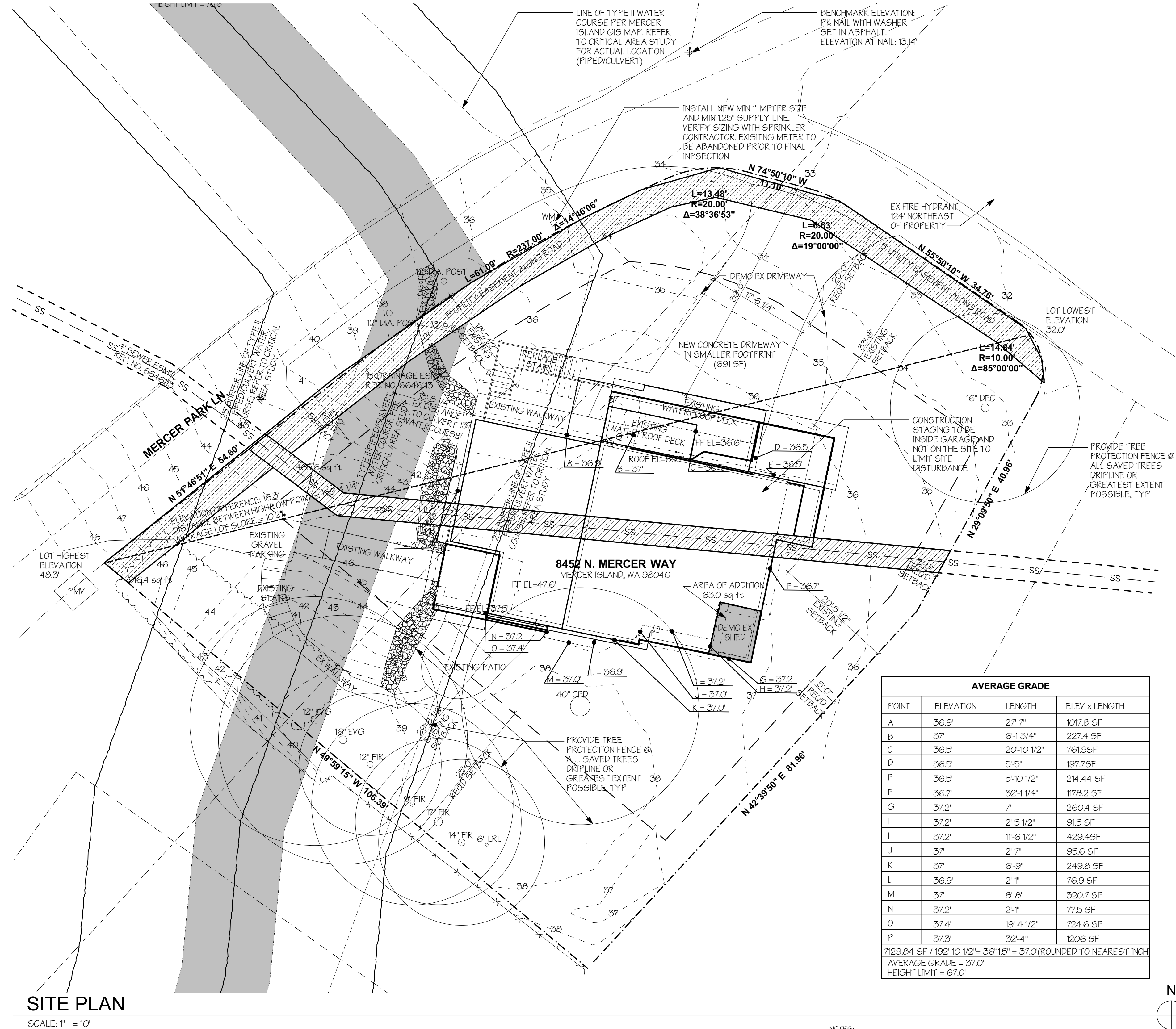


EXISTING HARDSCAPE:	EXISTING DECKS:	259.3 SF
	EXISTING WALKWAYS:	285.7 SF
	EXISTING EXTERIOR STAIRS:	71.1 SF
	EXISTING PATIO:	190.3 SF
	TOTAL EX HARDSCAPE COVERAGE:	749.5 SF
	ALLOWED HARDSCAPE COVERAGE:	11,630 SF X 9% = 1,046.7 SF OK
PROPOSED HARDSCAPE:	PROPOSED DECKS:	145.9 SF
	EXISTING WALKWAYS:	285.7 SF
	EXISTING EXTERIOR STAIRS:	71.1 SF
	EXISTING PATIO:	190.3 SF
	TOTAL PROP. HARDSCAPE COVERAGE:	636.1 SF (5.5%)
	ALLOWED HARDSCAPE COVERAGE:	11,630 SF X 9% = 1,046.7 SF OK
EXISTING IMPERVIOUS SURFACE:	EXISTING HOUSE/ROOF:	2,442.3 SF
	EXISTING DECKS:	217.9 SF
	EXISTING DRIVEWAY:	874.2 SF
	EXISTING STREET ON PROPERTY:	434.4 SF
	EXISTING GRAVEL PARKING:	395.9 SF
	EXISTING WALKWAYS:	285.7 SF
	EXISTING STAIRS:	151.1 SF
	EXISTING ROCKERIES:	177.3 SF
	EXISTING PATIO (TO BE DEMO-ED):	156.3 SF
	TOTAL EXISTING IMPERVIOUS SURFACE:	5,086.4 SF (43.9%)
	ALLOWED IMPERVIOUS SURFACE:	11,630 SF X 40% = 4,652 SF
PROPOSED IMPERVIOUS SURFACE:	PROPOSED HOUSE/ROOF:	2,358.2 SF
	PROPOSED DECKS:	185.9 SF
	PROPOSED DRIVEWAY:	691 SF
	EXISTING STREET ON PROPERTY:	434.4 SF
	EXISTING GRAVEL PARKING:	395.9 SF
	EXISTING WALKWAYS:	285.7 SF
	PROPOSED STAIRS:	102.1 SF
	EXISTING ROCKERIES:	177.3 SF
	TOTAL PROPOSED IMPERVIOUS SURFACE:	4,580.4 SF (39.4%)
	ALLOWED IMPERVIOUS SURFACE:	11,630 SF X 40% = 4,652 SF
	TOTAL NEW + REPLACED IMPERVIOUS SURFACE:	997.4 SF



SITE PLAN
SCALE: 1" = 10'

NOTES:
1. REFER TO CRITICAL AREAS DETERMINATION APPLICATION FOR NOTED LAND USE REVISIONS

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SITE PLAN

TOPOGRAPHIC & BOUNDARY SURVEY

LEGAL DESCRIPTION

(PER STATUTORY WARRANTY DEED REC. NO. 20150528001341)
 LOT 1, MERCER PARK LANE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 92 OF PLATS, PAGE 37, IN KING COUNTY, WASHINGTON.
 SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

BASIS OF BEARINGS

N 51°46'51" E ALONG THE MONUMENTED CENTERLINE OF MERCER PARK LANE PER NAD 1983/91, WASHINGTON STATE PLANE COORDINATES, NORTH ZONE.

REFERENCES

- R1 MERCER PARK LANE, RECORDED IN VOLUME 92 OF PLATS, PAGE 37, RECORDS OF KING COUNTY, WASHINGTON.
- R2 SUNNYBANK, RECORDED IN VOLUME 29 OF PLATS, PAGE 31, RECORDS OF KING COUNTY, WASHINGTON.

