 s.f. = 0.945 Acre

Total Existing Impervious Surfaces = 5,862.0 sf Percentage of Existing Impervious Surfaces = 14.2 % Total Existing Pervious Surfaces = Grass 4,632.0 sf + Forest 30,671.0 sf = 35,303.0 sf Percentage of Existing Pervious Surfaces = 85.8 %

# Zoning Requirements:

Min. Lot Width Required:	60'
Min. Lot Depth Required:	80'
Min. Lot Area Required:	8,400 s.f.
Max. Lot Coverage:	40%
Required Landscape:	60%
Required Front Yard Setback:	20'
Required Rear Yard Setback:	25'
Minimum Side Yard Setback:	7.5'
Minimum Total Side Yard Setback:	15'

# NOTES

See detailed project information and detailed area calculations on sheet C - 5.0 and C - 6.0



*Project Description:* 

Proposed Residential 4 Lot Short Plat

Property Owner:

Mr. Jintao (Adison) Cui Home - Link Capital LLC 7683 SE 27th Street, Unit 186 Mercer Island, WA 98040 Email: adisoncui@outlook.com (206) 265 - 0810

# Project Contact:

Mr. Jintao (Adison) Cui *Home - Link Capital LLC* 7683 SE 27th Street, Unit 186 Mercer Island, WA 98040 Email: adisoncui@outlook.com (206) 265 - 0810

Know what's Below

C - 6.0

## CITY OF MERCER ISLAND

**COMMUNITY PLANNING & DEVELOPMENT** 9611 SE 36TH STREET | MERCER ISLAND, WA 98040 PHONE: 206.275.7605 | www.mercerisland.gov

![](_page_1_Picture_2.jpeg)

Pre-Application Meeting (PRE22-028) An Intake Screening is required in addition to a Pre-Application Meeting. A Pre-Application Meeting does not replace the required Intake Screening. This meeting is to provide guidance and information include prior to formal submittal

		Summary:	
Site Location:	4833 90th Ave SE	Parcel Number	435130-0487
Lot Size:	41,165 square feet A proposal for a 4-lot short subdivision.	Zoning:	R-8.4 (Single Family) 1. Pre-Application Meeting Request Form 2. Project Narrative and List of Questions
Brief Project		Documents	3. Civil Plans
Description:		Provided:	<ol> <li>Geotechnical Report</li> <li>Arborist Report</li> <li>Tree Inventory &amp; Replacement Submittal Information</li> <li>Tree Submittal Checklist</li> </ol>
Applicant Infor	mation:		
Name: Mazen Haidar Second Pre-app Meeting Requir	plication red: Recommended	Email: mazen@pacif It is recomme tree impacts	Phone:         iclandwa.com       425-615-6160         nded to meet with the city again to discuss         with a redesigned subdivision proposal.

Applicant Questions:

1. Is proposing a 20-foot-wide access easement instead of an access tract acceptable?

Staff Response: The proposed access easement must be large enough to accommodate the access road. MICC 19.08.030(F)(1) requires subdivisions abutting an arterial to provide internal access to the subdivision's lots. MICC 19.09.100(A) requires that a subdivision use common access drives where feasible. Therefore, a single access road must be used to access all four lots. Under MICC 19.09.040(B) a private road serving three or more lots shall be at least 20 feet in width. An access easement that is 20 feet in width is acceptable to accommodate a 20-footwide access road.

2. Can the area for the proposed 20-foot-wide access easement be included in each adjacent lot area to meet minimum lot area requirements per MICC 19.02.020?

PLEASE NOTE: These pre-application meeting notes have been prepared to assist the applicant in completing and submitting the application in a manner that complies with applicable development standards and permit processing requirements. Although care has been taken, in the event of a conflict between these notes and any applicable law, regulation or decision criteria, the latter shall prevail. The City of Mercer Island makes no warranty of any kind to the accuracy of the information contained in these notes. The information herein notwithstanding, it is the applicant's sole duty to ensure that the proposed development complies with all applicable laws, regulations and decision criteria. Neither the discussions nor the notes provided at the pre-application meeting shall bind the City in any manner or prevent the City's future application or enforcement of all laws, regulations and decision Page 1 of 13 May 17, 2022

- a. Fire code alternatives may be considered upon application of a building permit. The building designer must propose such alternative, which must show how the alternative is
- equal to or above the required code.
- b. Fire code alternatives are not considered as a replacement for the fire code. The individual building applicant must show that the adopted prescriptive code may not be followed as a result of extenuating circumstances.
- 7. Plat Map Wording Requirement: The following statement must be shown on all plat map submittals:

"All buildings are subject to meeting the current fire code requirements at the time of permit submittal. Access shall be provided as outlined in the International Fire Code Appendix D as adopted and/or amended and MICC 19.09.040. Fire plan reviews will be conducted at the time of building permit submittal and may require additional fire protection systems and/or fire prevention measures for permit approval."

## For additional information please refer to this helpful webpage: https://www.mercerisland.gov/cpd/page/fire-permits-and-prevention-information

## Tree Comments:

Tree Contact: John.Kenney@mercerisland.gov or 206-275-7713.

- 1. Please refer to MICC 19.10 for our tree code. 2. 30% of trees with a diameter of 10 inches or greater is required; additionally, development must be designed to minimize tree removal. Since this is currently considered one lot, use one tree inventory worksheet to calculate this. The project will not be approved unless you meet this requirement.
- 3. Replacement is required for any trees that are removed, according to the replacement ratios in MICC 19.10.070. 4. Tree protection (typically at tree dripline) of retained trees will be required.
- 5. Sequential (phased) tree removal may be required (only remove trees necessary at each step of the review process). 6. Several exceptional trees are onsite and must be retained and protected unless justified under MICC19.10.060(A)(3).

For additional information please refer to this helpful webpage: https://www.mercerisland.gov/cpd/page/tree-permits

## Civil Engineering Comments:

Civil Contact: Ruji.Ding@mercerisland.gov or 206-275-7703.

1. Please see above for responses to the provided questions. 2. The existing ditch will be required to be piped along the frontage of the site as a part of this

has been taken, in the event of a conflict between these notes and any applicable law, regulation or decision criteria, the latter

3. Please refer to MICC Title 15 for our Water, Sewers, and Public Utilities code.

For more information on Stormwater Permits please visit here: https://www.mercerisland.gov/cpd/page/stormwater-permits

## PLEASE NOTE: These pre-application meeting notes have been prepared to assist the applicant in completing and submitting the application in a manner that complies with applicable development standards and permit processing requirements. Although care

shall prevail. The City of Mercer Island makes no warranty of any kind to the accuracy of the information contained in these notes. The information herein notwithstanding, it is the applicant's sole duty to ensure that the proposed development complies with all applicable laws, regulations and decision criteria. Neither the discussions nor the notes provided at the pre-application meeting shall bind the City in any manner or prevent the City's future application or enforcement of all laws, regulations and decision May 17, 2022

2. Streets or rights-of-way.

- 3. Critical areas, buffers or critical area setbacks; provided building pads may be located within geohazard areas and associated buffers and setbacks when all of the following are met: a. A qualified professional determines that the criteria of MICC 19.07.160(B)(2)
- and (3), Site development, are satisfied.
- b. Building pads are sited to minimize impacts to the extent feasible. c. Building pads are not located in steep slopes or within 10 feet from the top of
- a steep slope, unless such sloped, as determined by a qualified professional,
- consist of soil types determined not to be landslide prone. iii. No cross-section dimension of a building pad shall be less than 20 feet in width. b. New buildings shall be located within the building pad established by MICC 19.09.090(A)
- or (B). Legally established nonconforming portions of existing buildings and additions made pursuant to MICC 19.07.130, Modifications, may be located outside of building
- 7. Preferred practices Proposed developments shall incorporate all of the following preferred development practices where feasible:

a. Use common access drive and utility corridors.

b. Development, including roads, walkways and parking areas, in critical areas should be avoided, or if not avoided, adverse impacts to critical areas will be mitigated to the greatest extent reasonably feasible.

c. Retaining walls should be designed to minimize grading, including the placement of fill, on or near an existing natural slope.

8. Easement:

- a. Vehicular Access Easements. No structures shall be constructed on or over any vehicular access easement. A minimum five-foot yard setback from the edge of any easement that affords or could afford vehicular access to a property is required for all structures; provided, that improvements such as gates, fences, rockeries, retaining walls and landscaping may be installed within the five-foot yard setback so long as such improvements do not interfere with emergency vehicle access or sight distance for vehicles and pedestrians. b. Utility and Other Easements. No structure shall be constructed on or over any easement for
- water, sewer, storm drainage, utilities, trail or other public purposes unless it is permitted within the language of the easement or is mutually agreed in writing between the grantee and grantor of the easement.

Staff Response: The lot area requirements MICC 19.02.020 require that the net lot area of each lot be greater than 8400 square feet. Net lot area is the area contains within the established boundaries of a lot, less any area used for public or private vehicular access easement, excluding that portion of the easement used for a driveway access to the encumbered lot. This means that the portion of the easement that is used to access the lot would be included in the net lot area. The rest of the easement would be excluded from the net lot area.

## 3. Is the proposed 16-foot paved common access driveway acceptable to serve two lots?

Staff Response: MICC 19.08.030(F)(1) requires subdivisions abutting an arterial to provide internal access to the subdivision's lots. MICC 19.09.100(A) requires that a subdivision use common access drives where feasible. Therefore, a single access road must be used to access all four lots. Under MICC 19.09.040(B) a private road serving three or more lots shall be at least 20 feet in width.

4. Are the proposed building setback lines shown on the Civil Plans acceptable and consistent with MICC 19.02.020?

Staff Response: The location of the required setbacks is consistent with the setback requirements listed in MICC 19.02.020(C)(2), as well as the setback requirements for new lots abutting an arterial set forth in MICC 19.08.030(F)(1). MICC 19.02.020(C)(1)(c)(i)((b)) states that for lots with a lot width of more than 90 feet, the sum of the side vards' width shall be a width that is equal to at least 17% of the lot width. The plans show that the widths of the lots vary between 100 and 103.75 feet. This would mean that the side yards would need to add up to 17 to 17.63 feet.

Please also note that building pads consistent with MICC 19.09.090 will need to be established for each lot of the subdivision. In particular, building pads will need to be located to minimize or prevent the removal of trees and vegetation required for retention pursuant to chapter 19.10

5. Are all proposed lot area and dimensions shown on the Civil Plans acceptable and consistent with MICC 19.02.020?

Staff Response: The lots shown in the plans meet the lot area and lot dimension requirements listed in MICC 19 02 020(A)

6. Assuming the common driveway to the proposed two rear lots must be set aside in an access tract instead of an access easement, what is the minimum required width of the tract?

