

# SEC. 19, T 24 N, R 5E, W.M.

## Project 4833 MI

### Preliminary 4 - Lot Short Plat

**MATTERS OF RECORD:**

THE HEREIN DESCRIBED PROPERTY IS SUBJECT TO THE FOLLOWING EASEMENTS AND ENCUMBRANCES OF RECORD:

- COVENANTS, CONDITIONS, RESTRICTIONS, RESERVATIONS EASEMENTS AND OTHER TERMS AND CONDITIONS SHOWN ON LINDLEY ADDITION TO SEATTLE PER RECORDING NO. 32487
- RIGHT TO MAKE NECESSARY SLOPES FOR CUTS AND FILLS FOR FRANK W. FLOOD ROAD RECORDED IN VOLUME 29 ON PAGE 345 OF COMMISSIONER'S RECORDS.
- EASEMENT FOR WATER PIPELINE AND WATER SERVICE PER RECORDING NO. 3766695 (EXACT LOCATION IS NOT SPECIFIED).
- RIGHT TO MAKE NECESSARY SLOPES FOR CUTS AND FILLS PER RECORDING NO'S 4793511 AND 5056292.
- EASEMENT CONDEMNED IN KING COUNTY SUPERIOR COURT AND THE TERMS AND CONDITIONS THEREOF FOR ELECTRIC TRANSMISSION AND/OR DISTRIBUTION LINES PER CAUSE NO. 679116.
- EASEMENT CONDEMNED IN KING COUNTY SUPERIOR COURT AND THE TERMS AND CONDITIONS THEREOF FOR WATER PIPELINES PER CAUSE NO. 679116 (EXACT LOCATION IS NOT SPECIFIED).
- DECREE OF APPROPRIATION ENTERED IN KING COUNTY CAUSE NO. 541679 AND THE TERMS AND CONDITIONS THEREOF PER RECORDING NO. 5150805.
- EASEMENT FOR PUGET SOUND POWER AND LIGHT COMPANY GUY WIRE AND ANCHOR PER RECORDING NO. 6258135.
- NOTICE OF ADDITIONAL TAP AND CONNECTION CHARGES AND THE TERMS AND CONDITIONS THEREOF PER RECORDING NO. 7712060812.
- COVENANTS, CONDITIONS RESTRICTIONS, RECITALS, EASEMENTS AND OTHER TERMS AND CONDITIONS SHOWN ON MERCER ISLAND LOT LINE REVISION SUB15-018 PER RECORDING NO. 20160519900008.

**LEGAL DESCRIPTION:**

THE NORTH 200 FEET OF THE SOUTH 400 FEET OF VACATED BLOCK 4, LINDLEY ADDITION TO SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 3 OF PLATS, PAGE 103, RECORDS OF KING COUNTY, WASHINGTON.

TOGETHER WITH THAT PORTION OF VACATED 90TH AVENUE ADJOINING PURSUANT TO KING COUNTY SUPERIOR COURT CAUSE NO. 679116.

EXCEPT THE WEST 10 FEET THEREOF CONVEYED TO KING COUNTY FOR ROAD BY DEEDS RECORDED UNDER RECORDING NO. 5056292 AND RECORDING NO. 4793511.

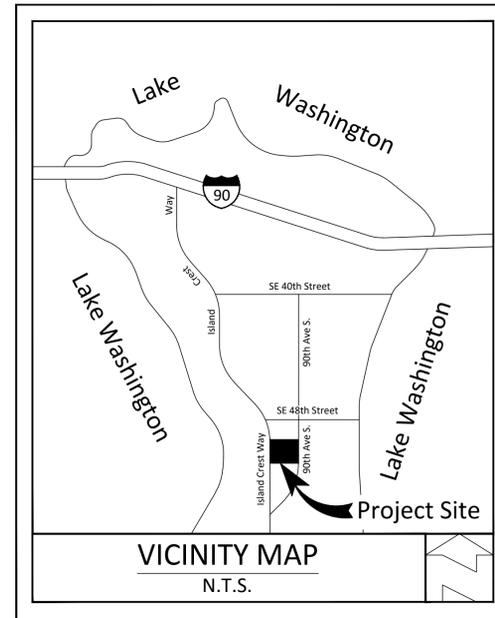
AND EXCEPT THAT PORTION THEREOF APPROPRIATED IN KING COUNTY SUPERIOR COURT CAUSE NO. 541679, RECORDED UNDER RECORDING NO. 4793511.

**REFERENCE SURVEYS:**

- PLAT OF LINDLEY ADDITION TO SEATTLE, VOL. 3 PG. 103.
- MERCER ISLAND SHORT PLAT SUB12-0006, REC. NO. 20131220900005.
- MERCER ISLAND BOUNDARY LINE REVISION, REC. NO. 20160519900008.

**TOPOGRAPHY SURVEY NOTES:**

- BASIS OF BEARINGS IS THE WASHINGTON STATE PLANE COORDINATE SYSTEM, N.A.D. 1983/2011, BASED ON GPS TIES TO THE WASHINGTON STATE REFERENCE NETWORK (WSRN).
- ELEVATION DATUM IS N.A.V.D. 1988 BASED ON GPS TIES TO THE WSRN.
- FIELD WORK WAS DONE IN MARCH OF 2022 USING A TRIMBLE R8 GNSS GPS RECEIVER, AND A SPECTRA PRECISION FOCUS 35 ROBOTIC TOTAL STATION IN ACCORDANCE WITH W.A.C. 332-130.
- THE PURPOSE OF THIS SURVEY IS TO PROVIDE A BASE MAP FOR CIVIL ENGINEERING DESIGN.
- THE CONTOURS SHOWN ARE DERIVED FROM DIRECT FIELD OBSERVATIONS. THE CONTOUR INTERVAL IS 2.0 FEET AND THE CONTOUR ACCURACY IS ONE HALF OF THE INTERVAL (±1.0 FEET).
- PROPERTY LINES SHOWN ARE BASED ON A FIELD SURVEY.
- THE LEGAL DESCRIPTION AND MATTERS OF RECORD ARE TAKEN FROM FIDELITY NATIONAL TITLE INSURANCE COMPANY, CERTIFICATE NUMBER 611311326, DATED FEBRUARY 10, 2022 AT 8:00 AM.
- THE UNDERGROUND UTILITIES SHOWN ARE BASED ON A COMBINATION OF PAINT MARKS PROVIDED BY APPLIED PROFESSIONAL SERVICES, INC. AND THE SURVEYED LOCATION OF OBVIOUS SURFACE FEATURES. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST ON AND AROUND THIS SITE.



**Applicant / Project Owner**

Mr. Jintao (Adison) Cui  
Home-Link Capital LLC  
7683 SE 27th Street, Unit 186  
Mercer Island, WA 98040  
(206) 265 - 0810  
adisoncui@outlook.com

**SHEETS INDEX**

- C - 1.0 Cover Sheet Plan.
- C - 1.1 City PRE22 - 028 Notes
- C - 2.0 Existing Site Conditions Plan.
- C - 2.1 Trees Table Plan.
- C - 3.0 Trees Protection Plan.
- C - 4.0 TESC Plan.
- C - 5.0 Preliminary Short Plat Map Plan.
- C - 6.0 Preliminary Grading, Drainage, and Utilities Plan.

**Existing Site Data:**

Parcel Number: 4351300487  
Parcel Address: 4833 90th Ave. SE  
Mercer Island, WA 98040  
Zoning: R - 8.5  
Total Parcel Area (per survey): 41,165 s.f. = 0.945 Acre  
  
Total Existing Impervious Surfaces = 5,862.0 sf  
Percentage of Existing Impervious Surfaces = 14.2 %  
Total Existing Pervious Surfaces = Grass 4,632.0 sf + Forest 30,671.0 sf = 35,303.0 sf  
Percentage of Existing Pervious Surfaces = 85.8 %

**Zoning Requirements:**

Min. Lot Width Required: 60'  
Min. Lot Depth Required: 80'  
Min. Lot Area Required: 8,400 s.f.  
Max. Lot Coverage: 40%  
Required Landscape: 60%  
Required Front Yard Setback: 20'  
Required Rear Yard Setback: 25'  
Minimum Side Yard Setback: 7.5'  
Minimum Total Side Yard Setback: 15'

**Project Description:**

Proposed Residential 4 Lot Short Plat

**Property Owner:**

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Home - Link Capital LLC  
7683 SE 27th Street, Unit 186  
Mercer Island, WA 98040  
Email: adisoncui@outlook.com  
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**Project Contact:**

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**NOTES**

See detailed project information and detailed area calculations on sheet C - 5.0 and C - 6.0



Revisions	No.	Date	By

Project 4833 MI\_ 4 - Lot Short Plat  
Cover Sheet Plan

Plan Plotted For :  
Initial Submittal

**PACIFIC LAND ENGINEERING**  
Civil Engineering, Development Services, Land Use Consulting, Permit Expediting Services, Inspection Services, Expert Witness  
Bellevue, WA - www.pacificlandeng.com  
info@pacificlandeng.com (206) 265-0810



Date: 11 / 01 / 2022  
STAMP IS NOT VALID UNLESS SIGNED AND DATED

Job Number: 220520 - PLE - 2211

DWG Date: 11 / 01 / 2022

Sheet No. C - 1.0

OF

C - 6.0

CITY OF MERCER ISLAND

COMMUNITY PLANNING & DEVELOPMENT
9811 35 35TH STREET | MERCER ISLAND, WA 98040
PHONE: 206.275.7605 | www.mercerisland.gov



Pre-Application Meeting (PRE22-028)

An Intake Screening is required in addition to a Pre-Application Meeting. A Pre-Application Meeting does not replace the required Intake Screening. This meeting is to provide guidance and information include prior to formal submittal.

Summary:

Table with 2 columns: Site Location and Parcel Number. Site Location: 4833 90th Ave SE, Parcel Number: 435130-0487. Lot Size: 41,165 square feet, 8-8.4 (Single Family). Includes details on zoning, documents, and applicant information.

Applicant Questions:

- 1. Is proposing a 20-foot-wide access easement instead of an access tract acceptable?

Staff Response: The proposed access easement must be large enough to accommodate the access road. MIRC 19.09.030(F)(1) requires subdivisions abutting an arterial to provide internal access to the subdivision's lots. MIRC 19.09.100(A) requires that a subdivision use common access drives where feasible.