VERTICAL DATUM

NAVD(88) PER CITY OF MERCER ISLAND BENCHMARK NO. 9609 FOUND 2.5" DIA. CONC. FILLED IRON PIPE W/ TACK, FOUND ON CENTERLINE OF N. MERCER WAY @ WEST END OF CENTER PARK LANE.
 ELEV: 75.68'

SURVEYOR'S NOTES

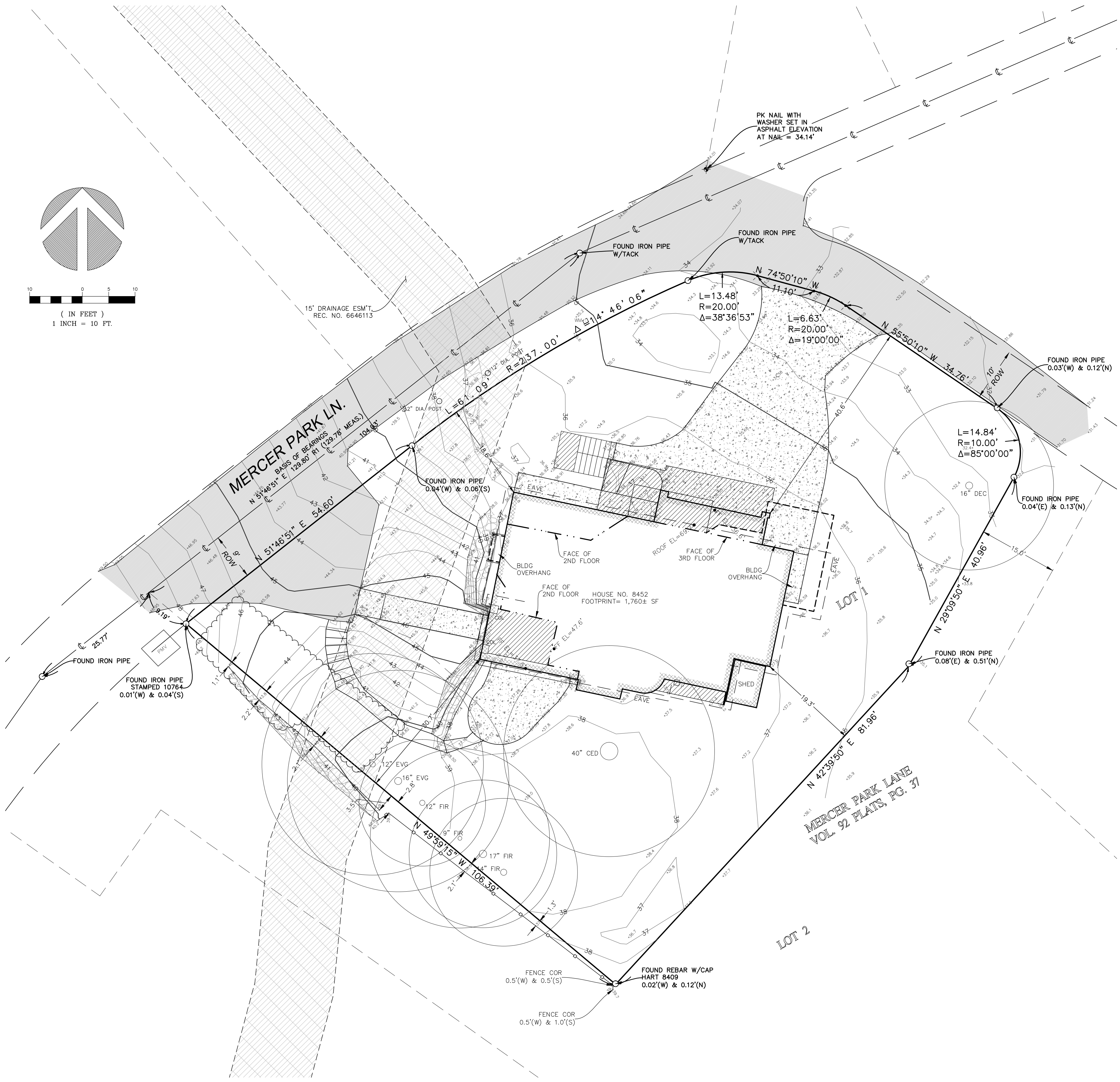
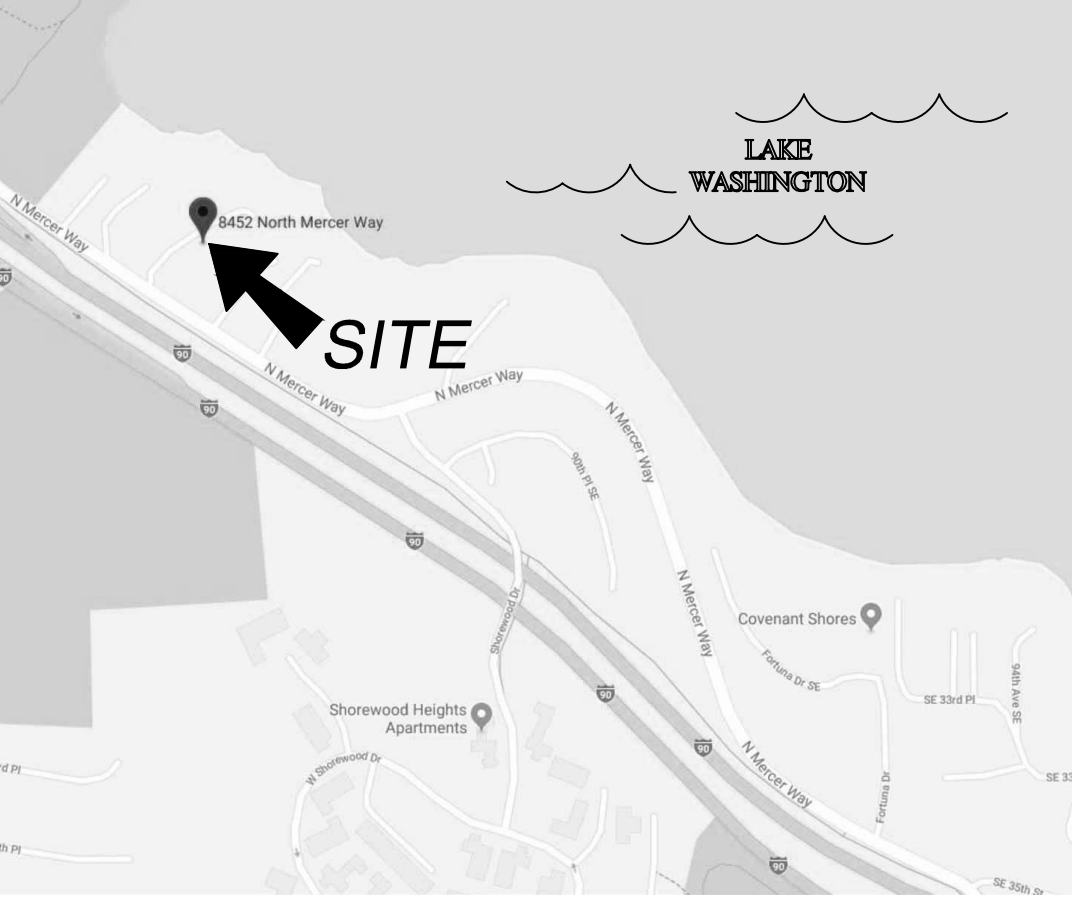
1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN AUGUST OF 2018. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. SUBJECT PROPERTY TAX PARCEL NO. 545260-0010
4. SUBJECT PROPERTY AREA PER THIS SURVEY IS 11,627± S.F. (0.27± ACRES)
5. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN HEREON.
6. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

LEGEND

- | | |
|-------------------|--------------------|
| ASPHALT SURFACE | GAS METER |
| BUILDING | HEDGE FOLIAGE LINE |
| BENCHMARK | IRON PIPE (FOUND) |
| CENTERLINE ROW | POST |
| CONCRETE SURFACE | POWER METER |
| RETAINING WALL | ELECTRICAL VENT |
| EASEMENT AREA | ROCKERY |
| DECK | TREE (AS NOTED) |
| FENCE LINE (WOOD) | WATER METER |
| FLAGSTONE SURFACE | |

VICINITY MAP

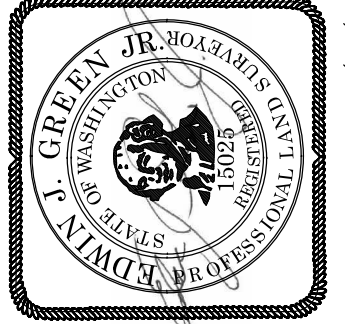
N.T.S.



measure success

TOPOGRAPHIC & BOUNDARY SURVEY
 SW 1/4 OF NW 1/4 SEC. 7, TWP. 24 N., RGE. 05 E., W.M.
 PARCEL NO. 545260-0010

WERELIUS RESIDENCE
 8452 N. MERCER WAY
 SEATTLE, WA 98040



Terrane
 10801 Main Street, Suite 102, Bellevue, WA 98004
 phone 425.458.4488 support@terrane.net
 www.terrane.net

JOB NUMBER:	181386
DATE:	08/14/18
DRAFTED BY:	LCH
CHECKED BY:	EJG/RLS
SCALE:	1" = 10'
REVISION HISTORY	
2/19/19	UPDATE TREES
2/21/19	UPDATE TREES
6/21/19	ADD BENCHMARK
SHEET NUMBER	
1 OF 1	