Staff Response: The tract would need to be wide enough to accommodate the access road. MICC 19.08.030(F)(1) requires subdivisions abutting an arterial to provide internal access to the subdivision's lots. MICC 19.09.100(A) requires that a subdivision use common access drives where feasible. Therefore, a single access road must be used to access all four lots. Under MICC 19.09.040(B) a private road serving three or more lots shall be at least 20 feet in width. An access easement that is 20 feet in width is acceptable to accommodate a 20-foot-wide access

PLEASE NOTE: These pre-application meeting notes have been prepared to assist the applicant in completing and submitting the application in a manner that complies with applicable development standards and permit processing requirements. Although care has been taken, in the event of a conflict between these notes and any applicable law, regulation or decision criteria, the latter shall prevail. The City of Mercer Island makes no warranty of any kind to the accuracy of the information contained in these notes. The information herein notwithstanding, it is the applicant's sole duty to ensure that the proposed development complies with all applicable laws, regulations and decision criteria. Neither the discussions nor the notes provided at the pre-application meeting shall bind the City in any manner or prevent the City's future application or enforcement of all laws, regulations and decision May 17, 2022

Planning Con	nments:
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Planning Contact: and rew.leon@mercerisland.gov or 206-275-7720. 1. Residential Zoning Standards: a. Yards

a. 1010	, <b>5</b>
i.	Front yard: 20 feet
ii.	Rear yard: 25 feet
jii.	Side yards:
	1. Total side yards must be at least 17% of the lot width
	of the total side yard requirement.
	2. Variable Side Yard Depth Requirement:
	a. Variable Side Yard Depth Requirements apply
	b. A minimum side yard of 7.5 feet is required fo
	the height is more than 15 feet; or 2) gabled i
	Both measurements are taken from existing o
	lower, to the top of the gabled roof end adjoi
	c. A minimum side yard of 10 feet is required for
	height of more than 25 feet measured from the term of
	whichever is lower, to the top of the exterior
	yard.
iv.	Eaves may only protrude up to 18 inches into yards; no
	within minimum side yard setbacks.
٧.	No eave and minor building element protrusion is allow
	setback established by either the requirements based of
	Depth Requirement. (MICC 19.02.020(C)(3)).
b. Lot (	Coverage:
i.	Calculated by totaling the following:
	1. All drivable surfaces (driveway, parking pad, turn-arc
	material type; e.g. pervious driveway counts towa
	<ol><li>Roof line (includes eaves and covered decks)</li></ol>
ii.	Lot Coverage is limited to a percentage of net lot area;
	20-40% depending on the slope of the lot. Lot slope is c
	lowest existing elevation from the highest existing elev
	number by the shortest horizontal distance between th
iii.	Allowed a maximum of 9% of the lot area can be hards
	1. Hardscape includes: patios, uncovered steps, walkwa
	rockeries, and other hardened surfaces other than
	2. Hardscape improvements can be within the maximum
	That is, if the proposed lot coverage is less than th
	difference between the maximum and proposed a
2. Subdivisi	ons
a. Desi	gn Standards
١.	Streets, roads, and rights-of-way.
	1. The width and location of rights-of-way for major, se
	2. Public rights of way shall comply with the requirement
	2. Public rights-of-way shall comply with the requireme
	3. Private access roads shall meet the criteria set out in
PLEASE NOTE: application in a ma has been taken, in a shall prevail. The Cu	These pre-application meeting notes have been prepared to as nner that complies with applicable development standards and permit the event of a conflict between these notes and any applicable law, re ity of Mercer Island makes no warranty of any kind to the accuracy of rein potwithstanding. It is the englicapt's cale duty to ensure that the
applicable laws, reg shall bind the City i	gulations and decision criteria. Neither the discussions nor the notes p n any manner or prevent the City's future application or enforcement
May 17, 2022	
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Q Impact foo	c
5. inpact iee	J

9. Impact fees	
a. Future construction on the new lots resulting fro	om the propo
pay transportation and park impact fees.	
b. Current rates are:	
i. Transportation – \$2,600.31	
ii. Parks – \$4,914.53	
c. Note that fees are due at the time they are asse	ssedthey do
complete subdivision or building permit application	ation.
10. Transportation Concurrency: Please apply for a transportation Concurrency.	nsportation co
same time as the subdivision.	
11. Vesting: Please see the standards in MICC 19.15.170	0.
12. Application fees	
a. Deposit due at time of application	
LEASE NOTE: These pre-application meeting notes have been p oplication in a manner that complies with applicable development stan is been taken, in the event of a conflict between these notes and any a	orepared to ass dards and permit pplicable law, rec

shall prevail. The City of Mercer Island makes no warranty of any kind to the accuracy of the information contained in these notes.

May 17, 2022

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- Page 2 of 13
- h; no side yard less than 33%
- to interior lot lines only. or 1) nongabled roof ends where roof ends more than 18 feet. or finished grade, whichever is ining the side yard. r single-family dwellings with a the existing or finished grade, r wall facade adjoining the side
- ote that no protrusion is allowed wed into the minimum side yard
- on lot width or Variable Side Yard
- ounds, etc. regardless the ards lot coverage)
- this percentage varies between calculated by subtracting the vation and dividing the resulting hese two points.
- ays, decks, retaining walls, n drivable surfaces or roofs. Im lot coverage allowance. he maximum lot coverage, the
- areas can be used for hardscape.
- econdary, and collector arterial arterial plan. ents set out in MICC 19.09.030.
- n MICC 19.09.040.
- ssist the applicant in completing and submitting the nit processing requirements. Although care egulation or decision criteria, the latter f the information contained in these notes
- e proposed development complies with all rovided at the pre-application meeting t of all laws, regulations and decision
  - Page 7 of 13
- sed subdivision will need to
- not vest to the time of concurrency certificate at the
- sist the applicant in completing and submitting the processing requirements. Although care ulation or decision criteria, the latter The information herein notwithstanding, it is the applicant's sole duty to ensure that the proposed development complies with all
- applicable laws, regulations and decision criteria. Neither the discussions nor the notes provided at the pre-application meeting shall bind the City in any manner or prevent the City's future application or enforcement of all laws, regulations and decision Page 11 of 13

- 7. Should the area of the access tract be deducted from the overall parcel area when calculating minimum lot areas?
- Staff Response: An access tract would be considered a separate parcel from the lots of the subdivision. Its area could not be included in the area of the other lots.
- 8. Are there any setback requirements from existing slopes across the subject parcel's western property line that exceed 20% but are not steep slopes?
- Staff Response: Setbacks are not required from geologically hazardous areas, including landslide hazard areas and steep slopes. However, a critical area review 1 is required for any alteration of a geologically hazardous area, which involves preparing a geotechnical report which will be reviewed by the city. Please see Section 3 of the Planning Comments below for more information.
- 9. Will the city require road improvements, including curbs, gutters, and sidewalks, along either 90th Ave SE or Island Crest Way across the frontage of the subject parcel?
- Staff Response: The city will not require urban frontage road improvements such as curbs, gutters, and sidewalks along the frontage of 90th Ave SE. Any impacts to the right-of-way along Island Crest Way will need to be restored.
- 10. With the city require 90th Ave SE to be widened across the frontage of the subject parcel? Staff Response: The city will not require any road widening along the frontage of 90th Ave SE. However, the city might require a full grinding and overlay of the roadway pavement depending on the numbers of the utility cuts and damages to the city roadway due to the construction activities. The limits and extents of the roadway restoration will be determined towards the end of the construction.
- 11. Will the city require any right-of-way dedication along either 90th Ave SE or Island Crest Way? Staff Response: The city will not require any right-of-way dedication for 90th Ave SE or Island
- Crest Way. 12. Will this proposal have diversion issues based on the information provided in the narrative?
- Staff Response: There is no diversion issue based on the city drainage map.
- 13. Will this proposal be exempt from providing Retention/Detention (R/D) flow control facilities provided the conditions for this exemption are met pursuant to Section I-2.5.7 of the 2012 Western Washington Stormwater Management Manual as amended in 2014 and pursuant to MICC 15.09.050?

Staff Response: The flow control system (MR#7) is not exempted if the project exceeds the thresholds for the flow control (10,000 square feet or more effective impervious surface,
PLEASE NOTE: These pre-application meeting notes have been prepared to assist the applicant in completing and submitting the application in a manner that complies with applicable development standards and permit processing requirements. Although care has been taken, in the event of a conflict between these notes and any applicable law, regulation or decision criteria, the latter shall prevail. The City of Mercer Island makes no warranty of any kind to the accuracy of the information contained in these notes. The information herein notwithstanding, it is the applicant's sole duty to ensure that the proposed development complies with all applicable laws, regulations and decision criteria. Neither the discussions nor the notes provided at the pre-application meeting shall bind the City in any manner or prevent the City's future application or enforcement of all laws, regulations and decision
criteria. May 17, 2022 Page 3 of 13

- a. See Section 5 of the Planning Comments below for more information about standards for private access roads. 4. Street of the proposed subdivision shall connect with existing improved public
- streets, or with existing improved private access roads subject to easements of way in favor of the land to be subdivided. ii. Residential lots.
- 1. The area, width, and depth of each residential lot shall conform to the requirements for the zone in which the lot is located. Any lot which is located in two or more zones shall conform to the zoning requirements determined by the
- criteria set out in MICC 19.01.040(G)(2). 2. Each side line of a lot shall be approximately perpendicular or radial to the center line of the street on which the lot fronts.
- 3. Th proposed subdivision shall identify the location of building pads for each proposed lot per MICC 19.09.090. No cross-section dimension of a designated building pad shall be less than 20 feet in width.
- 4. The proposed subdivision shall incorporate the preferred development practices pursuant to MICC 19.01.110 where feasible. 5. The proposed subdivision shall be designed to comply with the provisions of
- hapter 19.10 MICC. iii. Design standards for special conditions.
- 1. Subdivisions abutting an arterial street as shown on the comprehensive arterial plan shall be oriented to require the rear or side portion of the lots to abut the arterial and provide for internal access streets. a. Island Crest Way is an arterial street as shown on the comprehensive arterial
- plan. The following design standards are required: i. The new lots abutting Island Crest Way shall be oriented so either the
- side or rear yards abut Island Crest Way. ii. All four lots of the subdivision must use a common internal access street. 2. Where critical areas meeting the criteria set out in Chapter 19.07 MICC are present within the subdivision, the code official or city council may:
- a. Require that certain portions of the long subdivision or short subdivision remain undeveloped with such restrictions shown on the official documents. b. Increase the usual building setback requirements. c. Require appropriate building techniques to reduce the impact of site
- development. b. Streets, utilities, and storm drainage. A subdivision shall include provisions for streets,
- water, sanitary sewers, storm drainage, utilities and any easements or facilities necessary to provide these services. All utilities shall be placed underground unless waived by the city engineer. Detailed plans for these provisions shall not be required until after the approval of the preliminary plat and shall be a condition precedent to the official approval of the subdivision.
- c. Construction Limitations
- i. No construction, tree removal, grading, installation of utilities on land within a proposed long or short subdivision shall be allowed prior to preliminary approval of the long or short subdivision and until the applicant has secured the permits required under the MICC. Following preliminary approval, tree removal, grading, and

PLEASE NOTE: These pre-application meeting notes have been prepared to assist the applicant in completing and submitting the application in a manner that complies with applicable development standards and permit processing requirements. Although care has been taken, in the event of a conflict between these notes and any applicable law, regulation or decision criteria, the latter shall prevail. The City of Mercer Island makes no warranty of any kind to the accuracy of the information contained in these notes. The information herein notwithstanding, it is the applicant's sole duty to ensure that the proposed development complies with all applicable laws, regulations and decision criteria. Neither the discussions nor the notes provided at the pre-application meeting shall bind the City in any manner or prevent the City's future application or enforcement of all laws, regulations and decision May 17, 2022 Page 8 of 13

b. Review time is billed hourly against the deposit; additional fees may be requested if additional review time is required.