- 2. Can the area for the proposed 20-foot-wide access easement be included in each adjacent lot area to meet minimum lot area requirements per MIRC 19.02.020?

PLEASE NOTE: These pre-application meeting notes have been prepared to assist the applicant in completing and submitting the application in a manner that complies with applicable development standards and permit processing requirements.

- a. Fire code alternatives may be considered upon application of a building permit. The building designer must propose such alternative, which must show how the alternative is equal to or above the fire code.
b. Fire code alternatives are not considered as a replacement for the fire code.
7. Plat Map Working Requirement: The following statement must be shown on all plat map submittals:

"All buildings are subject to meeting the current fire code requirements at the time of permit submittal. Access shall be provided as outlined in the International Fire Code Appendix D as adopted and/or amended and MIRC 19.09.040. Fire plan reviews will be conducted at the time of building permit submittal and may require additional fire protection systems and/or fire prevention measures for permit approval."

For additional information please refer to this helpful webpage: https://www.mercerisland.gov/cpd/pdfs/fee-permits-and-prevention-information

Tree Comments:

- Tree Contact: John.Kenney@mercerisland.gov or 206-275-7173.
1. Please refer to MIRC 19.10 for our tree code.
2. 30% of trees with a diameter of 10 inches or greater is required; additionally, development must be designed to minimize tree removal.
3. Replacement is required for any trees that are removed, according to the replacement ratios in MIRC 19.10.070.
4. Tree protection (typically at tree dripline) of retained trees will be required.
5. Sequential (phased) tree removal may be required (only remove trees necessary at each step of the review process).
6. Several exceptional trees are onsite and must be retained and protected unless justified under MIRC19.10.060(A)(3).

For additional information please refer to this helpful webpage: https://www.mercerisland.gov/cpd/pdfs/tree-permits

Civil Engineering Comments:

- Civil Contact: Ruji.Ding@mercerisland.gov or 206-275-7703.
1. Please see above for responses to the provided questions.
2. The existing ditch will be required to be piped along the frontage of the site as a part of this project.
3. Please refer to MIRC Title 15 for our Water, Sewers, and Public Utilities code.
For more information on Stormwater Permits please visit here: https://www.mercerisland.gov/cpd/pdfs/stormwater-permits

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- 2. Streets or rights-of-way.
3. Critical areas, buffers or critical area setbacks; provided building pads may be located within geohazard areas and associated buffers and setbacks within all of the following are met:
a. A qualified professional determines that the criteria of MIRC 19.07.160(B)(2) and (3). Site development, are satisfied.
b. Building pads are sited to minimize impacts to the extent feasible.
c. Building pads are not located in steep slopes or within 10 feet from the top of a steep slope, unless such slope, as determined by a qualified professional, consists of soil types determined not to be landslide prone.
iii. No cross-section dimension of a building pad shall be less than 20 feet in width.
b. New buildings shall be located within the building pad established by MIRC 19.09.090(A) or (B). Legally established nonconforming portions of existing buildings and additions made pursuant to MIRC 19.07.130. Modifications, may be located outside of building pads.

7. Preferred practices - Proposed developments shall incorporate all of the following preferred development practices where feasible:

- a. Use common access drive and utility corridors.
b. Development, including roads, walkways and parking areas, in critical areas should be avoided, or if not avoided, adverse impacts to critical areas will be mitigated to the greatest extent reasonably feasible.
c. Retaining walls should be designed to minimize grading, including the placement of fill, on or near an existing natural slope.
8. Easement:
a. Vehicular Access Easements. No structures shall be constructed on or over any vehicular access easement. A minimum five-foot yard setback from the edge of any easement that affords or could afford vehicular access to a property is required for all structures; provided, that improvements such as gates, fences, rockeries, retaining walls and landscaping may be installed within the five-foot yard setback so long as such improvements do not interfere with emergency vehicle access or sight distance for vehicles and pedestrians.
b. Utility and Other Easements. No structure shall be constructed on or over any easement for water, sewer, storm drainage, utilities, trail or other public purposes unless permitted within the language of the easement or is mutually agreed in writing between the grantee and grantor of the easement.

Staff Response: The lot area requirements MIRC 19.02.020 require that the net lot area of each lot be greater than 8400 square feet. Net lot area is the area contained within the established boundaries of a lot, less any area used for public or private vehicular access easement, excluding that portion of the easement used for a driveway access to the encumbered lot. This means that the portion of the easement that is used to access the lot will be included in the net lot area. The rest of the easement would be excluded from the net lot area.

- 3. Is the proposed 16-foot paved common access driveway acceptable to serve two lots?

Staff Response: MIRC 19.08.030(F)(1) requires subdivisions abutting an arterial to provide internal access to the subdivision's lots. MIRC 19.09.100(A) requires that a subdivision use common access drives where feasible. Therefore, a single access road must be used to access all four lots. Under MIRC 19.09.040(B) a private road serving three or more lots shall be at least 20 feet in width.

- 4. Are the proposed building setback lines shown on the Civil Plans acceptable and consistent with MIRC 19.02.020?

Staff Response: The location of the required setbacks is consistent with the setback requirements listed in MIRC 19.02.020(C)(2), as well as the setback requirements for new lots abutting an arterial set forth in MIRC 19.08.030(F)(1). MIRC 19.02.020(C)(1)(c)(ii)(B) states that for lots with a lot width of more than 90 feet, the sum of the side yards' width shall be a width that is equal to at least 17% of the lot width. The plans show that the widths of the lots vary between 100 and 103.75 feet. This would mean that the side yards would need to add up to 17 to 17.63 feet.

Please also note that building pads consistent with MIRC 19.09.090 will need to be established for each lot of the subdivision. In particular, building pads will need to be located to minimize or prevent the removal of trees and vegetation required for retention pursuant to chapter 19.10 MIRC.

- 5. Are all proposed lot area and dimensions shown on the Civil Plans acceptable and consistent with MIRC 19.02.020?

Staff Response: The lots shown in the plans meet the lot area and lot dimension requirements listed in MIRC 19.02.020(A).

- 6. Assuming the common driveway to the proposed two rear lots must be set aside in an access tract instead of an access easement, what is the minimum required width of the tract?

Staff Response: The tract would need to be wide enough to accommodate the access road. MIRC 19.08.030(F)(1) requires subdivisions abutting an arterial to provide internal access to the subdivision's lots. MIRC 19.09.100(A) requires that a subdivision use common access drives where feasible. Therefore, a single access road must be used to access all four lots. Under MIRC 19.09.040(B) a private road serving three or more lots shall be at least 20 feet in width. An access easement that is 20 feet in width is acceptable to accommodate a 20-foot-wide access road.

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Planning Comments:

Planning Contact: andrew.leon@mercerisland.gov or 206-275-7720.

- 1. Residential Zoning Standards:
a. Yards:
i. Front yard: 20 feet
ii. Rear yard: 25 feet
iii. Side yards:
1. Total side yards must be at least 17% of the lot width; no side yard less than 33% of the total side yard requirement.
2. Variable Side Yard Depth Requirement:
a. Variable Side Yard Depth Requirements apply to interior lot lines only.
b. A minimum side yard of 7.5 feet is required for 1) nongabbed roof ends where the height is more than 15 feet; or 2) gabbed roof ends more than 18 feet. Both measurements are taken from existing or finished grade, whichever is lower, to the top of the gabbed roof end adjoining the side yard.
c. A minimum side yard of 10 feet is required for single-family dwellings with a height of more than 25 feet measured from the existing or finished grade, whichever is lower, to the top of the exterior wall facade adjoining the side yard.
iv. Eaves may only protrude up to 18 inches into yards; note that no protrusion is allowed within minimum side yard setbacks.
v. No eave and minor building element protrusion is allowed into the minimum side yard setback established by either the requirements based on lot width or Variable Side Yard Depth Requirement. (MIRC 19.02.020(C)(3)).
b. Lot Coverage:
1. Calculated by totaling the following:
i. All drivable surfaces (driveway, parking pad, turn-arounds, etc., regardless the material type; e.g. pervious driveway counts towards lot coverage)
2. Roof line (includes eaves and covered decks)
ii. Lot Coverage is limited to a percentage of net lot area; this percentage varies between 20-40% depending on the slope of the lot. Lot slope is calculated by subtracting the lowest existing elevation from the highest existing elevation and dividing the resulting number by the shortest horizontal distance between these two points.
iii. Allowed a maximum of 9% of the lot area can be hardscape
1. Hardscape includes: patios, uncovered steps, walkways, decks, retaining walls, rockeries, and other hardscaped surfaces other than drivable surfaces or roofs.
2. Hardscape improvements can be within the maximum lot coverage allowance. That is, if the proposed lot coverage is less than the maximum lot coverage, the difference between the maximum and proposed areas can be used for hardscape.

- 2. Subdivisions
a. Design Standards
i. Streets, roads, and rights-of-way.
1. The width and location of rights-of-way for major, secondary, and collector arterial streets shall be as set forth in the comprehensive arterial plan.
2. Public rights-of-way shall comply with the requirements set out in MIRC 19.09.030.
3. Private access roads shall meet the criteria set out in MIRC 19.09.040.

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- 9. Impact Fees
a. Future construction on the new lots resulting from the proposed subdivision will need to pay transportation and park impact fees.
b. Current rates are:
i. Transportation - \$2,600.31
ii. Parks - \$4,914.53
c. Note that fees are due at the time they are assessed—they do not vest to the time of complete subdivision or building permit application.
10. Transportation Concurrence: Please apply for a transportation concurrence certificate at the same time as the subdivision.
11. Vesting: Please see the standards in MIRC 19.15.170.
12. Application fees
a. Deposit due at time of application

PLEASE NOTE: These pre-application meeting notes have been prepared to assist the applicant in completing and submitting the application in a manner that complies with applicable development standards and permit processing requirements.

- 7. Should the area of the access tract be deducted from the overall parcel area when calculating minimum lot areas?

Staff Response: An access tract would be considered a separate parcel from the lots of the subdivision. Its area could not be included in the area of the other lots.

- 8. Are there any setback requirements from existing slopes across the subject parcel's western property line that exceed 20% but are not steep slopes?

Staff Response: Setbacks are not required from geologically hazardous areas, including landslide hazard areas and steep slopes. However, a critical area review 1 is required for any alteration of a geologically hazardous area, which involves preparing a geotechnical report which will be reviewed by the city. Please see Section 3 of the Planning Comments below for more information.