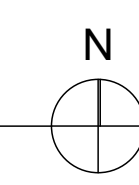


EXISTING HARDSCAPE:	EXISTING DECKS: 259.3 SF EXISTING WALKWAYS: 285.7 SF EXISTING EXTERIOR STAIRS: 71.1 SF EXISTING PATIO: 180.3 SF TOTAL EX HARDSCAPE COVERAGE: 749.5 SF ALLOWED HARDSCAPE COVERAGE: 11,630 SF X 9% = 1,046.7 SF_OK
PROPOSED HARDSCAPE:	PROPOSED DECKS: 145.9 SF EXISTING WALKWAYS: 285.7 SF EXISTING EXTERIOR STAIRS: 71.1 SF EXISTING PATIO: 180.3 SF TOTAL PROP. HARDSCAPE COVERAGE: 636.1 SF (5.5%) ALLOWED HARDSCAPE COVERAGE: 11,630 SF X 9% = 1,046.7 SF_OK
EXISTING IMPERVIOUS SURFACE:	EXISTING HOUSE/ROOF: 2,442.3 SF EXISTING DECKS: 217.2 SF EXISTING DRIVEWAY: 874.2 SF EXISTING STREET ON PROPERTY: 434.4 SF EXISTING GRAVEL PARKING: 366.0 SF EXISTING WALKWAYS: 226.7 SF EXISTING STAIRS: 183.1 SF EXISTING ROCKERIES: 177.3 SF EXISTING PATIO (TO BE DEMOED): 156.3 SF TOTAL EXISTING IMPERVIOUS SURFACE: 5,086.4 SF (43.9%) ALLOWED IMPERVIOUS SURFACE: 11,630 SF X 40% = 4,652 SF
PROPOSED IMPERVIOUS SURFACE:	PROPOSED HOUSE/ROOF: 2,358.2 SF PROPOSED DECKS: 165.9 SF PROPOSED DRIVEWAY: 691 SF EXISTING STREET ON PROPERTY: 434.4 SF EXISTING GRAVEL PARKING: 366.0 SF EXISTING WALKWAYS: 285.7 SF PROPOSED STAIRS: 102.1 SF EXISTING ROCKERIES: 177.3 SF TOTAL PROPOSED IMPERVIOUS SURFACE: 4,580.4 SF (39.4%) ALLOWED IMPERVIOUS SURFACE: 11,630 SF X 40% = 4,652 SF
TOTAL NEW + REPLACED IMPERVIOUS SURFACE: 997.4 SF	

SITE PLAN

SCALE: 1" = 10'

- EXISTING TO REMAIN
- DEMO
- REPLACED IMPERVIOUS SURFACE
- NEW IMPERVIOUS SURFACE



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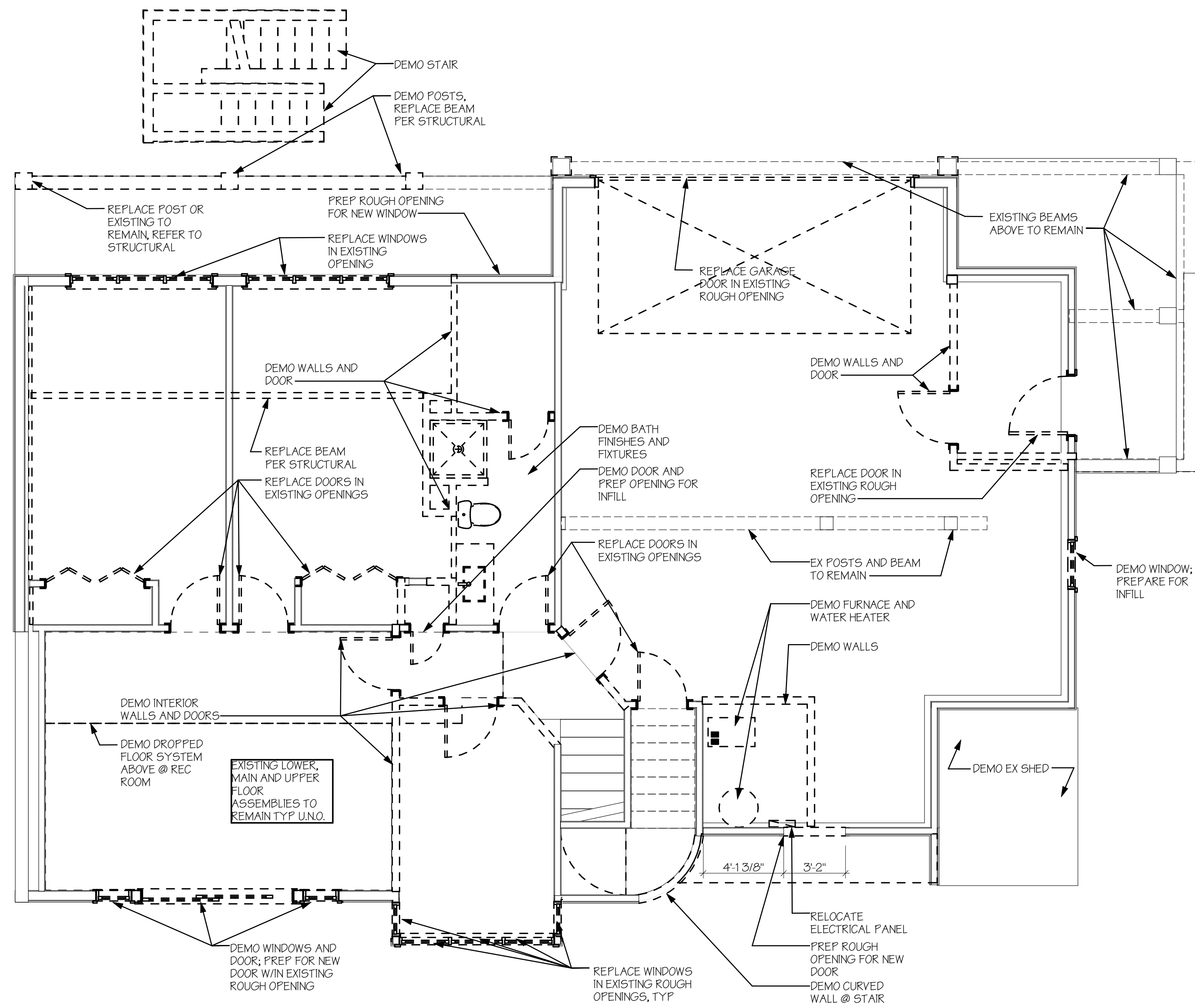
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HARDSCAPE AND IMPERVIOUS SURFACE DIAGRAM