- c. When third-party technical review is required (e.g. geotechnical, wetland, watercourse etc.), this is billed separately, in addition to staff review time.
- 13. Land Use Application Process and Estimated Timeline: a. Required land use approvals
- i. Short Subdivision
- b. Prompt for consolidated review c. Summary of procedural steps
- i. Pre-Application meeting ii. Submit application electronically
- iii. Application Completeness Check
- iv. Notice of Application (incl. public notice via sign on site, mailing, notice in bulletin) beginning 30-day comment period; review begins
- v. Review comments may be sent out if needed
- vi. Notice of Decision
- vii. Appeal period viii. Final Plat review and recording
- d. A final plat application meeting all requirements of Chapter 19.15 MICC shall be submitted to the code official and recorded within five years of the date of preliminary plat approval.

convert .75 acres or n natural watercourses the criteria of an exen

- If MR#7 is required for will not be required. impervious surface, co need to evaluate if all are feasible for roofs system from the site v
- 14. Can you please provide
- Staff Response: Please Requirements.
- 15. We would like to inclu (including the existing calculating surface flow and retention facilities
- Staff Response: Yes.
- 16. Is the proposed subdiv facilities since the pro Impervious Surfaces (I
- Staff Response: If the
- 17. Does the proponent ha control facilities pursu
- Staff Response: This
- 18. Will an on-site fire turn
- Staff Response: Fire a shall beave provisions the IFC.

# Fire Comments:

May 17, 2022

Fire Contact: Jeromy.Hicks@ 1. Basic notes regarding th There are several hyp PLEASE NOTE: These pre-appli application in a manner that complie has been taken, in the event of a cor shall prevail. The City of Mercer Islan The information herein notwithstan applicable laws, regulations and dec shall bind the City in any manner or