- 9. Will the city require road improvements, including curbs, gutters, and sidewalks, along either 90th Ave SE or Island Crest Way across the frontage of the subject parcel?

Staff Response: The city will not require urban frontage road improvements such as curbs, gutters, and sidewalks along the frontage of 90th Ave SE. Any impacts to the right-of-way along Island Crest Way will need to be restored.

- 10. With the city require 90th Ave SE to be widened across the frontage of the subject parcel?

Staff Response: The city will not require any road widening along the frontage of 90th Ave SE. However, the city might require a full grading and overlay of the roadway pavement depending on the numbers of the utility cuts and damages to the city roadway due to the construction activities. The limits and extents of the roadway restoration will be determined towards the end of the construction.

- 11. Will the city require any right-of-way dedication along either 90th Ave SE or Island Crest Way?

Staff Response: The city will not require any right-of-way dedication for 90th Ave SE or Island Crest Way.

- 12. Will this proposal have diversion issues based on the information provided in the narrative?

Staff Response: There is no diversion issue based on the city drainage map.

- 13. Will this proposal be exempt from providing Retention/Pretention (R/P) flow control facilities provided the conditions for this exemption are met pursuant to Section 1-2.5.7 of the 2012 Western Washington Stormwater Management Manual as amended in 2014 and pursuant to MIRC 15.09.050?

Staff Response: The flow control system (MR7) is not exempt if the project exceeds the thresholds for the flow control (10,000 square feet or more effective impervious surface).

PLEASE NOTE: These pre-application meeting notes have been prepared to assist the applicant in completing and submitting the application in a manner that complies with applicable development standards and permit processing requirements.

consent. 75 acres or more of vegetation, etc.). The downstream of the site is comprised of natural watercourses that are not manmade conveyance elements. This project does not meet the criteria of an exemption.

If MR7 is required for this project, then the onsite detention system listed in MIRC 15.09.050 will not be required. If MR7 is not required (such as less than 10,000 square feet effective impervious surface, conversion of less than .75 acres of vegetation area, etc.) then you will need to evaluate if all the on-site stormwater management BMPs included on List #1 and List #2 are feasible for roofs and/or other hard surfaces. If it is not feasible, then an on-site detention system from the site will be required due to the downstream system, including watercourses.

- 14. Can you please provide a copy of the city's standard on-site detention sizing table?

Staff Response: Please follow this link for the sizing table: On-Site Detention Design Requirements.

- 15. We would like to include and enter all the existing square footage and ground coverage (including the existing impervious surface and lawn surface) within the subject site when calculating surface flow volume in the subject site conditions for the purpose of sizing detention and retention facilities. Is this approach acceptable to the city?

Staff Response: Yes. This approach is acceptable to the City.

- 16. Is the proposed subdivision exempt from providing surface water quality control and treatment facilities since the proposal will create less than 5000 square feet of New Pollution Generating Impervious Surfaces (NPGIS)?

Staff Response: If the NPGIS area is less than 5000 square feet, the MR9 is not required.

- 17. Does the proponent have the option to pay a fee in lieu instead of constructing detention flow control facilities pursuant to MIRC 15.11.020? If so, how are they calculated?

Staff Response: This site is not eligible for fee in lieu of a detention system.

- 18. Will an on-site fire turnaround be required for this short subdivision?

Staff Response: Fire access roads, private access roads, and driveways in excess of 150 feet shall have provisions for fire apparatus turnaround as listed and illustrated in Appendix D of the IFC.

Review Comments:

Fire Comments:

Contact: Jeremy.Hicks@mercerisland.gov or 206-275-7966.
1. Basic notes regarding the Fire Review and evaluation processes have been provided below. There are several hyperlinks that may be used to help guide you through this process. All this

PLEASE NOTE: These pre-application meeting notes have been prepared to assist the applicant in completing and submitting the application in a manner that complies with applicable development standards and permit processing requirements.

- i. installation of utilities shall be the minimum necessary for final plat approval of the long or short subdivision.
ii. An existing lot, created through the final plat approval of a long or short subdivision, shall be a condition precedent for determination of complete application for a building permit to construct a new single-family dwelling.
1. In other words, only one building permit application for a new single-family dwelling could be accepted and reviewed by the city prior to the recording of the final plat.

- 3. Critical area constraints
a. The City of Mercer Island GIS shows that there are landslide hazard areas and erosion hazard areas on the western portion of the subject lot.
b. General review requirements - alteration within geologically hazardous areas or associated buffers is required to meet the standards in this section, unless the scope of work is exempt pursuant to MIRC 19.07.120, or a critical area review 1 approval has been obtained.
i. When an alteration within a landslide hazard area, seismic hazard area or buffer associated with those hazards is proposed, the applicant must submit a critical area study concluding that the proposal can effectively mitigate risks of the hazard. The study shall recommend appropriate design and development measures to mitigate such hazards. The code official may waive the requirement for a critical area study and the requirements of MIRC 19.07.160(B)(2) and (3) when he or she determines that the proposed development is minor in nature and will not increase the risk of landslide, erosion, or harm from seismic activity, or that the development site does not meet the definition of a geologically hazardous area.

- ii. Alteration of landslide hazard areas and seismic hazard areas and associated buffers may occur if the critical area study documents find that the proposed alteration:
1. Will not adversely impact other critical areas;
2. Will not adversely impact the subject property or adjacent properties;
3. Will mitigate impacts to the geologically hazardous area consistent with best available science to the maximum extent reasonably possible such that the site is determined to be safe; and
4. Includes the landscaping of all disturbed areas outside of building footprints and installation of hardscape prior to final inspection.

- iii. Alteration of landslide hazard areas, seismic hazard areas and associated buffers may occur if the conditions listed in MIRC 19.07.160(B)(2) are satisfied and the geotechnical professional provides a statement of risk making one of the following:
1. An evaluation of site-specific surface conditions demonstrates that the proposed development is not located in a landslide hazard area or seismic hazard area;
2. The landslide hazard area or seismic hazard area will be modified or the development has been eliminated or mitigated such that the risk to the site and adjacent property is eliminated or mitigated such that the site is determined to be safe;
3. Construction practices are proposed for the alteration that would render the development as safe as if it were not located in a geologically hazardous area and do not adversely impact adjacent properties; or
4. The development is so minor as not to pose a threat to the public health, safety and welfare.

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Land Use Decisions

Table with 3 columns: Type of Review, Target, and Staff Report / Decision (following completion of review). Rows include Completeness Review (4 weeks), First review (6-12 weeks), Second and subsequent reviews (6-12 weeks), Staff Report / Decision (3-4 weeks), Single Family Residential (First Review 8-12 weeks, Second Review 3 weeks, Third and subsequent reviews 2 weeks, Revisions 2-3 weeks, Express Reviews 4 weeks).

For more information on Land Use and Planning please refer to this useful webpage: https://www.mercerisland.gov/cpd/pdfs/land-use-application-forms-and-submittal-requirements

information is consolidated in the city's Developer Manual (Please remember that this is a guide and all information shall be verified with state and local adopted code).

- 2. Fire Access
a. Access roads (defined under IFC 202) under 500 feet in length are required to be 20 feet in width. Access roads over 500 feet in width are required to be 26 feet in width. (IFC 503.2.1, D103.1, MIRC 17.07.020)
i. 90th Ave SE is over 500 feet long, but only 20 feet wide. This will result in a deficiency in any home built on 90th Ave SE.
ii. It is recommended that the access for the 4 lots be widened to 20 feet for the first two easterly properties. Access roads shall be 20 feet wide within 150 feet of the furthest corner of the hazardous. This would require the plat to have 20-foot roadways to the two easterly properties.
b. Minimum driveway widths for planning purposes are outlined in MIRC 19.09.040.
i. All driveways under 150 feet in length from the furthest corner shall conform to this standard. In this situation, the furthest corner would be located on the two west properties.
ii. Please see Section 5 of the Planning Comments below.
c. Grade shall not exceed 10%. Grades over 10% but under 20% (maximum) may be evaluated for code alternative requests. (IFC 503.2.7)
d. Length shall not exceed 150 feet from the furthest portion of the building as one would walk. (IFC 503.2.1)
e. The surface of the access road shall be able to withstand an imposed load of 75,000 pounds and be constructed of asphalt. If the grade exceeds 15%, the surface shall be brushed concrete. (IFC D102.1, MIRC 19.09.040)
f. Fire access roads, private access roads, and driveways in excess of 150 feet shall have provisions for fire apparatus turnaround as listed and illustrated in Appendix D of the IFC.

- 3. Fire Flow (Hydrants)
a. A hydrant capable of flowing the required fire flow as outlined in the International Fire Code, Appendix B shall be located within the furthest portion of the building, or 600 feet for a building with an approved sprinkler system.
b. Nearest hydrant to furthest Northwest property status:
i. F4-10
ii. 1602gpm at 58 psi
1. Fire Flow Requirements
iii. Distance to furthest point of northwest home: 295 feet
iv. Distance to access: 145 to northwest driveway

- 4. Sprinklers
a. All new construction and alterations over 50% valuation are required to install a minimum of a NFPA 134 fire sprinkler system.
b. Decreased fire flow, access, grade, or building size may require the installation of a NFPA 13r or 13 sprinkler system.
c. Water meter sizing is required for the installation of a fire sprinkler system.
5. Fire Alarm Systems
a. NFPA 72 Monitored Fire Alarm systems may be required as a part of mitigation for deficiencies as listed above or may be proposed as a code alternative.
6. Fire code alternatives

PLEASE NOTE: These pre-application meeting notes have been prepared to assist the applicant in completing and submitting the application in a manner that complies with applicable development standards and permit processing requirements.

PLEASE NOTE: These pre-application meeting notes have been prepared to assist the applicant in completing and submitting the application in a manner that complies with applicable development standards and permit processing requirements.

- c. Development standards - Landslide hazard areas. Development is allowed within landslide hazard areas and associated buffers, when the following standards are met:
i. A critical area study shall be required for any alteration of a landslide hazard area or associated buffer.
ii. Buffers shall be applied as follows. When more than one condition applies to a site, the most restrictive shall apply.
1. Step slopes: Buffer widths shall be equal to the height of a steep slope, but not more than 75 feet, and applied to the top and toe of slopes.
2. Shallow landslide hazard areas shall have minimum 25-foot buffers applied in all directions.
3. Deep-seated landslide hazard areas shall have 75-foot buffers applied in all directions.
d. Development standards - Erosion hazard areas.
i. All development proposals shall demonstrate compliance with Chapter 15.09 MIRC, storm water management program.
ii. No development or activity within an erosion hazard area may create a net increase in geological instability on or off site.