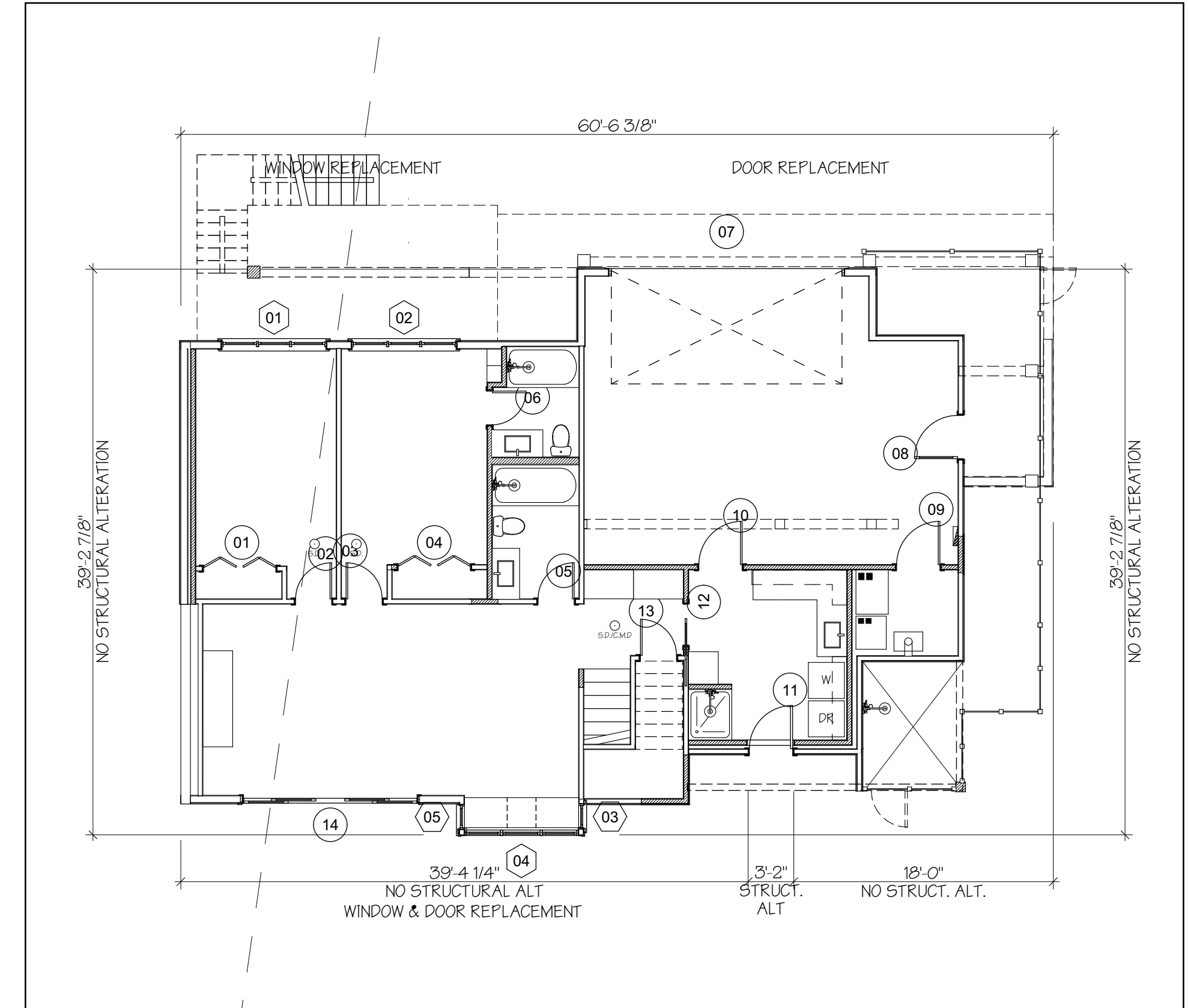


LOWER FLOOR DEMO PLAN

SCALE: 1/4" = 1'-0"

EXISTING WALLS
 DEMO WALLS

EXTERIOR WALL STRUCTURAL ALTERATION DIAGRAM - 40% THRESHOLD



PROPOSED ALTERATION - LOWER FLOOR

SCALE: 1/8" = 1'-0"

TOTAL LENGTH OF LOWER FLOOR EXISTING EXTERIOR WALLS: 199'-6 1/2"
 LENGTH OF LOWER FLOOR WALLS WITH STRUCTURAL ALTERATIONS: 6'-8" = 3.3%

TOTAL STRUCTURAL ALTERATIONS (ALL FLOORS):
 TOTAL COMBINED LENGTH OF EXISTING EXTERIOR WALLS @ ALL FLOORS: 530'-7 1/4"
 TOTAL COMBINED LENGTH OF WALLS @ ALL FLOORS WITH STRUCTURAL ALTERATIONS: 207'-0 3/4" = 38.4%

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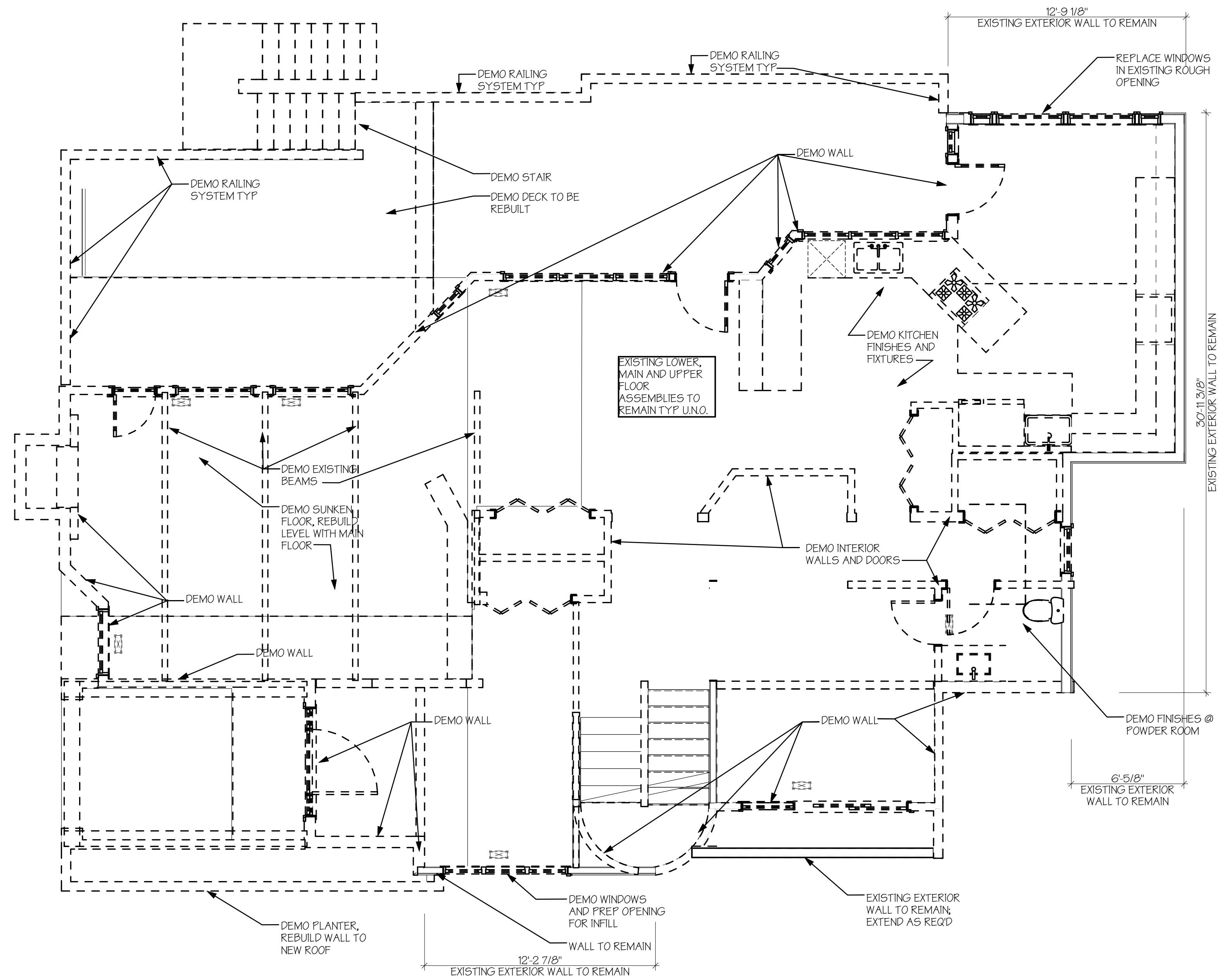
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DEMOLITION PLAN LOWER FLOOR