- 3. Crit

cres or more of vegetation, etc.). The downstream of courses that are not manmade conveyance elements	f the site is comprised of s. This project does not meet	information is consolidated in the city's Developer Manual (Please remember that this is a guide		
an exemption.		and all information shall be verified with state and local adopted code). 2. Fire Access		
uired for this project, then the onsite detention syste quired. If MR#7 is not required (such as less than 10,	em listed in MICC 15.09.050 000 square feet effective	width. Access roads over 500 feet in width are required to be 26 feet in width. (IFC 503.2.1,		
rface, conversion of less than .75 acres of vegetation ate if all the on-site stormwater management BMPs i	area, etc.), then you will included on List #1 and List #2	<ul> <li>j. 90th Ave SE is over 500 feet long, but only 20 feet wide. This will result in a deficiency in</li> <li>any home built on 90th Ave SE</li> </ul>		
or roofs and/or other hard surfaces. If it is not feasibl the site will be required due to the downstream system	le, then an on-site detention em, including watercourses.	<ul> <li>ii. It is recommended that the access for the 4 lots be widened to 20 feet for the first two</li> <li>easterly properties Access roads shall be 20 feet wide within 150 feet of the furthest</li> </ul>		
e provide a copy of the city's standard on-site detent	ion sizing table?	corner of the residence. This would require the plat to have 20-foot roadways to the two easterly properties.		
e: Please follow this link for the sizing table: On-Si	te Detention Design	b. Minimum driveway widths for planning purposes are outlined in MICC 19.09.040.	S B	
S.		standard. In this situation, the furthest corner would be located on the two west properties.	Date	
to include and enter all the existing square footage a existing impervious surface and lawn surface) within	and ground coverage the subject site when	i. Please see Section 5 of the Planning Comments below. c. Grade shall not exceed 10%. Grades over 10% but under 20% (maximum) may be evaluated		
rface flow volume in the subject site conditions for th facilities. Is this approach acceptable to the city?	ne purpose of sizing detention	for code alternative requests. (IFC 503.2.7) d. Length shall not exceed 150 feet from the furthest portion of the building as one would	Шĭ	
e: Yes. This approach is acceptable to the City.		walk. (IFC 503.2.1) e. The surface of the access road shall be able to withstand an imposed load of 75,000 pounds		
d subdivision exempt from providing surface water q	quality control and treatment	and be constructed of asphalt. If the grade exceeds 15%, the surface shall be brushed concrete. (IFC D102.1. MICC 19.09.040)		
e the proposal will create less than 5000 square feet c urfaces (NPGIS)?	of New Pollution Generating	f. Fire access roads, private access roads, and driveways in excess of 150 feet shall have provisions for fire apparatus turnaround as listed and illustrated in Appendix D of the IFC.		
e: If the NPGIS area is less than 5000 square feet, the	he MR#9 is not required.	3. Fire Flow (Hydrants) a. A hydrant capable of flowing the required fire flow as outlined in the International Fire	ש	
onent have the option to pay a fee in lieu instead of	constructing detention flow	Code, Appendix B shall be located within 300 feet of the furthest portion of the building, or 600 feet for a building with an approved sprinkler system.		
es pursuant to MICC 15.11.020? If so, now are they		<ul> <li>b. Nearest hydrant to furthest Northwest property stats:</li> <li>i. F4-10</li> </ul>		
se: This site is not eligible for fee in lieu of a detenti	on system.	ii. 1602gpm at 58 psi 1. IFC Fire Flow Requirements		
Fire turnaround be required for this short subdivisio	n;	<ul> <li>iii. Distance to furthest point of northwest home: 295 feet</li> <li>iv. Distance to access: 145 to northwest driveway</li> </ul>		
Set Fire access roads, private access roads, and drive rovisions for fire apparatus turnaround as listed and i	llustrated in Appendix D of	4. Sprinklers a. All new construction and alterations over 50% valuation are required to install a minimum of		
		a NFPA 13d fire sprinkler system. b. Decreased fire flow, access, grade, or building size may require the installation of a NFPA 13r		
Review Comments:		or 13 sprinkler system. c. Water meter sizing is required for the installation of a fire sprinkler system.		_
lick margarized		5. Fire Alarm Systems a. NFPA 72 Monitored Fire Alarm systems may be required as part of mitigation for	ب	Sč
arding the Fire Review and evaluation processes have	e been provided below.	deficiencies as listed above or may be proposed as a code alternative. 6. Fire code alternatives		te
erar hyperinks that may be used to help guide you th pre-application meeting notes have been prepared to assist	t the applicant in completing and submitting the	PLEASE NOTE: These pre-application meeting notes have been prenared to assist the applicant in completing and submitting the		0/
at complies with applicable development standards and permit p nt of a conflict between these notes and any applicable law, regul ercer Island mokes no warranty of any bird to the	rocessing requirements. Although care lation or decision criteria, the latter e information contained in these pates	application in a manner that complies with applicable development standards and permit processing requirements. Although care has been taken, in the event of a conflict between these notes and any applicable law, regulation or decision criteria, the latter		2
ercer island makes no warranty of any kind to the accuracy of the withstanding, it is the applicant's sole duty to ensure that the pro is and decision criteria. Neither the discussions nor the notes prov	poordering contained in these notes. poosed development complies with all vided at the pre-application meeting	shall prevail. The City of Mercer Island makes no warranty of any kind to the accuracy of the information contained in these notes. The information herein notwithstanding, it is the applicant's sole duty to ensure that the proposed development complies with all		00
nanner or prevent the City's future application or enforcement of a	all laws, regulations and decision	applicable laws, regulations and decision criteria. Neither the discussions nor the notes provided at the pre-application meeting shall bind the City in any manner or prevent the City's future application or enforcement of all laws, regulations and decision criteria.	4	Ň
	Page 4 of 13	May 17, 2022 Page 5 of 13		0
				Ż
		c. Development standards – Landslide bazard areas . Development is allowed within landslide		N
installation of utilities shall be the mi long or short subdivision.	nimum necessary for final plat approval of the	hazard areas and associated buffers, when the following standards are met:		SE
<ul> <li>An existing lot, created through the f shall be a condition precedent for de</li> </ul>	inal plat approval of a long or short subdivision, termination of complete application for a building	<ol> <li>A critical area study shall be required for any alteration of a landslide hazard area or associated buffer.</li> <li>Defense the previous the prevention of a landslide hazard area or</li> </ol>		Чc
permit to construct a new single-fam	ily dwelling.	<ul> <li>Buffers shall be applied as follows. When more than one condition applies to a site, the largest buffer shall be applied:</li> </ul>	m	L L
dwelling could be accepted and	reviewed by the city prior to the recording of the	<ol> <li>Steep slopes: Buffer widths shall be equal to the height of a steep slope, but not more than 75 feet, and applied to the top and toe of slopes.</li> </ol>	m	t y
3. Critical area constraints	ana ara landelida karandaraa andarasian	<ol> <li>Shallow landslide hazard areas shall have minimum 25-foot buffers applied in all directions.</li> </ol>		Ci-
a. The City of Mercer Island GIS shows that the hazard areas on the western portion of the	here are landslide hazard areas and erosion he subject lot.	<ol> <li>Deep-seated landslide hazard areas shall have 75-foot buffers applied in all directions.</li> </ol>		O
b. General review requirements – alteration v buffers is required to meet the standards	in this section, unless the scope of work is exempt	d. Development standards – Erosion hazard areas. i. All development proposals shall demonstrate compliance with Chapter 15.09 MICC,		
pursuant to MICC 19.07.120, or a critical a i. When an alteration within a landslide	area review 1 approval has been obtained. e hazard area, seismic hazard area or buffer	storm water management program. ii. No development or activity within an erosion hazard area may create a net increase in	ا ب	
associated with those hazards is prop study concluding that the proposal ca	posed, the applicant must submit a critical area an effectively mitigate risks of the hazard. The	geological instability on or off site. 4. State Environmental Policy Act (SEPA) Review		
study shall recommend appropriate of such hazards. The code official may water the state of the	design and development measures to mitigate waive the requirement for a critical area study and	a. This proposal is exempt from SEPA under WAC 197-11-800(6)(d) as it involves a short subdivision for which the resulting lots do not exceed the total lots allowed under RCW		
the requirements of MICC 19.07.160 proposed development is minor in na	(B)(2) and (3) when he or she determines that the ature and will not increase the risk of landslide,	58.17.020 (four or fewer lots).		
erosion, or harm from seismic activit definition of a geologically hazardous	y, or that the development site does not meet the s area.	a. All private access roads serving three or more single-family dwellings shall be at least 20 feet		
ii. Alteration of landslide hazard areas a may occur if the critical area study do	and seismic hazard areas and associated buffers ocuments find that the proposed alteration:	b. All corners shall have a minimum inside turning radius of 28 feet.		
<ol> <li>Will not adversely impact other cri</li> <li>Will not adversely impact the subject</li> </ol>	itical areas; ect property or adjacent properties;	access road from the edge of city street to the end of the access road, shall have a turnaround with an incide turning radius of 28 foot		
3. Will mitigate impacts to the geolog available science to the maximu	gically hazardous area consistent with best m extent reasonably possible such that the site is	d. Gradient		
determined to be safe; and 4. Includes the landscaping of all dist	urbed areas outside of building footprints and	<ul> <li>i. No access road shall have a gradient of greater than 20%.</li> <li>ii. For all access roads and driveways with a gradient exceeding 15%, the road surface</li> </ul>	Plan Plotted	For ·
installation of hardscape prior to iii. Alteration of landslide hazard areas	o final inspection. seismic hazard areas and associated buffers may	and driveways with gradients of 15% or less may have asphalt concrete surface.	Initial	Submittal
occur if the conditions listed in MICC	19.07.160(B)(2) are satisfied and the geotechnical risk matching one of the following:	<ul><li>6. Building pads</li><li>a. New subdivisions shall designate a building pad for each lot as follows:</li></ul>		(0)
1. An evaluation of site-specific subsu proposed development is not lo	urface conditions demonstrates that the cated in a landslide bazard area or seismic bazard	i. The building pad shall be located to minimize or prevent impact as indicated in the following:	ט מן	Itness itness corany Pacific
area; 2 The landslide become area area	ic hazard area will be modified or the	<ol> <li>Removal of trees and vegetation required for retention pursuant to Chapter 19.10 MICC shall be prevented.</li> </ol>		
<ol> <li>development has been designed is eliminated or mitigated and the second s</li></ol>	as that the risk to the site and adjacent property	<ol> <li>Disturbance of the existing, natural topography as a result of anticipated development within the building pad shall be minimized.</li> </ol>	ן א הי	1 Use 1 Use 2 Exp 20m 6160 0180
is eliminated or mitigated such t 3. Construction practices are propose	ed for the alteration that would render the	<ol><li>Impacts to critical areas and critical area buffers shall be minimized, consistent with the provisions of Chapter 19.07 MICC.</li></ol>	▎┛ <u>╙</u> │	Lana Vices dwa.c 615 - RARE NC TO INFOF DN ARE TU
development as safe as if it were do not adversely impact adjacer	e not rocated in a geologically hazardous area and ht properties; or	<ol> <li>Access to the building pad shall be consistent with the standards contained in MICC 19.09.040.</li> </ol>	Ш	rices . n Ser ifician (425) . ENGINEE ENGINEE ENGINEE ENGINEE MIN WH
and welfare.	ντο μόσε α threat to the public nealth, safety	<ul><li>ii. Building pads shall not be located within:</li><li>1. Required front, rear, or side yard setbacks.</li></ul>	<u><u> </u></u>	tt Serv bectic w.pac w.pac iom . ( porsing porsing vor corc or corc in and
PLEASE NOTE: These pre-application meeting notes have I	been prepared to assist the applicant in completing and su	bmitting the PLEASE NOTE: These pre-application meeting notes have been prepared to assist the applicant in completing and submitting the application in a manner that complies with applicable development standards and permit processing requirements. Although care		bmen . Inst - wwi dwa.c atthe ent enterne Be USED
קאינכענטיו זוו ע ווועווופר נחמג compiles with applicable developmen as been taken, in the event of a conflict between these notes and hall prevail. The City of Mercer Island makes no warranty of any k	In summer way on the permit processing requirements. Although care I any applicable law, regulation or decision criteria, the latter kind to the accuracy of the information contained in these notes.	has been taken, in the event of a conflict between these notes and any applicable law, regulation or decision criteria, the latter shall prevail. The City of Mercer Island makes no warranty of any kind to the accuracy of the information contained in these notes. The information herein notwithstanding, it is the applicant's cale durb to ensure that the proposed development complice with all		evelop rvices , WA ficlanc <sup>AND / OR</sup> <sup>AND / OR AN NOT FICI AND</sup>
he information herein notwithstanding, it is the applicant's sole d pplicable laws, regulations and decision criteria. Neither the discu	luty to ensure that the proposed development complies with all ussions nor the notes provided at the pre-application meeting	applicable laws, regulations and decision criteria. Neither the discussions nor the notes provided at the pre-application meeting shall bind the City in any manner or prevent the City's future application or enforcement of all laws, regulations and decision	[ Ф. Ш	IG . Dt Dt Dt Dt Dt Dt Dt Dt Dt Dt
naıı bınd the City in any manner or prevent the City's future applic riteria. Nay 17, 2022	caτιon or enforcement of all laws, regulations and decision	criteria. May 17, 2022 Page 10 of 13		
	1 0 <u>5</u> 6 5 01 15			ii Engi mit Ex, LAND EN CLAND EN THORIZED RAWING / DENGITIEN
Land Use Decisions	Tarrat	Departe		
Completeness Review	4 weeks			
First review	8-12 weeks	FLEASE INVIE. I nese pre-application meeting notes have been prepared to assist the applicant in completing and submitting the application in a manner that complies with applicable development standards and permit processing requirements. Although care has been taken, in the event of a conflict between these notes and any applicable law, regulation or decision criteria, the latter	Jan.	S. HALL
Second and subsequent reviews	6 weeks	shall prevail. The City of Mercer Island makes no warranty of any kind to the accuracy of the information contained in these notes. The information herein notwithstanding, it is the applicant's sole duty to ensure that the proposed development complies with all	3 5 50	r was HIL CIT
Staff Report / Decision (following completion of review)	3-4 weeks	applicable laws, regulations and decision criteria. Neither the discussions nor the notes provided at the pre-application meeting shall bind the City in any manner or prevent the City's future application or enforcement of all laws, regulations and decision criteria		
Single Family Residential		May 17, 2022 Page 12 of 13	Rol ,	36034
First Review 8	3-12 weeks		The ser	EISTERE ENGL
Second Review 3	3 weeks			NAL
Third and subsequent reviews 2	2 weeks		Date:	11/01/2022
Revisions 2	2-3 weeks		STAM UNLESS S	IP IS NOT VALID BIGNED AND DATED
Express Reviews (see note below)** 4	4 weeks		Job Numbe	r:
For more information on Land Use and Planning ple	ase refer to this useful webpage:		22052	20 - PLE - 2211
nttps://www.mercerisland.gov/cpd/page/land-use-	application-forms-and-submittal-requirements		DWG Date:	
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	TOPOGRAPHY SURVEY NOTES:	
	<ol> <li>BASIS OF BEARINGS IS THE WASHINGTON STATE PLANE COORDINATE SYSTEM, N.A.D. 1983/2011, BASED ON GPS TIES TO THE WASHINGTON STATE REFERENCE NETWORK WSRN).</li> </ol>	
	2. ELEVATION DATUM IS N.A.V.D. 1988 BASED ON GPS TIES TO THE WSRN.	
SCALE : 1" = 20'	3. FIELD WORK WAS DONE IN MARCH OF 2022 USING A TRIMBLE R8 GNSS GPS RECEIVER, AND A SPECTRA PRECISION FOCUS 35 ROBOTIC TOTAL STATION IN ACCORDANCE WITH W.A.C. 332-130.	
= POWER POLE $= GUY POLE$	4. THE PURPOSE OF THIS SURVEY IS TO PROVIDE A BASE MAP FOR CIVIL ENGINEERING DESIGN.	
= GUY ANCHOR P = OVERHEAD POWER = FIRE HYDRANT	5. THE CONTOURS SHOWN ARE DERIVED FROM DIRECT FIELD OBSERVATIONS. THE CONTOUR INTERVAL IS 2.0 FEET AND THE CONTOUR ACCURACY IS ONE HALF OF THE INTERVAL (±1.0 FEET).	Revisio
$\overset{\text{WV}}{\bowtie} = WATER \ VALVE$ $WM \square = WATER \ METER$	6. PROPERTY LINES SHOWN ARE BASED ON A FIELD SURVEY.	
W=WATER LINE (PAINTED LOCATION) C=UNDERGROUND COMMUNICATION (PAINTED LOCATION) $TV\Box = TELEVISION RISER$ -TV=UNDERGROUND TELEVISION (PAINTED LOCATION)	7. THE LEGAL DESCRIPTION AND MATTERS OF RECORD ARE TAKEN FROM FIDELITY NATIONAL TITLE INSURANCE COMPANY, CERTIFICATE NUMBER 611311326, DATED FEBRUARY 10, 2022 AT 8:00 AM.	
$CB = CATCH BASIN$ $CB = CATCH BASIN$ $CB = CATCH BASIN$ $CB = STORM DRAIN LINE/ CULVERT$ $CV = GAS VALVE$ $CC = UNDERGROUND GAS LINE (PAINTED LOCATION)$ $MH \bigotimes S = SEWER MANHOLE$	8. THE UNDERGROUND UTILITIES SHOWN ARE BASED ON A COMBINATION OF PAINT MARKS PROVIDED BY APPLIED PROFESSIONAL SERVICES, INC, AND THE SURVEYED LOCATION OF OBVIOUS SURFACE FEATURES. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST ON AND AROUND THIS SITE.	Pla
-S - = SEWER LINE $MB = = MAIL BOX$	811 OR 1-800-424-5555	ビ
جَمَعَ = EVERGREEN TREE عليمة = DECIDUOUS TREE	REFERENCE SURVEYS:	0
	R1. PLAT OF LINDLEY ADDITION TO SEATTLE,	ST R
= DITCH LINE = GRADE BREAK = EDGE OF PAVEMENT/CURB LINE	R2. MERCER ISLAND SHORT PLAT SUB12-0006, REC. NO. 20131220900005	Pla
= CONCRETE	R3. MERCER ISLAND BOUNDARY LINE REVISION, REC. NO. 20160519900008.	LC ion
= GRAVEL $ = TBM = 60D SPIKE IN POWER POLE$		liti -
$\mathbf{\nabla}_{ELEV} = 361.47 (\text{NAVD } 1988)$	MATTERS OF RECORD: THE HEREIN DESCRIBED PROPERTY IS SUBJECT TO THE FOLLOWING	<b>4</b>
Jintao (Adison) Cui	EASEMENTS AND ENCUMBRANCES OF RECORD: 1. COVENANTS, CONDITIONS, RESTRICTIONS, RESERVATIONS FASEMENTS AND OTHER TERMS AND CONDITIONS SHOWN ON	
rcer Island, WA 98040 sikediage wife the t	LINDLEY ADDITION TO SEATTLE PER RECORDING NO. 32487 2. RIGHT TO MAKE NECESSARY SLOPES FOR CUTS AND FILLS FOR	Site
ail: adisoncui@outlook.com 6) 265 - 0810	FRANK W. FLOOD ROAD RECORDED IN VOLUME 29 ON PAGE 345 OF COMMISSIONER'S RECORDS. 3 EASEMENT FOR WATER PIPELINE AND WATER SERVICE PER	ng .
oject Contact:	RECORDING NO. 3766695 (EXACT LOCATION IS NOT SPECIFIED).	stii
Jintao (Adison) Cui me - Link Capital II C	4. RIGHT TO MAKE NECESSARY SLOPES FOR CUTS AND FILLS PER RECORDING NO'S 4793511 AND 5056292.	
Re Ellink Capital ELC 33 SE 27th Street, Unit 186 rcer Island, WA 98040 ail: adisoncui@outlook.com	5. EASEMENT CONDEMNED IN KING COUNTY SUPERIOR COURT AND THE TERMS AND CONDITIONS THEREOF FOR ELECTRIC TRANSMISSION AND/OR DISTRIBUTION LINES PER CAUSE NO. 679116.	
6) 265 - 0810	6. EASEMENT CONDEMNED IN KING COUNTY SUPERIOR COURT AND THE TERMS AND CONDITIONS THEREOF FOR WATER PIPELINES PER CAUSE NO. 679116 (EXACT LOCATION IS NOT SPECIFIED)	<u>je</u>
isting Site Data: ccel Number: 4351300487	7. DECREE OF APPROPRIATION ENTERED IN KING COUNTY CAUSE NO. 541679 AND THE TERMS AND CONDITIONS THEREOF PER RECORDING	
rcel Address: 4833 90th Ave. SE Mercer Island, WA 98040	NO. 5150805. 8. EASEMENT FOR PUGET SOUND POWER AND LIGHT COMPANY GUY WIRE AND ANCHOR PER RECORDING NO. 6258135.	
tal Parcel Area (per survey): 41,165 s.f. = 0.945 Acre	9. NOTICE OF ADDITIONAL TAP AND CONNECTION CHARGES AND THE TERMS AND CONDITIONS THEREOF PER RECORDING NO. 7712060812.	Plan Plotted For : Initial Submittal
tal Existing Impervious Surfaces = 5,862.0 sf rcentage of Existing Impervious Surfaces = 14.2 % tal Existing Pervious Surfaces = Grass 4,632.0 sf +	10. COVENANTS, CONDITIONS RESTRICTIONS, RECITALS, EASEMENTS AND OTHER TERMS AND CONDITIONS SHOWN ON MERCER ISLAND LOT LINE REVISION SUB15-018 PER RECORDING NO. 20160519900008.	
est 30,671.0 sf = 35,303.0 sf centage of Existing Pervious Surfaces = 85.8 %	LEGAL DESCRIPTION:	ALAC LAC A Use Con d Use Con d Use Con d Use Con d Use Con com com com com com com com com con com com com com com com com com com com
oning Requirements:	THE NORTH 200 FEET OF THE SOUTH 400 FEET OF VACATED BLOCK 4, LINDLEY ADDITION TO SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 3 OF PLATS, PAGE 103, RECORDS OF KING COUNTY, WASHINGTON	T C C C C C C C C C C C C C C C C C C C
in. Lot Depth Required: 80' in. Lot Area Required: 8,400 s.f.	TOGETHER WITH THAT PORTION OF VACATED 90TH AVENUE ADJOINING PURSUANT TO KING COUNTY SUPERIOR COURT CAUSE NO. 679116.	In the second se
ax. Lot Coverage: 40% quired Landscape: 60% quired Front Yard Setback: 20'	EXCEPT THE WEST 10 FEET THEREOF CONVEYED TO KING COUNTY FOR ROAD BY DEEDS RECORDED UNDER RECORDING NO. 5056292 AND	P P P P P P P P P P P P P P P P P P P
quired Rear Yard Setback: 25' nimum Side Yard Setback: 7.5' nimum Total Side Yard Setback: 15'	RECORDING NO. 4793511. AND EXCEPT THAT PORTION THEREOF APPROPRIATED IN KING COUNTY SUPERIOR COURT CAUSE NO. 541679, RECORDED UNDER RECORDING NO. 4793511.	
isting Site Slope Calculations:	SURVEYOR'S CERTIFICATE:	S IT
rade 330 - Grade 354) / 207' = 2.90 %	THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE SURVEY RECORDING ACT AT THE REQUEST OF HOME LINK CAPITAL LLC IM MARCH OF 2022	THN OF WASHINGTON THN OF WASHINGTON THN OF WASHINGTON TO THN OF WASHINGTON TO THN OF WASHINGTON TO THN OF WASHINGTON
	ROBERT J. BOGDON CERTIFICATE NO. 33487	SIONAL EN
2.1 for Trees Table		Date: 11 / 01 / 2022 STAMP IS NOT VALID UNLESS SIGNED AND DATED Job Number:
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R. 19, T.24N., R.5E., W.M.	800-424-5555	11 / 01 / 2022
	ENGINEERS - SURVEYORS	C - 2.0
AL LAND SHE	EASTSIDE CONSULTANTS, INC.	
	ISSAQUAH, WASHINGTON 98027 PH: (425)392—5351 FAX: 392—4676	