- 4. State Environmental Policy Act (SEPA) Review
a. This proposal is exempt from SEPA under WAC 197-11.8006(d) as it involves a short subdivision for which the resulting lots do not exceed the total lots allowed under RCW 58.17.020 (four or fewer lots).
5. Private access roads and driveways.
a. All private access roads serving three or more single-family dwellings shall be at least 20 feet in width.
b. All corners shall have a minimum inside turning radius of 28 feet.
c. All private access roads in excess of 150 feet in length, measured along the centerline of the access road from the edge of city street to the end of the access road, shall have a turnaround with an inside turning radius of 28 feet.

- 6. Building pads
a. New subdivisions shall designate a building pad for each lot as follows:
i. The building pad shall be located to minimize or prevent impact as indicated in the following:
1. Removal of trees and vegetation required for retention pursuant to Chapter 19.10 MIRC shall be prevented.
2. Disturbance of the existing, natural topography as a result of anticipated development within the building pad shall be minimized.
3. Impacts to critical areas and critical area buffers shall be minimized, consistent with the provisions of Chapter 19.07 MIRC.
4. Access to the building pad shall conform with the standards contained in MIRC 19.09.040.
ii. Building pads shall not be located within:
1. Required front, rear, or side yard setbacks.

- PLEASE NOTE: These pre-application meeting notes have been prepared to assist the applicant in completing and submitting the application in a manner that complies with applicable development standards and permit processing requirements.

Regards

PLEASE NOTE: These pre-application meeting notes have been prepared to assist the applicant in completing and submitting the application in a manner that complies with applicable development standards and permit processing requirements.

PLEASE NOTE: These pre-application meeting notes have been prepared to assist the applicant in completing and submitting the application in a manner that complies with applicable development standards and permit processing requirements.

Revisions

No. Date By

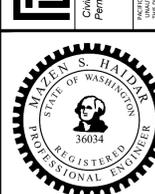
Project 4833 MI - 4 Lot Short Plat

City PRE22-028 Notes

Plan Plotted For: Initial Submittal



Civil Engineering, Development Services, Land Use Consulting, Permit Expediting Services, Inspection Services, Expert Witness, etc.



Date: 11/01/2022 STAMP IS NOT VALID UNLESS SIGNED AND DATED

Job Number: 220520 - PLE - 2211

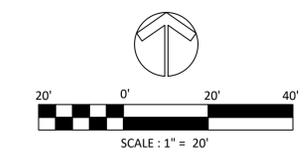
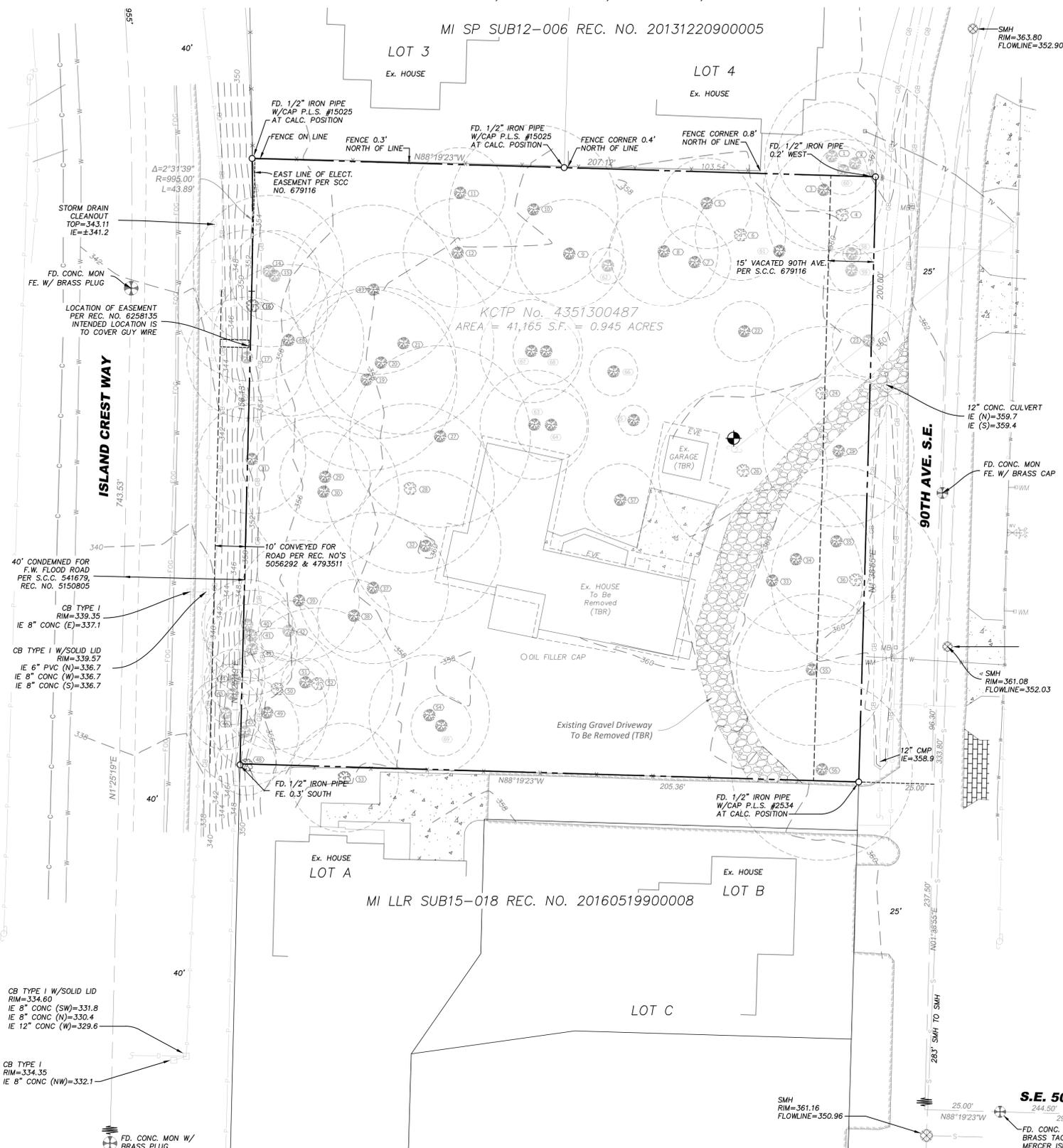
DWG Date: 11/01/2022

Sheet No. C - 1.1

OF C - 6.0



SEC. 19, T.24N., R.5E., W.M.



- LEGEND:**
- = POWER POLE
  - = GUY POLE
  - = GUY ANCHOR
  - = OVERHEAD POWER
  - = FIRE HYDRANT
  - = WATER VALVE
  - = WATER METER
  - = WATER LINE (PAINTED LOCATION)
  - = UNDERGROUND COMMUNICATION (PAINTED LOCATION)
  - TV = TELEVISION RISER
  - TV = UNDERGROUND TELEVISION (PAINTED LOCATION)
  - = CATCH BASIN
  - = STORM DRAIN LINE/ CULVERT
  - = GAS VALVE
  - = UNDERGROUND GAS LINE (PAINTED LOCATION)
  - SMH = SEWER MANHOLE
  - = SEWER LINE
  - MB = MAIL BOX
  - = EVERGREEN TREE
  - = DECIDUOUS TREE
  - = WOOD BOARD FENCE LINE
  - FOG = FOG LINE (LANE STRIPE)
  - = DITCH LINE
  - GB = GRADE BREAK
  - = EDGE OF PAVEMENT/CURB LINE
  - = CONCRETE
  - = CONCRETE PAVERS
  - = GRAVEL
  - ⊙ = TBM = 600 SPIKE IN POWER POLE ELEV = 361.47 (NAVD 1988)

- TOPOGRAPHY SURVEY NOTES:**
- BASIS OF BEARINGS IS THE WASHINGTON STATE PLANE COORDINATE SYSTEM, N.A.D. 1983/2011, BASED ON GPS TIES TO THE WASHINGTON STATE REFERENCE NETWORK (WSRN).
  - ELEVATION DATUM IS N.A.V.D. 1988 BASED ON GPS TIES TO THE WSRN.
  - FIELD WORK WAS DONE IN MARCH OF 2022 USING A TRIMBLE R8 GNSS GPS RECEIVER, AND A SPECTRA PRECISION FOCUS 35 ROBOTIC TOTAL STATION IN ACCORDANCE WITH W.A.C. 332-130.
  - THE PURPOSE OF THIS SURVEY IS TO PROVIDE A BASE MAP FOR CIVIL ENGINEERING DESIGN.
  - THE CONTOURS SHOWN ARE DERIVED FROM DIRECT FIELD OBSERVATIONS. THE CONTOUR INTERVAL IS 2.0 FEET AND THE CONTOUR ACCURACY IS ONE HALF OF THE INTERVAL (±1.0 FEET).
  - PROPERTY LINES SHOWN ARE BASED ON A FIELD SURVEY.
  - THE LEGAL DESCRIPTION AND MATTERS OF RECORD ARE TAKEN FROM FIDELITY NATIONAL TITLE INSURANCE COMPANY, CERTIFICATE NUMBER 611311326, DATED FEBRUARY 10, 2022 AT 8:00 AM.
  - THE UNDERGROUND UTILITIES SHOWN ARE BASED ON A COMBINATION OF PAINT MARKS PROVIDED BY APPLIED PROFESSIONAL SERVICES, INC. AND THE SURVEYED LOCATION OF OBVIOUS SURFACE FEATURES. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST ON AND AROUND THIS SITE.  
Call Before You Dig  
811 OR 1-800-424-5555

- REFERENCE SURVEYS:**
- R1. PLAT OF LINDLEY ADDITION TO SEATTLE, VOL. 3 PG. 103.
  - R2. MERCER ISLAND SHORT PLAT SUB12-0006, REC. NO. 20131220900005.
  - R3. MERCER ISLAND BOUNDARY LINE REVISION, REC. NO. 20160519900008.