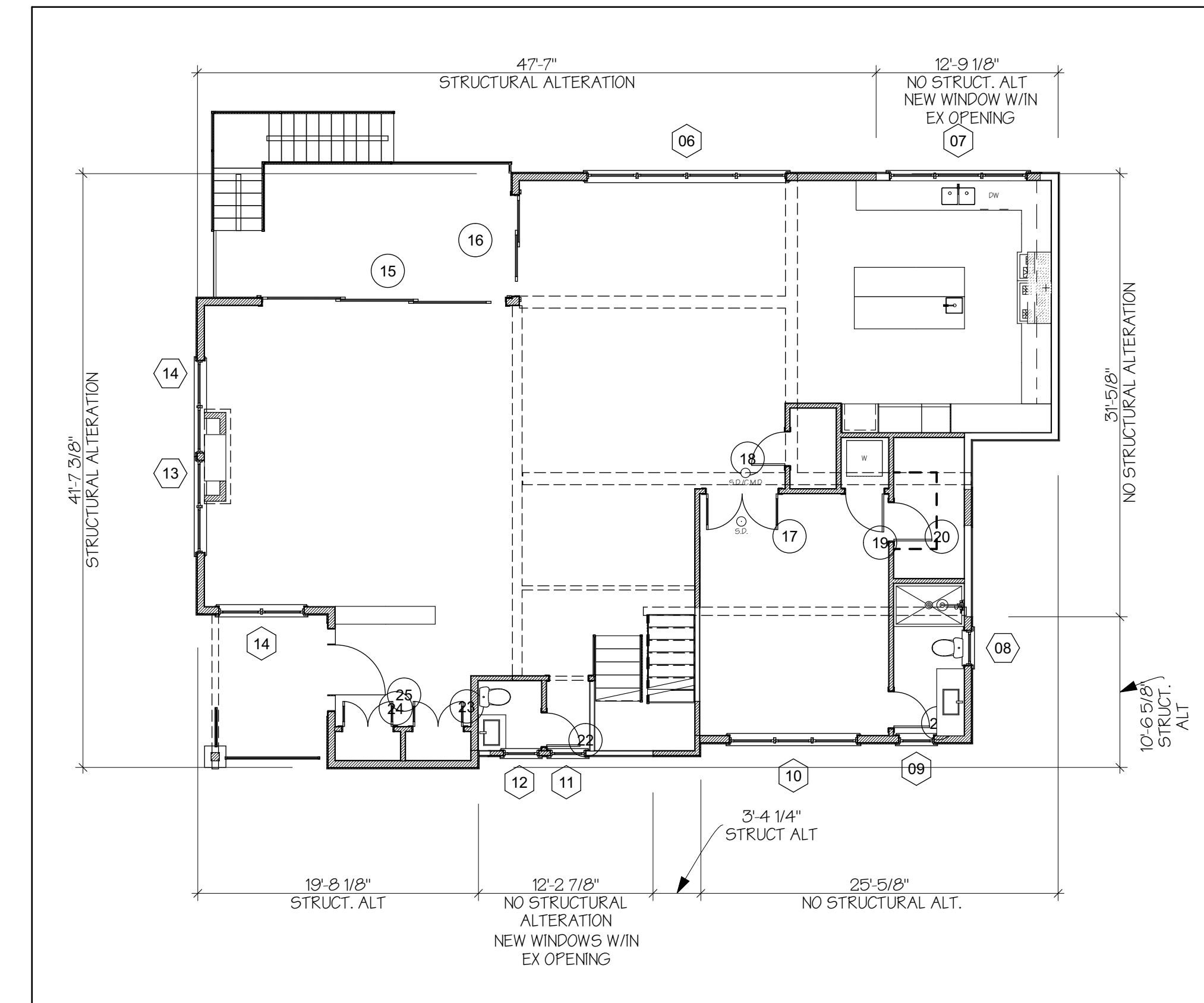
MAIN FLOOR DEMO PLAN

SCALE: 1/4" = 1'-0"

EXISTING WALLS
 DEMO WALLS



EXTERIOR WALL STRUCTURAL ALTERATION DIAGRAM - 40% THRESHOLD



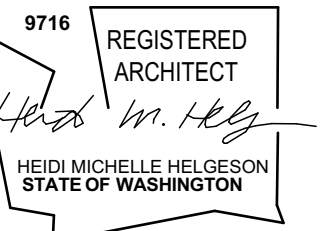
PROPOSED ALTERATION - MAIN FLOOR

SCALE: 1/8" = 1'-0"

TOTAL LENGTH OF MAIN FLOOR EXISTING EXTERIOR WALLS: 203'-10 5/8"
 LENGTH OF MAIN FLOOR WALLS WITH STRUCTURAL ALTERATIONS: 122'-10 5/8" = 60.3%

TOTAL STRUCTURAL ALTERATIONS (ALL FLOORS):
 TOTAL COMBINED LENGTH OF EXISTING EXTERIOR WALLS @ ALL FLOORS: 538'-7 1/4"
 TOTAL COMBINED LENGTH OF WALLS @ ALL FLOORS WITH STRUCTURAL ALTERATIONS: 207'-0 3/4" = 38.4%

WERELIUS RESIDENCE
 8452 NORTH MERCER WAY
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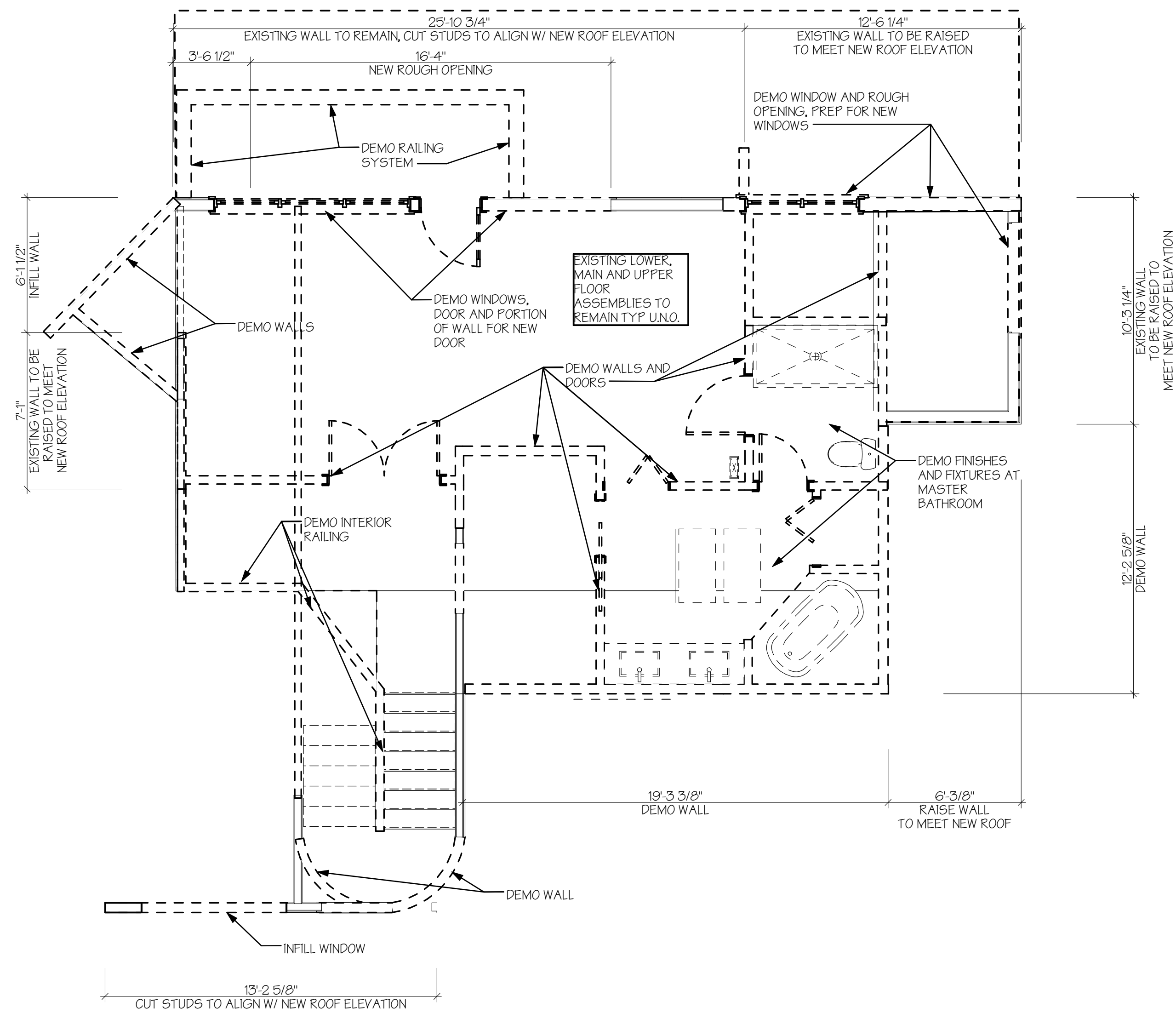
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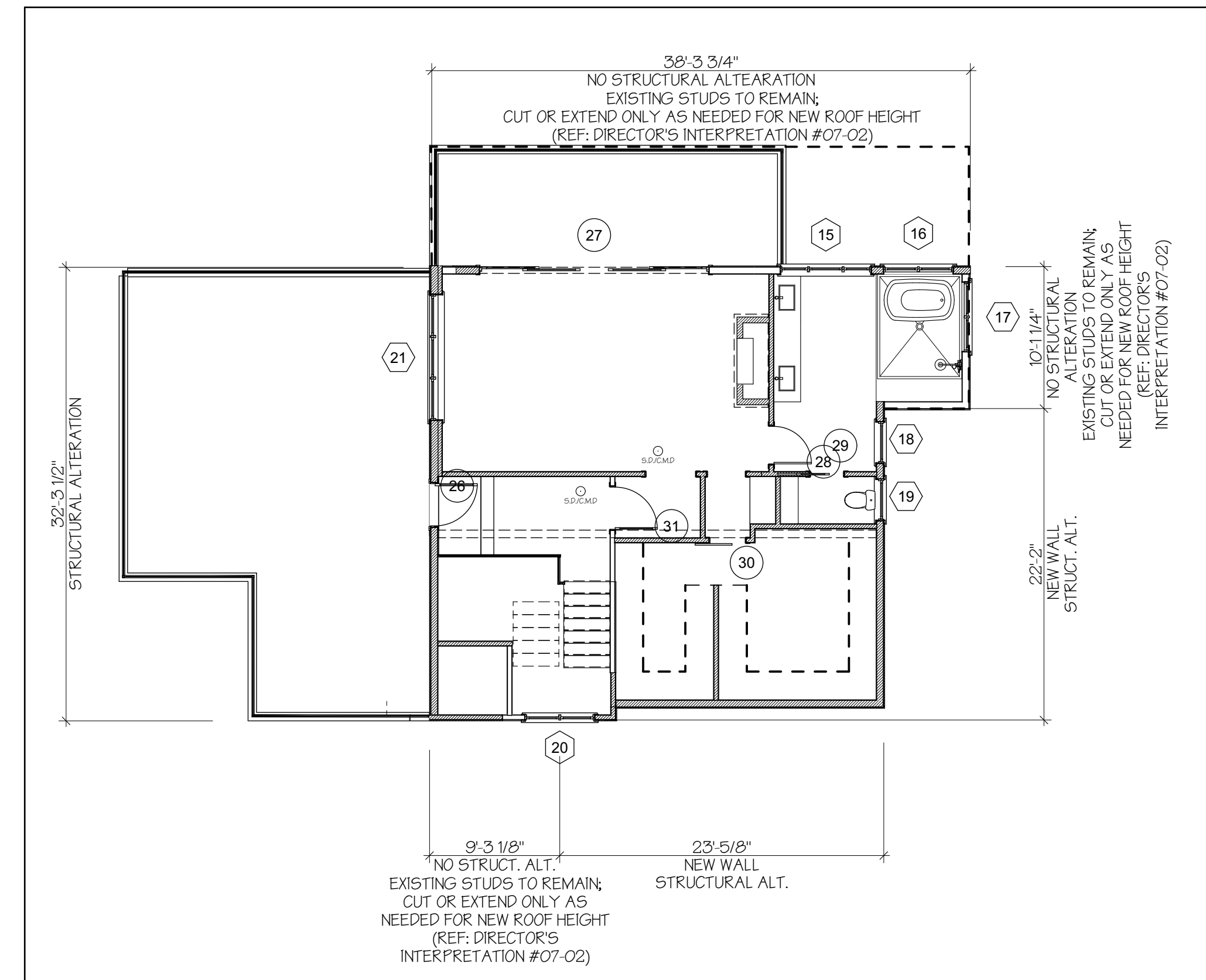
DEMOLITION PLAN MAIN FLOOR