	<u>TOPOGRAPHY SURVEY NOTES:</u> 1. BASIS OF BEARINGS IS THE WASHINGTON STATE PLANE COORDINATE SYSTEM, N.A.D. 1983/2011, BASED ON GPS TIES TO THE WASHINGTON STATE	
20' 0' 20' 40'	REFERENCE NETWORK WSRN).	
SCALE : 1" = 20'	<ol> <li>ELEVATION DATION IS N.A.V.D. 1900 DAGED ON GLO THES TO THE WORK.</li> <li>FIELD WORK WAS DONE IN MARCH OF 2022 USING A TRIMBLE R8 GNSS GPS RECEIVER, AND A SPECTRA PRECISION FOCUS 35 ROBOTIC TOTAL STATION IN ACCORDANCE WITH W.A.C. 332-130.</li> </ol>	
$\frac{\text{LEGEND}}{\text{O}} = POWER POLE$	4. THE PURPOSE OF THIS SURVEY IS TO PROVIDE A BASE MAP FOR CIVIL	By
- U = GUY POLE = GUY ANCHOR = OVERHEAD POWER = FIRE HYDRANT	5. THE CONTOURS SHOWN ARE DERIVED FROM DIRECT FIELD OBSERVATIONS. THE CONTOUR INTERVAL IS 2.0 FEET AND THE CONTOUR ACCURACY IS ONE HALE OF THE INTERVAL (+1.0 FEET).	evisions Date
₩V WM □ = WATER VALVE WM □ = WATER METER	6. PROPERTY LINES SHOWN ARE BASED ON A FIELD SURVEY.	
<ul> <li>W— = WATER LINE (PAINTED LOCATION)</li> <li>C— = UNDERGROUND COMMUNICATION (PAINTED LOCATION)</li> <li>TV □ = TELEVISION RISER</li> <li>TV— = UNDERGROUND TELEVISION (PAINTED LOCATION)</li> </ul>	7. THE LEGAL DESCRIPTION AND MATTERS OF RECORD ARE TAKEN FROM FIDELITY NATIONAL TITLE INSURANCE COMPANY, CERTIFICATE NUMBER 611311326, DATED FEBRUARY 10, 2022 AT 8:00 AM.	
$CB = CATCH BASIN$ $-D = STORM DRAIN LINE/ CULVERT$ $G = GAS VALVE$ $-G = UNDERGROUND GAS LINE (PAINTED LOCATION)$ $SMH \bigotimes = SEWER MANHOLE$	8. THE UNDERGROUND UTILITIES SHOWN ARE BASED ON A COMBINATION OF PAINT MARKS PROVIDED BY APPLIED PROFESSIONAL SERVICES, INC, AND THE SURVEYED LOCATION OF OBVIOUS SURFACE FEATURES. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST ON AND AROUND THIS SITE. Call Before You DJg	t Pla
$MB \square = MAIL BOX$ $\begin{cases} S = VERGREEN TREE \end{cases}$	811 OR 1-800-424-5555	
= DECIDUOUS TREE 	REFERENCE SURVEYS:	
—FOG— = FOG LINE (LANE STRIPE) — = DITCH LINE	R1. PLAT OF LINDLEY ADDITION TO SEATTLE, VOL. 3 PG. 103.	ar
GB— = GRADE BREAK 	R2. MERCER ISLAND SHORT PLAT SUB12-0006, REC. NO. 20131220900005.	P
= CONCRETE = CONCRETE PAVERS	R3. MERCER ISLAND BOUNDARY LINE REVISION, REC. NO. 20160519900008	
= GRAVEL		liti
$\mathbf{\nabla} = \frac{1}{1000} = \frac{1}{1000$	MATTERS OF RECORD: THE HEREIN DESCRIBED PROPERTY IS SUBJECT TO THE FOLLOWING	4
Property Owner: Mr. Jintao (Adison) Cui	EASEMENTS AND ENCUMBRANCES OF RECORD: 1. COVENANTS, CONDITIONS, RESTRICTIONS, RESERVATIONS	
Home - Link Capital LLC 7683 SE 27th Street, Unit 186	EASEMENTS AND OTHER TERMS AND CONDITIONS SHOWN ON LINDLEY ADDITION TO SEATTLE PER RECORDING NO. 32487	ite
Mercer Island, WA 98040 Email: adisoncui@outlook.com (206) 265 - 0810	2. RIGHT TO MAKE NECESSARY SLOPES FOR CUTS AND FILLS FOR FRANK W. FLOOD ROAD RECORDED IN VOLUME 29 ON PAGE 345 OF COMMISSIONER'S RECORDS.	g Sr
Project Contact:	3. EASEMENT FOR WATER PIPELINE AND WATER SERVICE PER RECORDING NO. 3766695 (EXACT LOCATION IS NOT SPECIFIED).	tin 33
Mr. Jintao (Adison) Cui	4. RIGHT TO MAKE NECESSARY SLOPES FOR CUTS AND FILLS PER RECORDING NO'S 4793511 AND 5056292.	48 xis
Home - Link Capital LLC 7683 SE 27th Street, Unit 186 Mercer Island, WA 98040 Email: adisoncui@outlook.com	5. EASEMENT CONDEMNED IN KING COUNTY SUPERIOR COURT AND THE TERMS AND CONDITIONS THEREOF FOR ELECTRIC TRANSMISSION AND/OR DISTRIBUTION LINES PER CAUSE NO. 679116.	
(206) 265 - 0810	6. EASEMENT CONDEMNED IN KING COUNTY SUPERIOR COURT AND THE TERMS AND CONDITIONS THEREOF FOR WATER PIPELINES PER CAUSE NO. 679116 (EXACT LOCATION IS NOT SPECIFIED).	0je
EXISTING SITE Data: Parcel Number: 4351300487	7. DECREE OF APPROPRIATION ENTERED IN KING COUNTY CAUSE NO. 541679 AND THE TERMS AND CONDITIONS THEREOF PER RECORDING NO. 5150805.	Pro
Zoning: R - 8.5	8. EASEMENT FOR PUGET SOUND POWER AND LIGHT COMPANY GUY WIRE AND ANCHOR PER RECORDING NO. 6258135.	
Total Parcel Area (per survey): 41,165 s.f. = 0.945 Acre	9. NOTICE OF ADDITIONAL TAP AND CONNECTION CHARGES AND THE TERMS AND CONDITIONS THEREOF PER RECORDING NO. 7712060812	Plan Plotted For :
Total Existing Impervious Surfaces = 5,862.0 sf Percentage of Existing Impervious Surfaces = 14.2 % Total Existing Pervious Surfaces = Grass 4,632.0 sf + Forest 30,671.0 sf = 35,303.0 sf Percentage of Existing Pervious Surfaces = 85.8 %	10. COVENANTS, CONDITIONS RESTRICTIONS, RECITALS, EASEMENTS AND OTHER TERMS AND CONDITIONS SHOWN ON MERCER ISLAND LOT LINE REVISION SUB15-018 PER RECORDING NO. 20160519900008.	A Z Z Z Z Z Z Z Z Z Z Z Z Z Z Z Z Z Z Z
Zoning Requirements:	LEGAL DESCRIPTION: THE NORTH 200 FEET OF THE SOUTH 400 FEET OF VACATED BLOCK 4, LINDLEY ADDITION TO SEATTLE, ACCORDING TO THE PLAT THEREOF	EERA EERA Services . E · Services . E
Min. Lot Width Required: 60' Min. Lot Depth Required: 80'	WASHINGTON.	ent Servi www.pacin a.com . (c) show on com a.com . (c) show on com a.com . (c) show on com contents, show contents, show cont
Min. Lot Area Required:8,400 s.f.Max. Lot Coverage:40%	TOGETHER WITH THAT PORTION OF VACATED 90TH AVENUE ADJOINING PURSUANT TO KING COUNTY SUPERIOR COURT CAUSE NO. 679116.	Participation of the second se
Required Landscape:60%Required Front Yard Setback:20'	EXCEPT THE WEST 10 FEET THEREOF CONVEYED TO KING COUNTY FOR ROAD BY DEEDS RECORDED UNDER RECORDING NO. 5056292 AND RECORDING NO. 4793511.	eering . D Bellevu Anster: Th Nus. Int. THEN NUS. INC. THEN NUS. INC. THEN NUS. INC. THEN NUS. INC. THEN NUS. INC. THEN
Minimum Side Yard Setback: 25 Minimum Side Yard Setback: 7.5' Minimum Total Side Yard Setback: 15'	AND EXCEPT THAT PORTION THEREOF APPROPRIATED IN KING COUNTY SUPERIOR COURT CAUSE NO. 541679, RECORDED UNDER RECORDING NO. 4793511.	Civil Engine Permit Expe
Existing Site Slope Calculations:	SURVEYOR'S CERTIFICATE:	S. HA
(Grade 330 - Grade 354) / 207' = 2.90 %	THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE	The of WASHING T
JNCH 2247	REQUIREMENTS OF THE SURVEY RECORDING ACT AT THE REQUEST OF HOME LINK CAPITAL LLC IM MARCH OF 2022	$\begin{array}{c} & & \\$
	ROBERT J. BOGDON CERTIFICATE NO. 33487	ONAL ET
C-2.1 for Trees Table	SOURS BEFOR	Date: 11 / 01 / 2022 STAMP IS NOT VALID UNLESS SIGNED AND DATED
	87 TT Below NOL L	Job Number: 220520 - PLE - 2211
INDEX LOCATION SEC. 19, T.24N., R.5E., W.M.	Call Before you dig Before you dig B	DWG Date:
		Sheet No.
	ENGINEERS - SURVEYORS	C - 2.0
CONTRACTOR	EASTSIDE CONSULTANTS, INC.	_ 