**MATTERS OF RECORD:**  
THE HEREIN DESCRIBED PROPERTY IS SUBJECT TO THE FOLLOWING EASEMENTS AND ENCUMBRANCES OF RECORD:

- COVENANTS, CONDITIONS, RESTRICTIONS, RESERVATIONS EASEMENTS AND OTHER TERMS AND CONDITIONS SHOWN ON LINDLEY ADDITION TO SEATTLE PER RECORDING NO. 32487
- RIGHT TO MAKE NECESSARY SLOPES FOR CUTS AND FILLS FOR FRANK W. FLOOD ROAD RECORDED IN VOLUME 29 ON PAGE 345 OF COMMISSIONER'S RECORDS.
- EASEMENT FOR WATER PIPELINE AND WATER SERVICE PER RECORDING NO. 3786695 (EXACT LOCATION IS NOT SPECIFIED).
- RIGHT TO MAKE NECESSARY SLOPES FOR CUTS AND FILLS PER RECORDING NO'S 4793511 AND 5056292.
- EASEMENT CONDEMNED IN KING COUNTY SUPERIOR COURT AND THE TERMS AND CONDITIONS THEREOF FOR ELECTRIC TRANSMISSION AND/OR DISTRIBUTION LINES PER CAUSE NO. 679116.
- EASEMENT CONDEMNED IN KING COUNTY SUPERIOR COURT AND THE TERMS AND CONDITIONS THEREOF FOR WATER PIPELINES PER CAUSE NO. 679116 (EXACT LOCATION IS NOT SPECIFIED).
- DECREE OF APPROPRIATION ENTERED IN KING COUNTY CAUSE NO. 541679 AND THE TERMS AND CONDITIONS THEREOF PER RECORDING NO. 5150805.
- EASEMENT FOR PUGET SOUND POWER AND LIGHT COMPANY GUY WIRE AND ANCHOR PER RECORDING NO. 6258135.
- NOTICE OF ADDITIONAL TAP AND CONNECTION CHARGES AND THE TERMS AND CONDITIONS THEREOF PER RECORDING NO. 7712060812.
- COVENANTS, CONDITIONS RESTRICTIONS, RECITALS, EASEMENTS AND OTHER TERMS AND CONDITIONS SHOWN ON MERCER ISLAND LOT LINE REVISION SUB15-018 PER RECORDING NO. 20160519900008.

**LEGAL DESCRIPTION:**  
THE NORTH 200 FEET OF THE SOUTH 400 FEET OF VACATED BLOCK 4, LINDLEY ADDITION TO SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 3 OF PLATS, PAGE 103, RECORDS OF KING COUNTY, WASHINGTON.  
TOGETHER WITH THAT PORTION OF VACATED 90TH AVENUE ADJOINING PURSUANT TO KING COUNTY SUPERIOR COURT CAUSE NO. 679116.  
EXCEPT THE WEST 10 FEET THEREOF CONVEYED TO KING COUNTY FOR ROAD BY DEEDS RECORDED UNDER RECORDING NO. 5056292 AND RECORDING NO. 4793511.  
AND EXCEPT THAT PORTION THEREOF APPROPRIATED IN KING COUNTY SUPERIOR COURT CAUSE NO. 541679, RECORDED UNDER RECORDING NO. 4793511.

**SURVEYOR'S CERTIFICATE:**  
THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE SURVEY RECORDING ACT AT THE REQUEST OF HOME LINK CAPITAL LLC  
1M MARCH OF 2022

ROBERT J. BOGDON  
CERTIFICATE NO. 33487

**Property Owner:**

Mr. Jintao (Adison) Cui  
Home - Link Capital LLC  
7683 SE 27th Street, Unit 186  
Mercer Island, WA 98040  
Email: adisoncui@outlook.com  
(206) 265 - 0810

**Project Contact:**

Mr. Jintao (Adison) Cui  
Home - Link Capital LLC  
7683 SE 27th Street, Unit 186  
Mercer Island, WA 98040  
Email: adisoncui@outlook.com  
(206) 265 - 0810

**Existing Site Data:**

Parcel Number: 4351300487  
Parcel Address: 4833 90th Ave. SE  
Mercer Island, WA 98040  
Zoning: R - 8.5  
Total Parcel Area (per survey): 41,165 s.f. = 0.945 Acre  
  
Total Existing Impervious Surfaces = 5,862.0 sf  
Percentage of Existing Impervious Surfaces = 14.2 %  
Total Existing Pervious Surfaces = Grass 4,632.0 sf + Forest 30,671.0 sf = 35,303.0 sf  
Percentage of Existing Pervious Surfaces = 85.8 %

**Zoning Requirements:**

- Min. Lot Width Required: 60'
- Min. Lot Depth Required: 80'
- Min. Lot Area Required: 8,400 s.f.
- Max. Lot Coverage: 40%
- Required Landscape: 60%
- Required Front Yard Setback: 20'
- Required Rear Yard Setback: 25'
- Minimum Side Yard Setback: 7.5'
- Minimum Total Side Yard Setback: 15'

**Existing Site Slope Calculations:**

(Grade 330 - Grade 354) / 207' = 2.90 %

See Sheet C-2.1 for Trees Table

- |   |  |   |  |
|---|--|---|--|
| <b>Mercer Island Fire Department</b><br>4160 86th Ave SE<br>Mercer Island, WA 98040<br>(206) 236 - 3330 | <b>Telephone and Cable</b><br>Comcast<br>P. O. Box 60533<br>City of Industry, CA 91716<br>(800) 934 - 6489           | <b>Project Engineer:</b><br>Mazen Haidar, PE<br>Pacific Land Engineering<br>mazen@pacificlandwa.com<br>(206) 615 - 6160 | <b>Project Surveyor:</b><br>Robert Bogdon, PLS<br>Eastside Consultants, Inc.<br>1320 N.W. Mall Street, Suite B<br>(425) 392 - 5351 |
| <b>Mercer Island School District</b><br>4160 86th Ave SE<br>Mercer Island, WA 98040<br>(206) 236 - 3330 | <b>Power and Gas Source</b><br>Puget Sound Energy (PSE)<br>P. O. Box 91269<br>Bellevue, WA 98009<br>(888) 321 - 7779 | <b>Water Purveyor</b><br>City of Mercer Island<br>9611 SE 36th Street<br>Mercer Island, WA 98040<br>(206) 275 - 7602    | <b>Sewer Purveyor</b><br>King County<br>201 South Jackson Street<br>Seattle, WA 98104<br>(206) 296 - 1450                          |

Revisions	No.	Date	By

Project 4833 MI\_4 - Lot Short Plat  
Existing Site Condition Plan

Plan Plotted For:  
Initial Submittal

**PACIFIC LAND ENGINEERING**  
Civil Engineering, Development Services, Land Use Consulting  
Permit Expediting Services, Inspection Services, Expert Witness  
Bellevue, WA - www.pacificlandwa.com  
info@pacificlandwa.com (425) 392-5351  
CALL BEFORE YOU DIG  
811 OR 1-800-424-5555



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Job Number: 220520 - PLE - 2211  
DWG Date: 11 / 01 / 2022

Sheet No.  
C - 2.0  
C - 6.0

ENGINEERS - SURVEYORS  
**EASTSIDE CONSULTANTS, INC.**  
1320 N.W. MALL ST., SUITE B  
ISSAQUAH, WASHINGTON 98027  
PH: (425) 392-5351 FAX: 392-4676

INDEX LOCATION  
SEC. 19, T.24N., R.5E., W.M.  
19

Tree Assessment																			
Site: Homelink Capital, 4833 - 90th Ave SE, Mercer Island, WA																		Date: 4/20/2022	
Tag #	Tree #	Species	DBH (in)	Height (ft)	Crown (%)	N	S	E	W	Root Zone (ft)	Root Zone (ft)	Yield	Visible	Structure	Visible	Large	Exempt	Comments	
On Site																			
575	3	Bignonia	22.5	90	50	22	30	22	20	24	12	Good	Good	Yes	✓				
571	4	Douglas-fir	14.5	113	40	18	22	18	20	20	10	Good	Fair	Yes	✓				Sweep March
765	5	Pacific madrone	18.6	70	50	22	10	8	24	12	8	Good	Good	Yes	✓				
755	6	W. red cedar	0	0	0	0	0	0	0	0	0								Clie down
752	7	Bignonia	7.5	40	20	0	15	11	6	8	4	Fair	Fair	No					Leaves, broken top
753	8	Bignonia	12.1	50	20	0	18	0	14	9	4	Poor	Poor	No					Asymetric, leans south
757	9	Bignonia	20.9	50	20	0	14	0	28	11	5	Poor	Poor	No					Hollow, top out
758	10	Black cottonwood	28.7	120	40	16	30	26	36	32	16	Good	Good	Yes	✓				dry
778	11	Pacific madrone	11.9	40	10	2	4	4	0	3	1	Poor	Poor	No					Top out, small crown, minor decay
796	12	Pacific madrone	18.9	80	30	50	0	6	4	11	5	Fair	Fair	No					Dying, good limbs
797	13	Bignonia	18.5	75	40	20	14	24	22	20	10	Good	Good	Yes	✓				Two codominant limbs @ 4ft - small codomin decay
798	14	Bignonia	0	0	0	0	0	0	0	0	0								Clie down
799	15	Bignonia	14.5	40	10	6	4	4	4	3	2	Poor	Fair	No					Dying, good limbs
836	16	Douglas-fir	17.5	30	40	14	17	8	14	14	7	Fair	Poor	No					Topped for utilities, overhang Island Crest
788	18	Pacific madrone	20.1	45	20	6	8	12	12	10	5	Fair	Fair	Yes	✓				dry
849	19*	Bignonia	19.6	55	60	8	20	4	22	14	7	Good	Good	Yes	✓				
850	20*	Holly	12.7	40	60	16	16	16	16	16	8	Good	Good	Yes	✓				
851	21	Bignonia	21.2	80	30	30	8	4	4	12	6	Good	Fair	Yes	✓				Adjacent to imp, decay, dying
742	22	Bald cedar	12.5	30	40	8	24	0	24	14	0	Poor	Fair	No					Clie down
402	23	Bald cedar	9	0	0	0	0	0	0	0	0								
401	24	W. red cedar	23.5	55	100	16	16	16	16	16	8	Good	Good	Yes	✓				
404	25*	Bignonia	19.6	55	70	20	20	20	20	20	10	Good	Good	Yes	✓				
628	26	Douglas-fir	35.6	123	80	26	26	26	26	24	13	Good	Good	Yes	✓				
854	27*	Bignonia	12.9	90	60	28	28	24	30	30	15	Good	Good	Yes	✓				
855	28	W. red cedar	19.1	80	90	24	24	24	24	24	12	Fair	Fair	Yes	✓				This crown
847	29	Pacific madrone	10.4	50	20	24	6	18	0	12	6	Fair	Fair	No					This crown
846	30*	Bignonia	23.0	70	40	24	18	16	10	19	9	Good	Good	Yes	✓				Pruned for utility lines