UPPER FLOOR DEMO PLAN

SCALE: 1/4" = 1'-0"
 EXISTING WALLS
 DEMO WALLS

EXTERIOR WALL STRUCTURAL ALTERATION DIAGRAM - 40% THRESHOLD



PROPOSED ALTERATION - UPPER FLOOR

SCALE: 1/8" = 1'-0"

TOTAL LENGTH OF UPPER FLOOR EXISTING EXTERIOR WALLS: 135'-2 1/8"
 LENGTH OF UPPER FLOOR EXTERIOR WALLS WITH STRUCTURAL ALTERATIONS: 77'-6 1/8" = 57.3%
 REFER TO DSG POLICY MEMORANDUM ADMINISTRATIVE INTERPRETATION #07-02

TOTAL STRUCTURAL ALTERATIONS (ALL FLOORS):
 TOTAL COMBINED LENGTH OF EXISTING EXTERIOR WALLS @ ALL FLOORS: 538'-7 1/4"
 TOTAL COMBINED LENGTH OF WALLS @ ALL FLOORS WITH STRUCTURAL ALTERATIONS: 207'-0 3/4" = 38.4%

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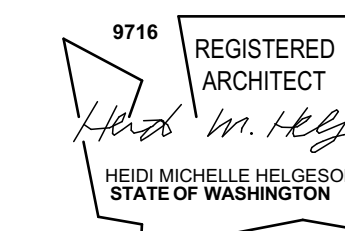
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DEMOLITION UPPER FLOOR
 PLAN



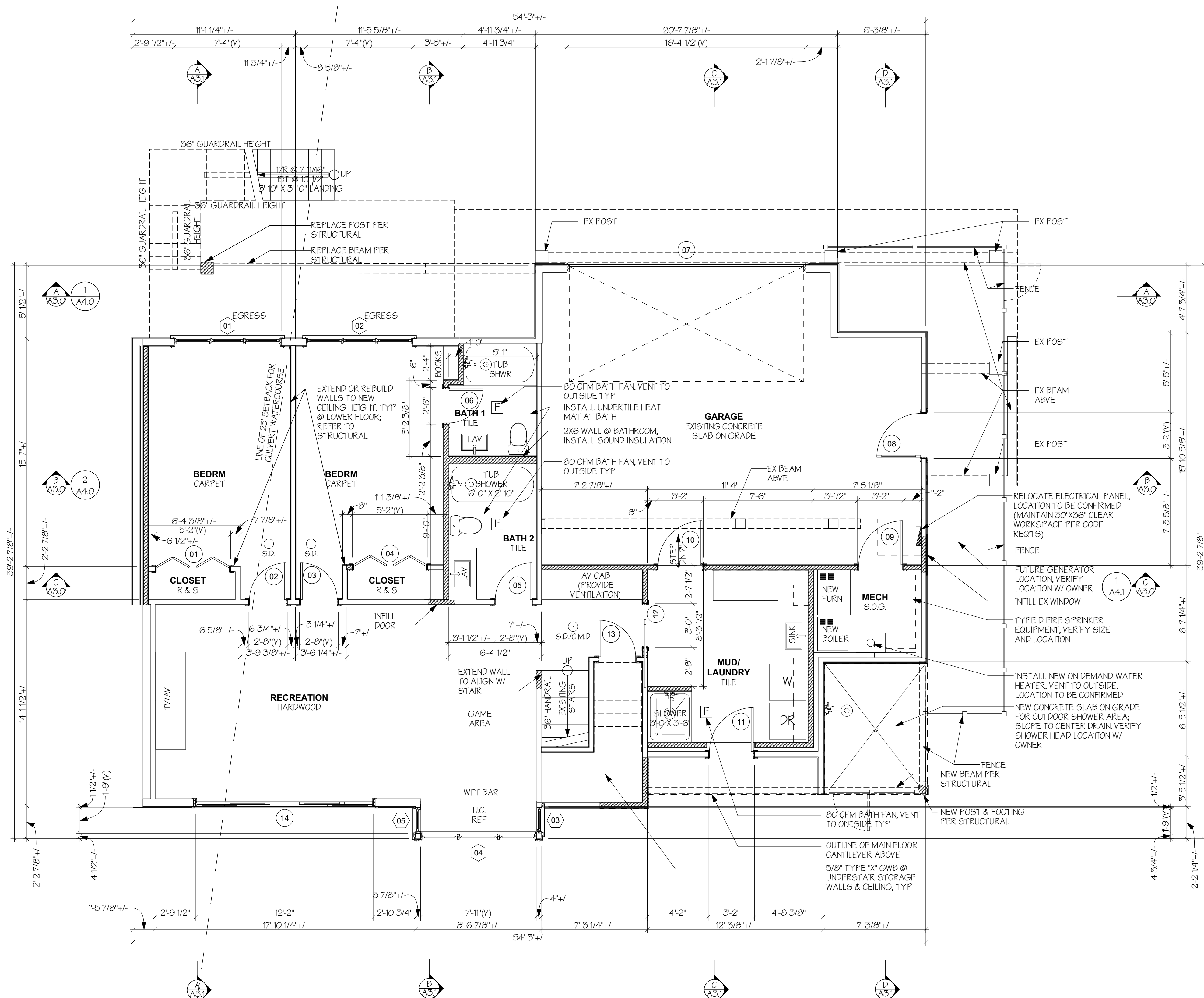
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LOWER FLOOR PLAN