	<u>TOPOGRAPHY SURVEY NOTES:</u> 1. BASIS OF BEARINGS IS THE WASHINGTON STATE PLANE COORDINATE		
20' 0' 20' 40'	SYSTEM, N.A.D. 1983/2011, BASED ON GPS TIES TO THE WASHINGTON STATE REFERENCE NETWORK WSRN).		
SCALE : 1" = 20'	<ol> <li>ELEVATION DATUM IS N.A.V.D. 1988 BASED ON GPS TIES TO THE WSRN.</li> <li>FIELD WORK WAS DONE IN MARCH OF 2022 USING A TRIMBLE R8 GNSS GPS RECEIVER, AND A SPECTRA PRECISION FOCUS 35 ROBOTIC TOTAL STATION</li> </ol>		
LEGEND:	IN ACCORDANCE WITH W.A.C. 332-130. 4. THE PURPOSE OF THIS SURVEY IS TO PROVIDE A BASE MAP FOR CIVIL	By	
$-\bigcirc = GUY POLE$ $-\bigcirc = GUY ANCHOR$ $-\bigcirc = OVERHEAD POWER$ $\bigcirc = EIRE HYDRANT$	ENGINEERING DESIGN. 5. THE CONTOURS SHOWN ARE DERIVED FROM DIRECT FIELD OBSERVATIONS. THE CONTOUR INTERVAL IS 2.0 FEET AND THE CONTOUR ACCURACY IS ONE	evisions Date	
V  = WATER VALVE	HALF OF THE INTERVAL (±1.0 FEET). 6. PROPERTY LINES SHOWN ARE BASED ON A FIELD SURVEY.	а В Г Г	
WW = WATER METER $W = WATER LINE (PAINTED LOCATION)$ $C = UNDERGROUND COMMUNICATION (PAINTED LOCATION)$ $TV = TELEVISION RISER$	<ol> <li>THE LEGAL DESCRIPTION AND MATTERS OF RECORD ARE TAKEN FROM FIDELITY NATIONAL TITLE INSURANCE COMPANY, CERTIFICATE NUMBER 611311326, DATED FEBRUARY 10, 2022 AT 8:00 AM</li> </ol>		
V = UNDERGROUND TELEVISION (PAINTED LOCATION)  CB = CATCH BASIN	8. THE UNDERGROUND UTILITIES SHOWN ARE BASED ON A COMBINATION OF PAINT MARKS PROVIDED BY APPLIED PROFESSIONAL SERVICES, INC, AND THE SURVEYED LOCATION OF OBVIOUS SURFACE FEATURES. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST ON AND AROUND THIS SITE.	Plat	
-S - = SEWER LINE $MB = MAIL BOX$	811 OR 1-800-424-5555	L L	
= EVERGREEN TREE = DECIDUOUS TREE	REFERENCE SURVEYS:		
	R1. PLAT OF LINDLEY ADDITION TO SEATTLE, VOL. 3 PG, 103.	5	an
	R2. MERCER ISLAND SHORT PLAT SUB12-0006, REC. NO. 20131220900005.	t t	Ы
= CONCRETE PAVERS	R3. MERCER ISLAND BOUNDARY LINE REVISION, REC. NO. 20160519900008.		ion
= GRAVEL = TBM = 60D SPIKE IN POWER POLE			liti
$\Psi = ELEV = 361.47 (NAVD 1988)$	THE HEREIN DESCRIBED PROPERTY IS SUBJECT TO THE FOLLOWING	4	onc
Mr. Jintao (Adison) Cui	EASEMENTS AND ENCOMBRANCES OF RECORD. 1. COVENANTS, CONDITIONS, RESTRICTIONS, RESERVATIONS EASEMENTS AND OTHER TERMS AND CONDITIONS SHOWN ON		c Cc
7683 SE 27th Street, Unit 186 Mercer Island, WA 98040 Email: adisoncui@outlook.com	LINDLEY ADDITION TO SEATTLE PER RECORDING NO. 32487 2. RIGHT TO MAKE NECESSARY SLOPES FOR CUTS AND FILLS FOR FRANK W. FLOOD ROAD RECORDED IN VOLUME 29 ON PAGE 345 OF	Σ	Site
206) 265 - 0810	COMMISSIONER'S RECORDS. 3. EASEMENT FOR WATER PIPELINE AND WATER SERVICE PER	833	ng
Project Contact:	RECORDING NO. 3766695 (EXACT LOCATION IS NOT SPECIFIED). 4. RIGHT TO MAKE NECESSARY SLOPES FOR CUTS AND FILLS PER	$ \infty $	isti
VIr. Jintao (Adison) Cui Home - Link Capital LLC 7683 SF 27th Street, Unit 186	RECORDING NO'S 4793511 AND 5056292. 5. EASEMENT CONDEMNED IN KING COUNTY SUPERIOR COURT AND THE		Ex
Vercer Island, WA 98040 Email: adisoncui@outlook.com (206) 265 - 0810	TERMS AND CONDITIONS THEREOF FOR ELECTRIC TRANSMISSION AND/OR DISTRIBUTION LINES PER CAUSE NO. 679116.		
Existing Site Data:	TERMS AND CONDITIONS THEREOF FOR WATER PIPELINES PER CAUSE NO. 679116 (EXACT LOCATION IS NOT SPECIFIED).	0.	
Parcel Number: 4351300487 Parcel Address: 4833 90th Ave. SE	<ol> <li>DECREE OF APPROPRIATION ENTERED IN KING COUNTY CAUSE NO. 541679 AND THE TERMS AND CONDITIONS THEREOF PER RECORDING NO. 5150805.</li> </ol>	Pr	
Mercer Island, WA 98040 Zoning: R - 8.5	8. EASEMENT FOR PUGET SOUND POWER AND LIGHT COMPANY GUY WIRE AND ANCHOR PER RECORDING NO. 6258135.		
Total Parcel Area (per survey): 41,165 s.f. = 0.945 Acre	9. NOTICE OF ADDITIONAL TAP AND CONNECTION CHARGES AND THE TERMS AND CONDITIONS THEREOF PER RECORDING NO. 7712060812.	Plan Plotted	For : Submittal
Percentage of Existing Impervious Surfaces = 5,802.0 st Percentage of Existing Impervious Surfaces = Grass 4,632.0 sf + Forest 30,671.0 sf = 35,303.0 sf Percentage of Existing Pervious Surfaces = 85.8 %	10. COVENANTS, CONDITIONS RESTRICTIONS, RECITALS, EASEMENTS AND OTHER TERMS AND CONDITIONS SHOWN ON MERCER ISLAND LOT LINE REVISION SUB15-018 PER RECORDING NO. 20160519900008.		Ise Consulting Expert Witness m 160 ATTON CONTAINED IN ATTON CONTAINED IN ARTON CONTAINED IN ARTON CONTAINED IN ART WITHOUT THE ING ENGINEER.
Zoning Requirements:	THE NORTH 200 FEET OF THE SOUTH 400 FEET OF VACATED BLOCK 4, LINDLEY ADDITION TO SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 3 OF PLATS, PAGE 103, RECORDS OF KING COUNTY,		vices . Land L ificiandwa.cc (425) 615 - 6 (425) 1015 - 6 (425) 1015 - 6 (425) 1015 - 6 (425) 1015 - 1015 - 1015 (425) 1015 - 1015 - 1015 (1015 - 1015 - 1015) (1015 - 1015) (101
Min. Lot Width Required:60'Min. Lot Depth Required:80'Min. Lot Area Required:8.400 s f	WASHINGTON. TOGETHER WITH THAT PORTION OF VACATED 90TH AVENUE ADJOINING		Dment Ser . Inspection - www.pac dwa.com . atthe ENDORSIN ATTON AND / OR ATTON AND / OR
Max. Lot Coverage:40%Required Landscape:60%Required Front Yard Setback:20'	PURSUANT TO KING COUNTY SUPERIOR COURT CAUSE NO. 679116. EXCEPT THE WEST 10 FEET THEREOF CONVEYED TO KING COUNTY FOR ROAD BY DEEDS RECORDED UNDER RECORDING NO. 5056292 AND	ЧЧ	ng . Develo ing Services allevue, WA @pacificlan ins. inc. anb/ oi buction, mobler hect: THE MAYON HECT THE MAYON NT OF PACIFIC LAN
Required From Tard Setback:20Required Rear Yard Setback:25'Minimum Side Yard Setback:7.5'Minimum Total Side Yard Setback:15'	RECORDING NO. 4793511. AND EXCEPT THAT PORTION THEREOF APPROPRIATED IN KING COUNTY SUPERIOR COURT CAUSE NO. 541679, RECORDED UNDER RECORDING NO.	ПШ	i'vii Engineeri ermit Expediti Be info info info vauthorized repro Land braving ( Planus Land Bergineeriko, vautten consi
Existing Site Slope Calculations:	4793511.		O ⊈ <sup>₹∋∓</sup>
(Grade 330 - Grade 354) / 207' = 2.90 %	SURVEYOR'S CERTIFICATE: THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR	TEN ON	S. HAID
CH 47	UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE SURVEY RECORDING ACT AT THE REQUEST OF HOME LINK CAPITAL LLC IM MARCH OF 2022	M PROFESS	36034 <i>ISTERED</i> <i>ISTERED</i> <i>ISTERED</i>
	ROBERT J. BOGDON CERTIFICATE NO. 33487		11/01/2022
-2.1 for Trees Table	TURS BEFORENTIAL	Job Number 22052	r: 20 - PLE - 2211
INDEX LOCATION SEC. 19, T.24N., R.5E., W.M.	Call Before you dig 800-424-5557	DWG Date: 11	. / 01 / 2022
	ENICINIEEDS SUDVEVODS	Sheet No.	_ 2 ∩
	ENGINEERS - SURVETORS EASTSIDE CONSULTANTS, INC.		
	1320 N.W. MALL SI., SUITE B	l C	- 6 ()