Tree Assessment																			
Site: Homelink Capital, 4833 - 90th Ave SE, Mercer Island, WA																		Date: 4/20/2022	
Tag #	Tree #	Species	DBH (in)	Height (ft)	Crown (%)	N	S	E	W	Root Zone (ft)	Root Zone (ft)	Yield	Visible	Structure	Visible	Large	Exempt	Comments	
On Site																			
846	31	Douglas-fir	15.7	25	60	14	14	14	14	14	7	Good	Fair	Yes	✓				Topped for utility lines
856	32*	Bignonia	20.3	90	60	18	30	28	28	26	13	Good	Fair	Yes	✓				Snaker codominant
434	33	Pacific madrone	28.1	80	60	12	35	0	40	22	11	Good	Good	Yes	✓				Leaves wet
433	34	Bignonia	25.1	80	30	14	18	0	25	14	7	Fair	Fair	Yes	✓				Small codominant & dead
431	35*	Bignonia	31.6	80	40	28	32	20	26	27	13	Fair	Poor	No					Pruned on main stem, hole under lamp
432	36	Douglas cedar	15.4	90	80	7	14	14	14	14	7	Good	Good	Yes	✓				
845	37	Bignonia	17.4	90	30	30	20	0	28	21	11	Good	Good	Yes	✓				
881	38	Bignonia	7.1	80	20	0	16	16	0	8	4	Good	Poor	Yes	✓				
866	39*	Bignonia	21.2	60	20	14	6	6	5	8	4	Fair	Good	No					Pruned for utility lines, low crown ratio
885	40	Pacific madrone	7.3	20	30	12	2	0	10	6	3	Good	Fair	Yes	✓				Hangs over Island Crest
886	41	Pacific madrone	16.0	20	30	14	0	0	14	10	5	Good	Fair	Yes	✓				Topped for utilities
885	42	Pacific madrone	6.7	20	20	6	0	0	16	6	3	Good	Fair	Yes	✓				Topped for utilities
887	43	Pacific madrone	9.4	20	30	2	4	2	10	5	3	Good	Fair	Yes	✓				Topped for utilities
890	47*	Pacific madrone	18.3	20	20	6	5	0	12	6	3	Poor	Poor	No					Topped for utilities, low crown ratio
884	49*	Bignonia	18.7	80	40	18	26	12	18	19	9	Good	Good	Yes	✓				
883	50	Douglas-fir	26.1	85	30	14	14	14	14	14	7	Good	Good	Yes	✓				
845	51	Bignonia	11.1	35	10	1	0	0	0	0	0	Poor	Fair	No					Low crown ratio
882	52*	Bignonia	21.9	80	40	23	28	28	6	21	11	Good	Good	Yes	✓				
889	54*	Pacific madrone	15.9	80	60	16	8	11	8	10	5	Good	Good	Yes	✓				
425	55	Bignonia	22.0	80	70	20	24	20	28	23	12	Good	Good	Yes	✓				dry
437	56*	Bignonia	36.9	85	70	25	30	23	26	26	13	Fair	Fair	Yes	✓				10% dead limbs
991	57	Dogwood	6.4	18	90	9	9	9	9	9	5	Good	Good	Yes	✓				
1001	58	Sandwich Willow	9.5	35	20	0	6	3	3	3	2	Poor	Poor	No					ivy, top broken out
1002	59	Sandwich Willow	9.2	35	40	5	8	15	0	7	4	Poor	Poor	No					ivy, ground level, leans over utilities
1006	61	Bignonia	8.5	16	10	0	3	0	0	1	0	Poor	Poor	No					Beam broken
1005	62	Bitter cherry	8.5	45	50	12	12	12	12	12	6	Good	Good	Yes	✓				
1003	63	Pacific madrone	25.2	90	70	0	36	28	18	19	9	Good	Good	Yes	✓				

Tree Assessment																			
Site: Homelink Capital, 4833 - 90th Ave SE, Mercer Island, WA																		Date: 4/20/2022	
Tag #	Tree #	Species	DBH (in)	Height (ft)	Crown (%)	N	S	E	W	Root Zone (ft)	Root Zone (ft)	Yield	Visible	Structure	Visible	Large	Exempt	Comments	
On Site																			
1007	44	Pacific madrone	8.3	20	20	4	3	24	0	8	4	Poor	Poor	No					Dry, 20% dead limbs
1004	45	Common Hawthorn	4.1	14	60	10	12	10	8	10	5	Good	Good	Yes	✓				
1009	66	Bitter cherry	10.1	45	40	16	6	12	11	5	Fair	Fair	No						30% dead limbs
1010	67	Bignonia	15.4	80	30	0	12	0	34	12	6	Good	Fair	Yes	✓				
1011	68	Pacific madrone	18.1	80	20	0	14	0	5	5	Fair	Good	Yes	✓					Low crown ratio
1012	69	Bitter cherry	14.8	80	60	18	16	20	8	16	8	Good	Good	Yes	✓				
Off Site																			
769	1	Bignonia	15.4	60	20	10	3	0	16	7	4	Good	Good	Yes	✓				Asymetric
768	2	Bignonia	25.5	60	60	36	18	36	22	28	14	Good	Fair	Yes	✓				Leans northeast
1017	17	Bignonia	8.4	22	30	3	14	10	12	10	5	Good	Poor	No					Topped for utilities, overhang Island Crest
964	44	Pacific madrone	5.6	20	20	4	2	0	8	4	2	Fair	Fair	Yes	✓				Topped for utilities
965	45	Pacific madrone	7.2	25	30	8	4	0	8	5	3	Good	Fair	Yes	✓				Topped for utilities
966	46	W. red cedar	5.0	22	70	4	5	2	0	4	2	Good	Good	Yes	✓				
891	48	Douglas-fir	6.8	18	20	6	6	4	6	3	Poor	Poor	No						Topped for utilities, low crown ratio
709	53	Douglas-fir	15.0	75	80	16	10	6	10	6	3	Good	Fair	Yes	✓				Sweep
1003	60	Bignonia	16.1	70	30	0	16	16	0	8	4	Good	Fair	Yes	✓				
* multiple stems converted to single																			

Existing On-Site Trees in Poor Conditions per Arborist Report Prepared by Thomas Hanson of ARBOR INFO LLC Dated April 20th, 2022 To Be Removed

Tree #	Tree Tag #
35	631
38	881
47	890
58	1001
59	1002
61	1004
8	763
9	767
11	778
16	836
64	1007
17	837
48	891

**NOTE**

The Above Trees Table Was Prepared By Licensed Arborist Thomas Hanson of ARBOR INFO LLC Report Dated April 20th, 2022. Please Refer to Full Version Of This Report Included With The Application Submittal.

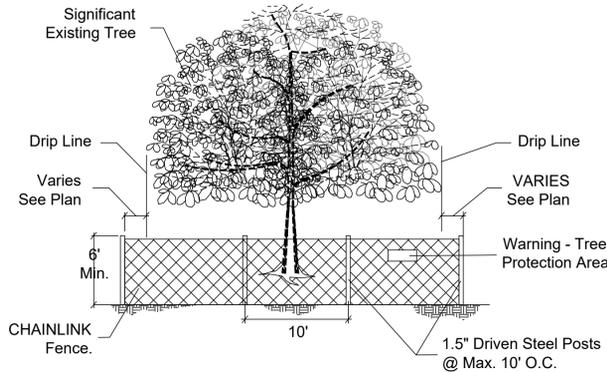
**NOTE**

As mentioned by city staff during the per-application conference, in the event the number of proposed trees to be removed is above the maximum allowable by City Code the project owner(s) will be charged \$ 900 fee for every tree to be removed. To this end, the project owner is willing to pay the \$ 900.0 fee per tree to be removed beyond the maximum allowable.

Revisions	No.	Date	By

SEC. 19, T.24N., R.5E., W.M.

MI SP SUB12-006 REC. NO. 20131220900005

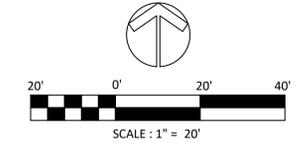
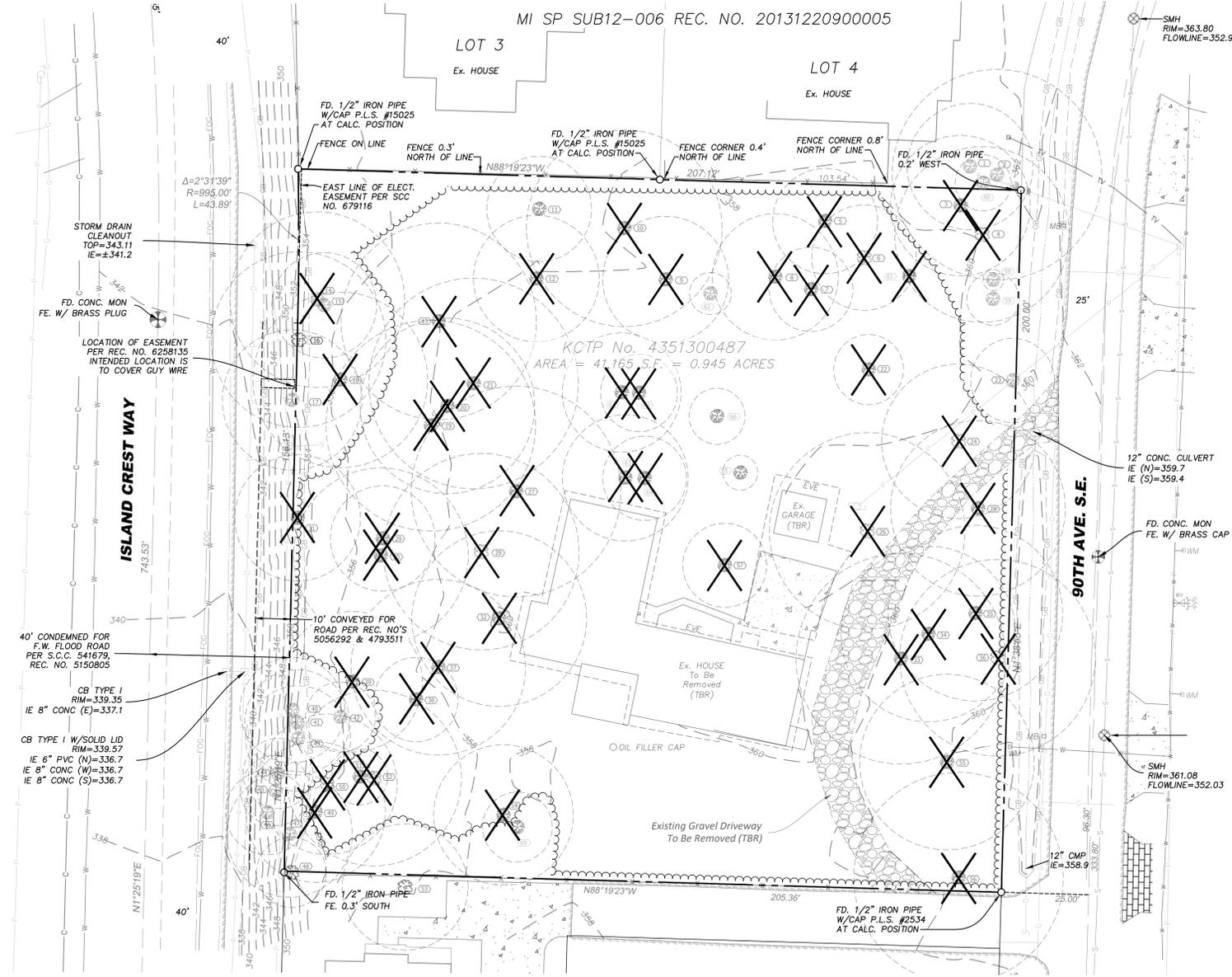