ENERGY CREDIT INFORMATION
ENERGY CREDIT FROM WASHINGTON STATE ENERGY CODE TABLE 406.2

MEDIUM DWELLING UNIT: 3.5 CREDITS
1a EFFICIENT BUILDING ENVELOPE: 0.5 CREDITS
PRESCRIPTIVE COMPLIANCE IS BASED ON TABLE R402.11 WITH THE FOLLOWING MODIFICATIONS:
VERTICAL FENESTRATION U = 0.28
FLOOR R-38
SLAB ON GRADE R-10 PERIMETER AND UNDER ENTIRE SLAB
BELOW GRADE SLAB R-10 PERIMETER AND UNDER ENTIRE SLAB
3a HIGH EFFICIENCY HVAC EQUIPMENT: 1.0 CREDITS
GAS, PROPANE, OR OIL-FIRED FURNACE WITH MINIMUM AFUE OF 94%
GAS, PROPANE, OR OIL-FIRED BOILER WITH MINIMUM AFUE OF 92%
5a EFFICIENT WATER HEATING: 0.5 CREDITS
ALL SHOWER-HEAD AND KITCHEN SINK FAUCETS INSTALLED IN THE HOUSE SHALL BE RATED AT 1.75 GPM OR LESS. ALL OTHER LAVATORY FAUCETS SHALL BE RATED AT 1.0 GPM OR LESS.
5c EFFICIENT WATER HEATING: 1.5 CREDITS
GAS, PROPANE, OR OIL WATER HEATER WITH A MINIMUM EF OF 0.91

NEW HVAC NOTES:
1. INSTALL NEW HYDRONIC RADIANT SYSTEM @ LOWER FLOOR WALL RADIATORS WITH HIGH EFFICIENCY BOILER, WITH MINIMUM AFUE OF 92%. VENT TO OUTSIDE TYPICAL. MAIN AND UPPER JOIST TRACK RADIANT HEAT SYSTEM.
2. PROVIDE SHUT OFF VALVE @ CONNECTION TO APPLIANCE.
3. INSTALL NEW FORCED AIR FURNACE TO PROVIDE COOLING AND VENTILATION TO ALL FLOORS OF THE HOME.
4. PER IRC 1506.3.5; PROVIDE WHOLE HOUSE VENTILATION SYSTEM INTEGRATED WITH THE FORCED AIR SYSTEM.
5. INTEGRATED WHOLE HOUSE VENTILATION SYSTEM SHALL OPERATE CONTINUOUSLY. PROVIDE CONTROLS TO ALLOW OPERATION OF VENTILATION SYSTEM WITHOUT NEED TO OPERATE HEATING SYSTEM. A LABEL SHALL BE AFFIXED TO THE CONTROLS THAT READS "WHOLE HOUSE VENTILATION (SEE OPERATING INSTRUCTIONS)".
6. CONTINUOUS WHOLE HOUSE MECHANICAL VENTILATION MINIMUM AIRFLOW RATE OF 90 CFM. REFER TO IRC TABLE M1507.3.5.

GAS WATER HEATER NOTES:
1. INSTALL NEW TANKLESS GAS WATER HEATER; RHEEM HIGH EFFICIENCY 11.0 GPM INDOOR NATURAL GAS TANKLESS WATER HEATER WITH RECIRCULATION PUMP, #RTGH-RH1DLN W/ 0.94 EFF (CONFIRM SELECTION W/ OWNER PRIOR TO PURCHASING)
2. PROVIDE SHUT OFF VALVE @ CONNECTION TO APPLIANCE.
3. PER IRC M1507.2 ANCHOR OR STRAP WATER HEATER APPLIANCE TO RESIST HORIZONTAL DISPLACEMENT CAUSED BY EARTHQUAKE MOTION. STRAPPING SHALL BE AT POINTS WITHIN THE UPPER 1/3RD AND LOWER 1/3RD OF THE APPLIANCE'S VERTICAL DIMENSIONS. AT THE LOWER POINT, THE STRAPPING SHALL MAINTAIN A MINIMUM DISTANCE OF 4" ABOVE CONTROLS.

VENTILATION REQUIREMENTS
VENTILATION NOTES:
WHOLE HOUSE VENTILATION TO BE INTEGRATED INTO THE FORCED AIR SYSTEM TO MEET IRC M1507.3.5. PROVIDE CONTINUOUS AIRFLOW OF 90CFM.

GROSS FLOOR AREA (MEASURED FROM INSIDE OF EXTERIOR WALLS)

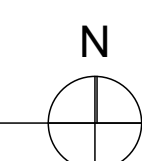
EXISTING LOWER FLOOR AREA	921.6 SF
EXISTING GARAGE CONVERTED TO CONDITIONED AREA:	214.9 SF
GARAGE (UNCONDITIONED)	493.6 SF
TOTAL CONDITIONED AREA AT LOWER FLOOR:	1136.5 SF
TOTAL FLOOR AREA AT LOWER FLOOR:	1630.1 SF

LOWER FLOOR PLAN

SCALE: 1/4" = 1'-0"

EXISTING WALLS
NEW OR MODIFIED WALLS

NOTES:
1. ALL DIMENSIONS ARE GIVEN TO THE FACE OF STUD UNO.
2. ALL DOOR AND WINDOW DIMENSIONS ON THIS PLAN ARE ROUGH OPENING SIZES, UNO. REFER TO WINDOW AND DOOR SCHEDULE FOR MORE INFORMATION.
3. SEE ATTACHED WSEC FORMS FOR ENERGY CODE COMPLIANCE INFORMATION.
4. INSTALL SMOKE DETECTORS (S.D.) AT LOCATIONS SHOWN. HARDWARE AND INTERCONNECT DETECTORS TO POWER SUPPLY AND PROVIDE BATTERY BACKUP AS REQUIRED.
5. INSTALL CARBON MONOXIDE ALARMS (C.M.D.) OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. THE ALARM AND SHALL BE LISTED AS COMPLYING WITH UL 2034 AND SHALL BE INSTALLED IN ACCORDANCE WITH IRC R315.5 AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
6. UNDERCUT INTERIOR DOORS 1/2" MINIMUM TO PROVIDE AIR FLOW TO ALL HABITABLE SPACES.





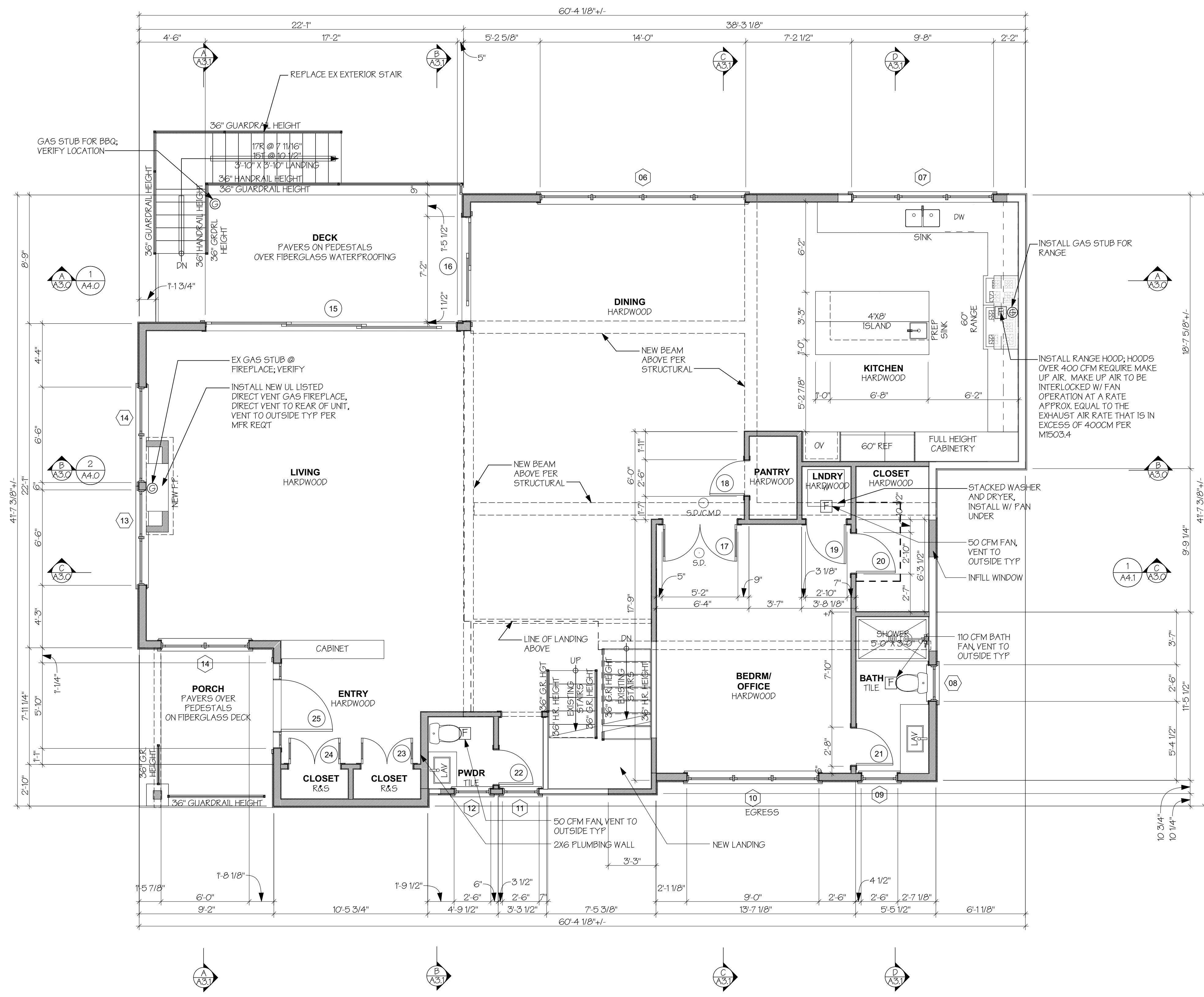
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MAIN FLOOR PLAN