# See Sheet C

![](_page_2_Figure_20.jpeg)

	Site: Homelink Capital, 4833 - 90th Ave SE. Mercer Island. WA													4/20	2022			
ag #	Tree #		Species	DBH	Height	Crown Ratio		Drip	line(ft)		Root Zone/Outer Radius	Root Zone/Inner Radius	Date.	igor	Viable	Large Regulated	Exceptional	
		6	Selwaide.	(hereber)		(94)	N								Wable			
		Common	Scientific	I(inches	)  (leet)	(/0)		3		<u> </u>	On Site	(reet)	vitality	Structure	Viable		1	Comments
570	3	Bigleaf maple	Acer macrophylum	22.5	90	50	22	30	22	20	24	12	Good	Good	Yes	1		
571	4	Douglas-fir	Psuedotsuga menziesii	41.5	115	40	18	22	18	20	20	10	Good	Fair	Yes	1	~	Sweep North
760	5	Pacific madrone	Arbutus menziesii	14.6	70	30	12	10	0	24	12	6	Good	Good	Yes	~	1	
755	6	W. red cedar	Thuja plicata	0	0	0	0	0	0	0	0	0						Cut down
762	7	Bigleaf maple	Acer macrophylum	7.5	40	20	0	15	11	6	8	4	Fair	Fair	No			Leans, brokend top
763	8	Bigleaf maple	Acer macrophylum	12.1	50	20	0	18	0	16	9	4	Poor	Poor	No			Asymetric, leans south
767	9	Bigleaf maple	Acer macrophylum	20.9	50	20	0	14	0	28	11	5	Poor	Poor	No			Hollow, top out
768	10	Black cottonwood	Populus trichocarpa	28.7	120	40	36	30	26	36	32	16	Good	Good	Yes			Ivy
778	11	Pacific madrone	Arbutus menziesii	11.9	40	10	2	4	4	0	3	1	Poor	Poor	No			Top out, small crown, minor decay
786	12	Pacific madrone	Arbutus menziesii	18.9	80	30	30	0	6	6	11	5	Fair	Fair	No	9		Dying, dead limbs
787	13	Bigleaf maple	Acer macrophylum	19.5	75	60	20	14	24	22	20	10	Good	Fair	Yes	1		Two codominants fused at 4-8'-small codom dec
788	14	Bigleafmaple	Acer macrophylum	0	0	0	0	0	0	0	0	0						Cut down
789	15	Bigleaf maple	Acer macrophylum	14.5	40	10	6	4	4	4	5	2	Poor	Fair	No			Dying, dead limbs
836	16	Douglas-fir	Psuedotsuga menziesii	17.5	30	40	14	17	8	18	14	7	Fair	Poor	No			Topped for utilities, overhangs Island Crest
788	18	Pacific madrone	Arbutus menziesii	20.1	45	20	6	8	12	12	10	5	Fair	Fair	Yes	1	~	Ivy
849	19*	Bigleaf maple	Acer macrophylum	19.6	55	60	8	20	4	22	14	7	Good	Good	Yes	~		
850	20*	Holly	Ilex sp.	12.7	40	60	16	16	16	16	16	8	Good	Good	Yes			
851	21	Bigleaf maple	Acer macrophylum	21.2	90	30	30	8	4	4	12	6	Good	Fair	Yes	~		
742	22	Red alder	Alnus rubra	12.2	50	40	8	24	0	24	14	7	Poor	Fair	No			Adjacent to snag, decay, dying
602	23	Red alder	Alnus rubra	0	0	0	0	0	0	0	0	0						Cut down
603	24	W. red cedar	Thuja plicata	23.5	55	100	16	16	16	16	16	8	Good	Good	Yes	~		
604	25*	Bigleaf maple	Acer macrophylum	19.6	55	70	20	20	20	18	20	10	Good	Good	Yes	~	1	
628	26	Douglas-fir	Psuedotsuga menziesii	38.6	125	80	26	26	26	26	26	13	Good	Good	Yes	~	1	
854	27*	Bigleaf maple	Acer macrophylum	32.9	90	60	28	28	34	30	30	15	Good	Good	Yes	~	1	
855	28	W. red cedar	Thuja plicata	39.1	80	90	24	24	24	24	24	12	Fair	Good	Yes	~	1	Thin crown
847	29	Pacific madrone	Arbutus menziesii	10.4	50	20	24	6	18	0	12	6	Fair	Fair	No			Thin crown
846	30*	Bigleaf maple	Acer macrophylum	20.0	70	40	24	18	16	16	19	9	Good	Good	Yes	~	-	Pruned for utility lines

Existing On-Site Trees in Poor Conditions
per Arborist Report Prepared
by Thomas Hanson of ARBOR INFO LLC
Dated April 20th, 2022
To Be Removed

Tree #	Tree Tag #
35	631
38	881
47	890
58	1001
59	1002
61	1004
8	763
9	767
11	778
16	836
64	1007
17	837
48	891

# NOTE

The Above Trees Table Was Prepared By Licensed Arborist Thomas Hanson of ARBOR INFO LLC Report Dated April 20th, 2022. Please Refer to Full Version Of This Report Included With The Application Submittal.

# NOTE

As mentioned by city staff during the per-application conference, in the event the number of proposed trees to be removed is above the maximum allowable by City Code the project owner(s) will be charged \$ 900 fee for every tree to be removed. To this end, the project owner is willing to pay the \$ 900.0 fee per tree to be removed beyond the maximum allowable.

							Tree	433633	ment									
			Site: Homelink Capit:	al, 4833	- 90th	Ave SE, 1	Mercer	Island	1, WA				Date:	4/20/	2022			
ag #	Tree #		Species	DBH	Height	Crown Ratio		Dripl	ine(ft)		Root Zone/Outer Radius	Root Zone/Inner Radius		7igor	Viable	Large Regulated	Exceptional	
		Common	Scientific	(inches)	(feet)	(%)	N	S	E	W	(feet)	(feet)	Vitality	Structure	Viable			Comments
844	31	Douglas fir	Pauadotauga manzianii	15.5	25	40	14	14	14	14	14	7	Good	Fair	Vac	1		Tonned for utility lines
856	22*	Biglaafmanla	Acer wagronhuluw	28.2	00	60	19	20	28	28	26	12	Good	Fair	Vac	1		Sucker codominant
624	32	Pagifia madrona	Acer macrophynam	20.5	20	60	10	25	20	40	20	15	Good	Cand	Vas			I cape wast
622	24	Pieles fuerels	Arounus menziesu	20.1	80	20	12	10	0	40	14	. 11	Good	Dola	I CS			
621	25*	Bigleaf maple	Acer macrophylum	23.1	80	30	14	18	20	25	14	12	Fair	Pair	res	•		Bushed an anne starr heithe sinder fur
631	35*	Bigiear maple	Acer macrophylum	31.6	80	40	28	32	20	26	27	13	Fair	Poor	No			Perched on nurse stump, brittle cinder tungus
032	30	Deodora cedar	Cedrus deodora	19.4	90	80	/	10	10	16	14	7	Good	Good	Yes	v		
865	37	Bigleat maple	Acer macrophylum	17.6	90	30	30	20	6	28	21	11	Good	Good	Yes	~		
881	38	Bigleaf maple	Acer macrophylum	7.1	40	20	0	16	16	0	8	4	Good	Poor	Yes			
866	39*	Bigleaf maple	Acer macrophylum	21.2	60	20	14	6	6	6	8	4	Fair	Good	No			Pruned for utility lines, low crown ratio
885	40	Pacific madrone	Arbutus menziesii	7.5	20	30	12	2	0	10	6	3	Good	Fair	Yes			Hangs over Island Crest
886	41	Pacific madrone	Arbutus menziesii	10.9	20	30	16	0	6	16	10	5	Good	Fair	Yes	~	~	Topped for utilities
867	42	Pacific madrone	Arbutus menziesii	6.5	20	20	6	0	0	16	6	3	Good	Fair	Yes		1	Topped for utilities
887	43	Pacific madrone	Arbutus menziesii	9.6	20	30	2	6	2	10	5	3	Good	Fair	Yes		~	Topped for utilities
890	47*	Pacific madrone	Arbutus menziesii	10.3	20	20	6	5	0	12	6	3	Poor	Poor	No			Topped for utilities, low crown ratio
888	49	Bigleaf maple	Acer macrophylum	18.7	80	40	18	26	12	18	19	9	Good	Good	Yes	1		
883	50	Douglas-fir	Psuedotsuga menziesii	26.1	85	30	14	14	14	14	14	7	Good	Good	Yes	~		
868	51	Bigleaf maple	Acer macrophylum	11.1	35	10	1	0	0	0	0	• 0	Poor	Fair	No			Low crown ratio
882	52*	Bigleaf maple	Acer macrophylum	21.9	80	40	23	28	28	6	21	11	Good	Good	Yes	~		
898	54*	Pacific madrone	Arbutus menziesii	13.9	80	60	16	8	8	8	10	5	Good	Good	Yes	1		
635	55	Bigleaf maple	Acer macrophylum	32.0	80	70	20	24	20	29	23	12	Good	Good	Yes	~	~	Ivy
637	56*	Bigleaf maple	Acer macrophylum	36.9	85	70	25	30	25	25	26	13	Fair	Fair	Yes	1		10% dead limbs
991	57	Dogwood	Cornus florida	6.4	18	90	9	9	9	9	9	5	Good	Good	Yes	1.13		
1001	58	Scoulers Willow	Salix scourliana	9.5	35	20	0	6	3	3	3	2	Poor	Poor	No	8.1.3		ivy, top broken out
1002	59	Scoulers Willow	Salix scourliana	9.2	35	40	5	8	15	0	7	4	Poor	Poor	No			ivy, pistol butt, leans over utilities
1004	61	Bigleaf maple	Acer macrophylum	8.5	16	10	0	3	0	0	1	0	Poor	Poor	No			Stem broken
1005	62	Bitter cherry	Prunus emarginata	8.5	45	50	12	12	12	12	12	6	Good	Good	Yes			
1006	63	Pacific madrone	Arbutus menziesii	25.2	90	70	0	36	28	10	19	9	Good	Good	Yes	1	3	