**Tree Protection Detail**

N.T.S.

**NOTES:**

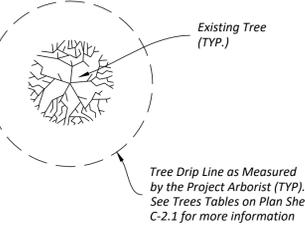
- MINIMUM SIX (6) FOOT HIGH TEMPORARY CHAINLINK FENCE SHALL BE PLACED AT DISTANCE OF GENERALLY TWO (2) FEET OUTSIDE THE DRIP LINE OF THE SIGNIFICANT TREE(S). FENCE SHALL COMPLETELY ENCLOSE TREE(S). INSTALL POSTS USING 1.5-INCH STEEL POSTS DRIVEN 2- FEET INTO THE GROUND.
- MOVABLE BARRIERS OF CHAIN LINK FENCING SECURED TO THE CEMENT BLOCKS MAY BE SUBSTITUTED FOR "FIXED" FENCING IF THE PROJECT ARBORIST AND CITY STAFF AGREE THAT THE FENCING WILL HAVE TO BE MOVED TO ACCOMMODATE CERTAIN PHASES OF THE CONSTRUCTION. MODIFICATIONS TO FENCING MATERIAL AND LOCATION MUST BE APPROVED BY PLANNING OFFICIAL AND PROJECT ARBORIST.
- THE FENCING CAN BE MOVED WITHIN THE DRIP LINE OF THE TREE IF AUTHORIZED BY THE CLEARING AND GRADING INSPECTOR AND THE PROJECT ARBORIST BUT NOT CLOSER THAN 2' FROM THE TRUNK OF THE TREE. ONLY EXCAVATION BY HAND OR COMPRESSED AIR SHALL BE ALLOWED WITHIN THE DRIP LINE OF THE TREES. MACHINE TRENCHING SHALL BE ALLOWED.
- TREATMENT OF ROOTS EXPOSED DURING CONSTRUCTION: FOR ROOTS OVER TWO (2) INCH IN DIAMETER DAMAGED DURING CONSTRUCTION, MAKE A CLEAN STRAIGHT CUT TO REMOVE DAMAGED PORTION OF THE ROOT. ALL EXPOSED ROOTS SHALL BE TEMPORARY COVERED WITH DAMP BURLAP TO PREVENT DRYING AND COVERED WITH SOIL AS SOON AS POSSIBLE.
- NO STOCKING OF MATERIALS, VEHICULAR TRAFFIC, OR STORAGE OF EQUIPMENT OR MACHINERY SHALL BE ALLOWED WITHIN THE LIMIT OF THE FENCING. WORK WITHIN PROTECTION FENCE SHALL BE DONE MANUALLY UNDER THE SUPERVISION OF THE ON-SITE ARBORIST AND WITH PRIOR APPROVAL BY THE CITY PLANNING OFFICIAL.
- FENCING SIGNAGE AS DETAILED ABOVE MUST BE POSTED EVERY FIFTEEN ALONG THE FENCE. THE SIGN SHALL BE MINIMUM OF 8.5-INCHES BY 11-INCHES.



**LEGEND:**

- = POWER POLE
- = GUY POLE
- = GUY ANCHOR
- = OVERHEAD POWER
- = FIRE HYDRANT
- = WATER VALVE
- WM = WATER METER
- = WATER LINE (PAINTED LOCATION)
- = UNDERGROUND COMMUNICATION (PAINTED LOCATION)
- TV = TELEVISION RISER
- = UNDERGROUND TELEVISION (PAINTED LOCATION)
- CB = CATCH BASIN
- = STORM DRAIN LINE/ CULVERT
- = GAS VALVE
- = UNDERGROUND GAS LINE (PAINTED LOCATION)
- SMH = SEWER MANHOLE
- = SEWER LINE
- MB = MAIL BOX
- = EVERGREEN TREE
- = DECIDUOUS TREE
- = WOOD BOARD FENCE LINE
- = FOG LINE (LANE STRIPE)
- = DITCH LINE
- = GRADE BREAK
- = EDGE OF PAVEMENT/CURB LINE
- = CONCRETE
- = CONCRETE PAVERS
- = GRAVEL
- = TBM = 800 SPIKE IN POWER POLE ELEV = 361.47 (NAVD 1988)

Site Limits Of Disturbance (LOD)



**Existing On-Site Trees in Poor Conditions per Arborist Report Prepared by Thomas Hanson of ARBOR INFO LLC Dated April 20th, 2022 To Be Removed**

Tree #	Tree Tag #
35	631
38	881
47	890
58	1001
59	1002
61	1004
8	763
9	767
11	778
16	836
64	1007
17	837
48	891

- NOTE:**
- Total Existing Off Site Trees to Remain = 3
  - Total Existing On-site Trees = 66
  - Total Existing On-Site Trees in Poor Conditions = 13
  - Total Existing On-Site Viable Trees = 66 - 13 = 53
  - Total Existing On-Site Viable Trees to be Removed = 32
  - Total Existing On-Site Viable Trees to Remain = 53 - 32 = 21
  - Percentage of Existing Trees to Remain = 21 / 53 = 39.6 % > 25% OK

**NOTE:**  
Refer to Plan Sheet C - 2.1 for trees table information provided by the project Arborist.

**NOTE**

As mentioned by city staff during the per-application conference, in the event the number of proposed trees to be removed is above the maximum allowable by City Code the project owner(s) will be charged \$ 900 fee for every tree to be removed. To this end, the project owner is willing to pay the \$ 900.0 fee per tree to be removed beyond the maximum allowable.



Revisions	No.	Date	By

**Project 4833 MI \_ 4 - Lot Short Plat**  
**Trees Protection Plan**

Plan Plotted For :  
**Initial Submittal**

**PACIFIC LAND ENGINEERING**  
Civil Engineering, Development Services, Land Use Consulting, Permit Expediting Services, Inspection Services, Expert Witness  
Bellevue, WA - www.pacificlandeng.com  
info@pacificlandeng.com (425) 875-8769

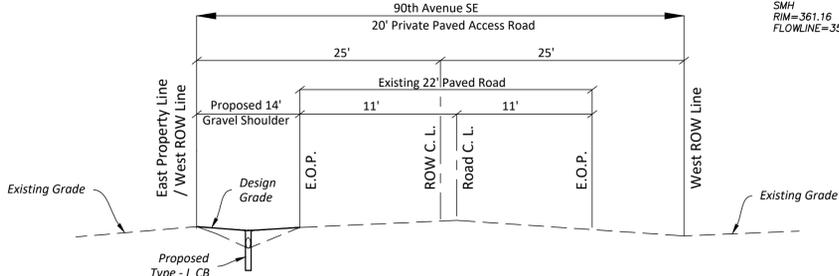
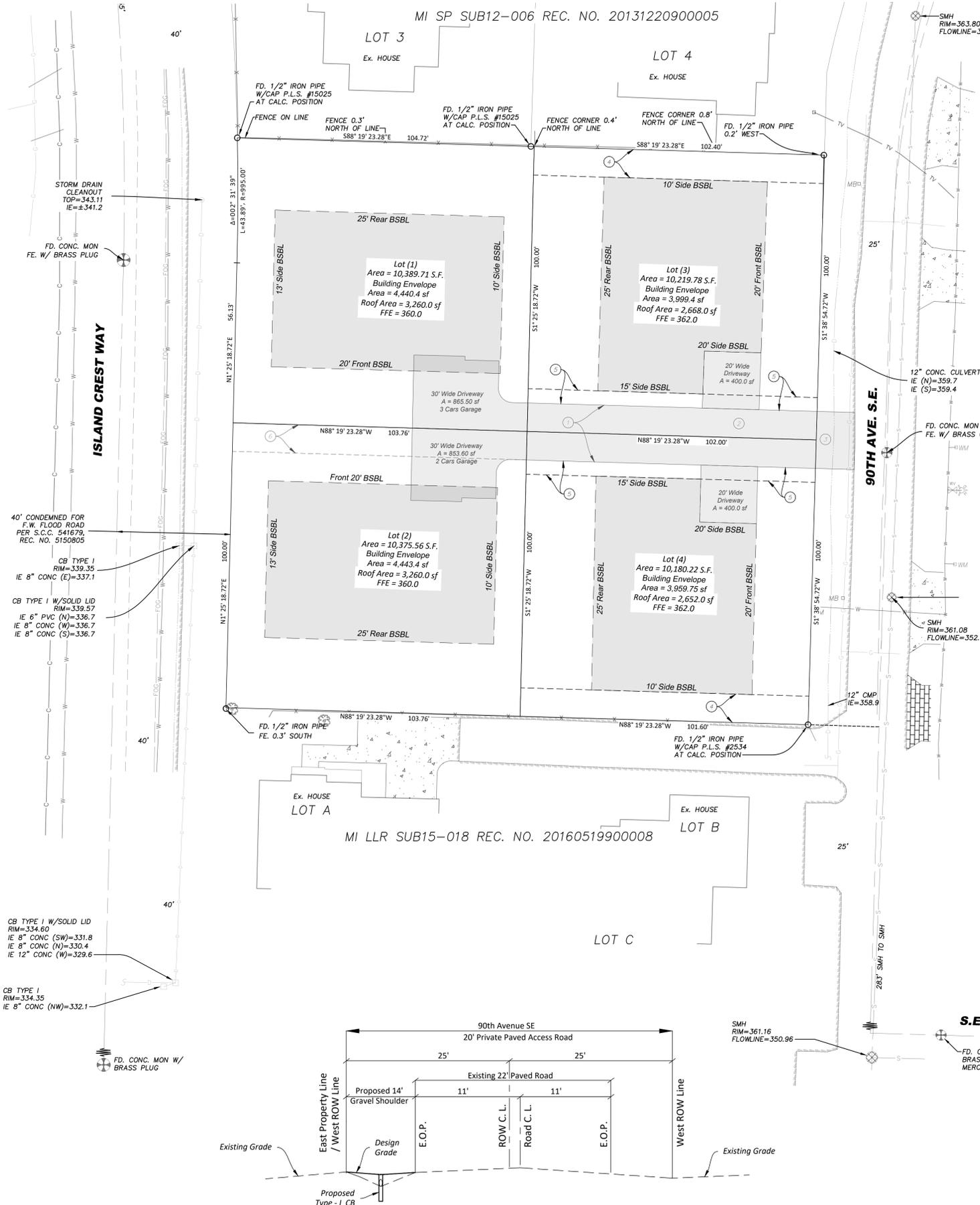