							Tree	Assess	ment									
		5. B	Site: Homelink Capi	tal, 4833	- 90th	Ave SE, I	Mercer	Island	i, WA				Date:	4/20/	2022			
; #	Tree #		Species	DBH	Height	Crown Ratio		Dripl	line(ft)		Root Zone/Outer Radius	Root Zone/Inner Radius	v	igor	Viable	Large Regulated	Exceptional	
		Common	Scientific	(inches)	(feet)	(%)	N	s	E	w	(feet)	(feet)	Vitality	Structure	Viable	8		Comments
											On Site	£						
007	64	Pacific madrone	Arbutus menziesii	8.5	26	20	4	3	24	0	8	4	Poor	Poor	No			Dyingm, 30% dead limbs
008	65	Common Hawthorn	Cratagus laevigata	6.1	18	90	10	12	10	8	10	5	Good	Good	Yes			
009	66	Bitter cherry	Prunus emarginata	10.1	45	40	16	8	6	12	11	5	Fair	Fair	No			20% dead limbs
010	67	Bigleaf maple	Acer macrophylum	15.6	80	30	0	12	0	34	12	6	Good	Fair	Yes	~	2	
011	68	Pacific madrone	Arbutus menziesii	18.1	80	20	22	0	0	14	9	5	Fair	Good	Yes	~	1	Low crown ratio
012	69	Bitter cherry	Prunus emarginata	14.8	80	60	18	16	20	8	16	8	Good	Good	Yes	~		
					1.4.1						Off Site			2.11.1	2010	1.11	l	
569	1	Bigleaf maple	Acer macrophylum	15.4	60	20	10	3	0	16	7	4	Good	Good	Yes	~		Asymetric
568	2	Bigleaf maple	Acer macrophylum	25.5	60	60	36	18	36	22	28	14	Good	Fair	Yes	~		Leans northeast
837	17	Bigleaf maple	Acer macrophylum	8.4	22	30	3	14	10	12	10	5	Good	Poor	No			Topped for utilities, overhangs Island Cres
964	44	Pacific madrone	Arbutus menziesii	5.0	20	20	4	2	0	8	4	2	Fair	Fair	Yes			Topped for utilities
965	45	Pacific madrone	Arbutus menziesii	7.2	25	20	8	4	0	8	5	3	Good	Fair	Yes		~	Topped for utilities
966	46	W. red cedar	Thuja plicata	5.0	22	70	4	5	2	6	4	2	Good	Good	Yes			
91	48	Douglas-fir	Psuedotsuga menziesii	6.8	18	20	6	6	6	4	6	3	Poor	Poor	No			Topped for utilities, low crown ratio
08	53	Douglas-fir	Psuedotsuga menziesii	15.0	75	50	16	10	6	10	6	3	Good	Fair	Yes	1		Sweep
003	60	Bigleaf maple	Acer macrophylum	10.5	70	30	0	16	16	0	8	4	Good	Fair	Yes	~		Зжеер
T		* multiple	stems converted to single	1. 10		-												

![](_page_3_Figure_9.jpeg)

RS BE

Know what's Below Stop Call Before you dia

![](_page_4_Figure_0.jpeg)

**Tree Protection Detail** 

N.T.S.

- NOTES
- 1. MINIMUM SIX (6) FOOT HIGH TEMPORARY CHAINLINK FENCE SHALL BE PLACED AT DISTANCE OF GENERALLY TWO (2) FEET OUTSIDE THE DRIP LINE OF THE SIGNIFICANT TREE(S). FENCE SHALL COMPLETELY ENCIRCLE TREE(S). INSTALL POSTS USING 1.5-INCH STEEL POSTS DRIVEN 2-FEET INTO THE GROUND.
- 2. MOVABLE BARRIERS OF CHAIN LINK FENCING SECURED TO THE CEMENT BLOCKS MAY BE SUBSTITUTED FOR "FIXED" FENCING IF THE PROJECT ARBORIST AND CITY STAFF AGREE THAT THE FENCING WILL HAVE TO BE MOVED TO ACCOMMODATE CERTAIN PHASES OF THE CONSTRUCTION. MODIFICATIONS TO FENCING MATERIAL AND LOCATION MUST BE APPROVED BY PLANNING OFFICIAL AND PROJECT ARBORIST.
- 3. THE FENCING CAN BE MOVED WITHIN THE DRIP LINE OF THE TREE IF AUTHORIZED BY THE CLEARING AND GRADING INSPECTOR AND THE PROJECT ARBORIST BUT NOT CLOSER THAN 2' FROM THE TRUNK OF THE TREE. ONLY EXCAVATION BY HAND OR COMPRESSED AIR SHALL BE ALLOWED WITHIN THE DRIP LINE OF THE TREES. MACHINE TRENCHING SHALL BE ALLOWED.
- 4. TREATMENT OF ROOTS EXPOSED DURING CONSTRUCTION: FOR ROOTS OVER TWO (2) INCH IN DIAMETER DAMAGED DURING CONSTRUCTION, MAKE A CLEAN STRAIGHT CUT TO REMOVE DAMAGED PORTION OF THE ROOT, ALL EXPOSED ROOTS SHALL BE TEMPORARY COVERED WITH DAMP BURLAP TO PREVENT DRYING AND COVERED WITH SOIL AS SOON AS POSSIBLE.
- 5. NO STOCKING OF MATERIALS, VEHICULAR TRAFFIC, OR STORAGE OF EQUIPMENT OR MACHINERY SHALL BE ALLOWED WITHIN THE LIMIT OF THE FENCING. WORK WITHIN PROTECTION FENCE SHALL BE DONE MANUALLY UNDER THE SUPERVISION OF THE ON-SITE ARBORIST AND WITH PRIOR APPROVAL BY THE CITY PLANNING OFFICIAL.
- 6. FENCING SIGNAGE AS DETAILED ABOVE MUST BE POSTED EVERY FIFTEEN ALONG THE FENCE. THE SIGN SHALL BE MINIMUM OF 8.5-INCHES BY 11-INCHES.

![](_page_4_Figure_10.jpeg)

![](_page_4_Figure_11.jpeg)

Tree #	Tree Tag
35	631
38	881
47	890
58	1001
59	1002
61	1004
8	763
9	767
11	778
16	836
64	1007
17	837
48	891

![](_page_5_Figure_0.jpeg)

![](_page_5_Figure_1.jpeg)

![](_page_5_Figure_2.jpeg)

![](_page_5_Figure_3.jpeg)

![](_page_6_Figure_0.jpeg)

# Existing Site Data:

Parcel Number:	4351300487
Parcel Address:	4833 90th Ave. SE
	Mercer Island, WA 98040
Zoning:	R - 8.5
TILDILA	

Total Parcel Area (per survey): 41,165 s.f. = 0.945 Acre Total Existing Impervious Surfaces = 5,862.0 sf

Percentage of Existing Impervious Surfaces = 14.2 % Total Existing Pervious Surfaces = Grass 4,632.0 sf + Forest 30.671.0 sf = 35.303.0 sf Percentage of Existing Pervious Surfaces = 85.8 %

## Zoning Requirements:

Min. Lot Width Required:	60'
Min. Lot Depth Required:	80'
Min. Lot Area Required:	8,400
Max. Lot Coverage:	40%
Required Landscape:	60%
Required Front Yard Setback:	20'
Required Rear Yard Setback:	25'
Minimum Side Yard Setback:	7.5'
Minimum Total Side Yard Setback:	15'

## Property Owner:

Mr. Jintao (Adison) Cui Home - Link Capital LLC 7683 SE 27th Street, Unit 186 Mercer Island, WA 98040 Email: adisoncui@outlook.com (206) 265 - 0810

## **Project Contact:**

Mr. Jintao (Adison) Cui Home - Link Capital LLC 7683 SE 27th Street, Unit 186 Mercer Island, WA 98040 Email: adisoncui@outlook.com (206) 265 - 0810

## **Project Engineer:**

Mazen Haidar, PE Pacific Land Engineering mazen@pacificlandwa.com (206) 615 - 6160

## Project Surveyor:

Robert Bogdon, PLS Eastside Consultants, Inc. 1320 N.W. Mall Street, Suite B (425) 392 - 5351

## Mercer Island Fire Department

*4160 86th Ave SE* Mercer Island, WA 98040 (206) 236 - 3330

## Telephone and Cable

Comcast P. O. Box 60533 City of Industry, CA 91716 (800) 934 - 6489

₩\_\_\_\_FD. CONC. MON W/PUNCH MERCER ISLAND NO. 2247

![](_page_6_Figure_34.jpeg)

![](_page_7_Figure_0.jpeg)

	Cut Factor	Fill Factor	Cut						
Surface3	1.000	1.000	1,184.0 Sq. Ft.	530.0 Cu. Yd.	16,680.0 Sq. Ft.	1,200.0 Cu. Yo			
Totals			1,184.0 Sq. Ft.	530.0 Cu. Yd.	16,680.0 Sq. Ft.	1,200.0 Cu. Yo			

![](_page_7_Figure_4.jpeg)