Date:	11 / 01 / 2022
Job Number:	220520 - PLE - 2211
DWG Date:	11 / 01 / 2022
Sheet No.	C - 3.0 OF C - 6.0



SEC. 19, T.24N., R.5E., W.M.

MI SP SUB12-006 REC. NO. 20131220900005



90th Ave SE Road Improvement  
N.T.S.

Existing Site Data:

Parcel Number: 4351300487  
Parcel Address: 4833 90th Ave. SE  
Mercer Island, WA 98040  
Zoning: R - 8.5  
Total Parcel Area (per survey): 41,165 s.f. = 0.945 Acre  
Total Existing Impervious Surfaces = 5,862.0 sf  
Percentage of Existing Impervious Surfaces = 14.2 %  
Total Existing Pervious Surfaces = Grass 4,632.0 sf + Forest 30,671.0 sf = 35,303.0 sf  
Percentage of Existing Pervious Surfaces = 85.8 %

Zoning Requirements:

Min. Lot Width Required: 60'  
Min. Lot Depth Required: 80'  
Min. Lot Area Required: 8,400 s.f.  
Max. Lot Coverage: 40%  
Required Landscape: 60%  
Required Front Yard Setback: 20'  
Required Rear Yard Setback: 25'  
Minimum Side Yard Setback: 7.5'  
Minimum Total Side Yard Setback: 15'

Property Owner:

Mr. Jintao (Adison) Cui  
Home - Link Capital LLC  
7683 SE 27th Street, Unit 186  
Mercer Island, WA 98040  
Email: adisoncui@outlook.com  
(206) 265 - 0810

Project Contact:

Mr. Jintao (Adison) Cui  
Home - Link Capital LLC  
7683 SE 27th Street, Unit 186  
Mercer Island, WA 98040  
Email: adisoncui@outlook.com  
(206) 265 - 0810

Project Engineer:

Mazen Haidar, PE  
Pacific Land Engineering  
mazen@pacificlandwa.com  
(206) 615 - 6160

Project Surveyor:

Robert Bogdan, PLS  
Eastside Consultants, Inc.  
1320 N.W. Mall Street, Suite B  
(425) 392 - 5351

Mercer Island Fire Department

4160 86th Ave SE  
Mercer Island, WA 98040  
(206) 236 - 3330

Telephone and Cable

Comcast  
P. O. Box 60533  
City of Industry, CA 91716  
(800) 934 - 6489

Developed Site Date and Coverage Calculations:

Proposed Lot (1),

Total Lot Area = 10,389.71 sf  
Building Envelope Area = 4,440.4 sf  
Maximum Roof Area = 3,260.0 sf  
Driveway Area = 865.5 sf  
Lot Coverage = 3,260.0 + 865.5 = 4,125.5 sf  
Percentage of Lot Coverage = 4,125.5 / 10,389.71 = 40%  
Percentage of Landscape = (10,389.71 - 4,125.5) / 10,389.71 = 60%  
Front Yard Setback = 20'  
Rear Yard Setback = 25'  
East Side Yard Setback = 10'  
West Side Yard Setback = 13'

Proposed Lot (2),

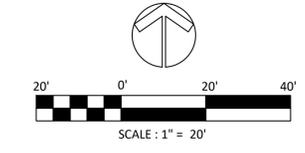
Total Lot Area = 10,375.56 sf  
Building Envelope Area = 4,443.4 sf  
Maximum Roof Area = 3,260.0 sf  
Driveway Area = 853.6 sf  
Lot Coverage = 3,260.0 + 853.6 = 4,113.6 sf  
Percentage of Lot Coverage = 4,113.6 / 10,375.56 = 40%  
Percentage of Landscape = (10,375.56 - 4,113.6) / 10,375.56 = 60%  
Front Yard Setback = 20'  
Rear Yard Setback = 25'  
East Side Yard Setback = 10'  
West Side Yard Setback = 13'

Proposed Lot (3),

Total Lot Area = 10,219.78 sf  
Building Envelope Area = 3,999.4 sf  
Maximum Roof Area = 2,668.0 sf  
Driveway Area = 400.0 sf  
Road Area = 10' X 102' = 1,020.0 sf  
Lot Coverage = 2,668.0 + 400 + 1,020 = 4,088.0 sf  
Percentage of Lot Coverage = 4,088.0 / 10,219.78 = 40%  
Percentage of Landscape = (10,219.78 - 4,088.0) / 10,219.78 = 60%  
Front Yard Setback = 20'  
Rear Yard Setback = 25'  
North Side Yard Setback = 10'  
South Side Yard Setback = 15'

Proposed Lot (4),

Total Lot Area = 10,180.22 sf  
Building Envelope Area = 3,959.75 sf  
Maximum Roof Area = 2,652.0 sf  
Driveway Area = 400.0 sf  
Road Area = 10' X 102' = 1,020.0 sf  
Lot Coverage = 2,652.0 + 400 + 1,020 = 4,072.0 sf  
Percentage of Lot Coverage = 4,072.0 / 10,180.22 = 40%  
Percentage of Landscape = (10,180.22 - 4,072.0) / 10,180.22 = 60%  
Front Yard Setback = 20'  
Rear Yard Setback = 25'  
North Side Yard Setback = 15'  
South Side Yard Setback = 10'

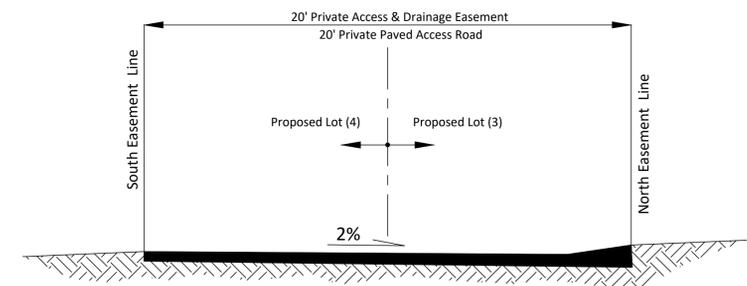


- LEGEND:
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  - = GUY ANCHOR
  - = OVERHEAD POWER
  - = FIRE HYDRANT
  - = WATER VALVE
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  - = FOG LINE (LANE STRIPE)
  - = DITCH LINE
  - = GRADE BREAK
  - = EDGE OF PAVEMENT/CURB LINE
  - = CONCRETE
  - = CONCRETE PAVERS
  - = GRAVEL
  - = TBM = 600 SPIKE IN POWER POLE  
ELEV = 361.47 (NAVD 1988)

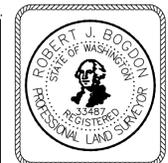
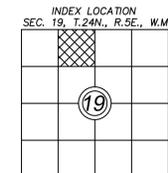
- 1 20' Wide Private Access and Drainage Easement
- 2 20' Wide Paved Access Road Area = 2,040 sf.
- 3 20' Wide Paved Access Road Connection, Area = 272.0 sf.
- 4 10' Wide Private Water and Sewer Easement
- 5 5' Wide Private Dry Utilities Easement
- 6 10' Wide Private Drainage and Access Easement

Lot Slope Calculations:

- Lot (1),  
(Grade 358 - Grade 356) / 104' = 1.90 %
- Lot (2),  
(Grade 358 - Grade 356) / 104' = 1.9%
- Lot (3),  
(Grade 360 - Grade 358) / 102' = 2.0 %
- Lot (4),  
(Grade 360 - Grade 358) / 102' = 2.0 %



20' Wide Private Access Road  
N.T.S.



ENGINEERS - SURVEYORS  
EASTSIDE CONSULTANTS, INC.  
1320 N.W. MALL ST., SUITE B  
ISSAQUAH, WASHINGTON 98027  
PH: (425) 392-5351 FAX: 392-4676

Revisions	No.	Date	By

Project 4833 MI - 4 - Lot Short Plat  
Preliminary Short Plat Map

Plan Plotted For:  
Initial Submittal

**PACIFIC LAND ENGINEERING**  
Civil Engineering, Development Services, Land Use Consulting  
Surveying, Inspection Services, Inspection Services, Expert Witness  
Bellevue, WA - www.pacificlandwa.com  
Phone: (206) 615-6160  
Fax: (206) 615-6161  
Email: info@pacificlandwa.com



Date: 11 / 01 / 2022  
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DWG Date: 11 / 01 / 2022  
Sheet No. C - 5.0

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