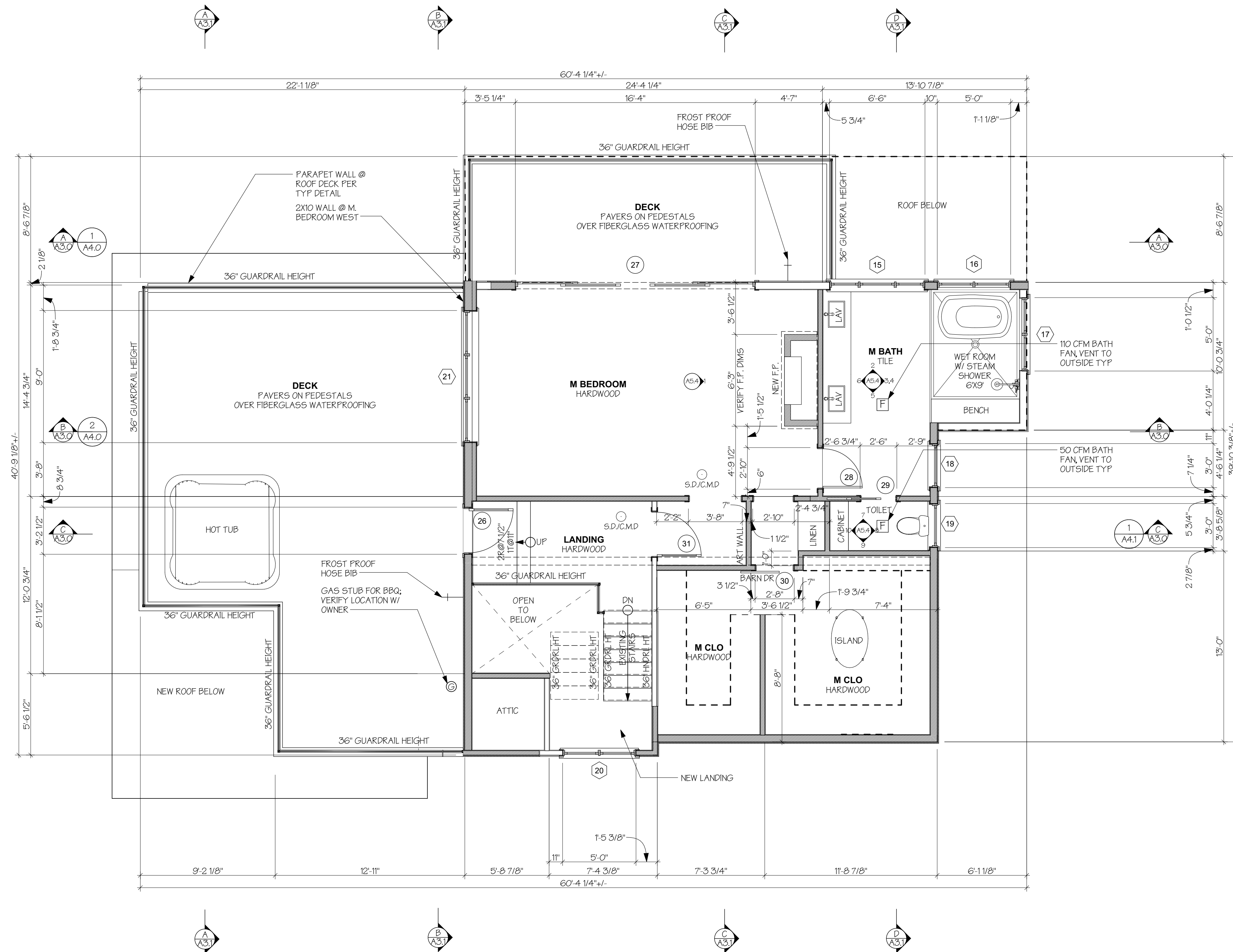


MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"
 ■ EXISTING WALLS
 ■ NEW OR MODIFIED WALLS

- NOTES:
 1. ALL DIMENSIONS ARE GIVEN TO THE FACE OF STUD UNO.
 2. ALL DOOR AND WINDOW DIMENSIONS ON THIS PLAN ARE ROUGH OPENING SIZES, UNO. REFER TO WINDOW AND DOOR SCHEDULE FOR MORE INFORMATION.
 3. SEE ATTACHED WSEC FORMS FOR ENERGY CODE COMPLIANCE INFORMATION.
 4. INSTALL SMOKE DETECTORS (S.D.) AT LOCATIONS SHOWN. HARDWARE AND INTERCONNECT DETECTORS TO POWER SUPPLY AND PROVIDE BATTERY BACKUP AS REQUIRED.
 5. INSTALL CARBON MONOXIDE ALARMS (C.M.) OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. THE ALARM SHALL BE LISTED AS COMPLYING WITH UL 2034 AND SHALL BE INSTALLED IN ACCORDANCE WITH SRC R3153 AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

GROSS FLOOR AREA (MEASURED FROM INSIDE OF EXTERIOR WALLS)	
EXISTING MAIN FLOOR AREA:	1479.8 SF
EXISTING AREA DEMOLISHED:	(-19.4 SF)
NEW ADDITION:	394.6 SF
TOTAL CONDITIONED AREA AT MAIN FLOOR:	1874.4 SF
EXISTING UNCOVERED DECK TO BE REBUILT:	190.2 SF
EXISTING COVERED PORCH TO HAVE NEW FINISHES:	97.6 SF
TOTAL CONDITIONED FLOOR AREA:	3918.5 SF
TOTAL FLOOR AREA:	4463.5 SF
MAXIMUM ALLOWED FLOOR AREA RATIO:	4652 SF

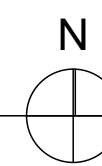


UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"

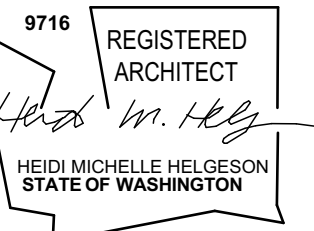
- EXISTING WALLS
- NEW OR MODIFIED WALLS

- NOTES:
1. ALL DIMENSIONS ARE GIVEN TO THE FACE OF STUD UNO.
 2. ALL DOOR AND WINDOW DIMENSIONS ON THIS PLAN ARE ROUGH OPENING SIZES, UNO. REFER TO WINDOW AND DOOR SCHEDULE FOR MORE INFORMATION.
 3. SEE ATTACHED WSEC FORMS FOR ENERGY CODE COMPLIANCE INFORMATION.
 4. INSTALL SMOKE DETECTORS (S.D.) AT LOCATIONS SHOWN. HARDWARE AND INTERCONNECT DETECTORS TO POWER SUPPLY AND PROVIDE BATTERY BACKUP AS REQUIRED.
 5. INSTALL CARBON MONOXIDE ALARMS (C.M.D.) OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. THE ALARM AND SHALL BE LISTED AS COMPLYING WITH UL 2034 AND SHALL BE INSTALLED IN ACCORDANCE WITH IRC R3153 AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.



GROSS FLOOR AREA (MEASURED FROM INSIDE OF EXTERIOR WALLS)	
EXISTING UPPER FLOOR AREA:	684.1 SF
EXISTING AREA DEMOLISHED:	(-216 SF)
NEW ADDITION:	223.5 SF
DOUBLE HEIGHT SPACE AT UPPER LEVEL (COUNT AT 100%)	51.45F
TOTAL CONDITIONED AREA AT UPPER FLOOR:	907.6 SF
TOTAL FLOOR AREA AT UPPER FLOOR:	959 SF

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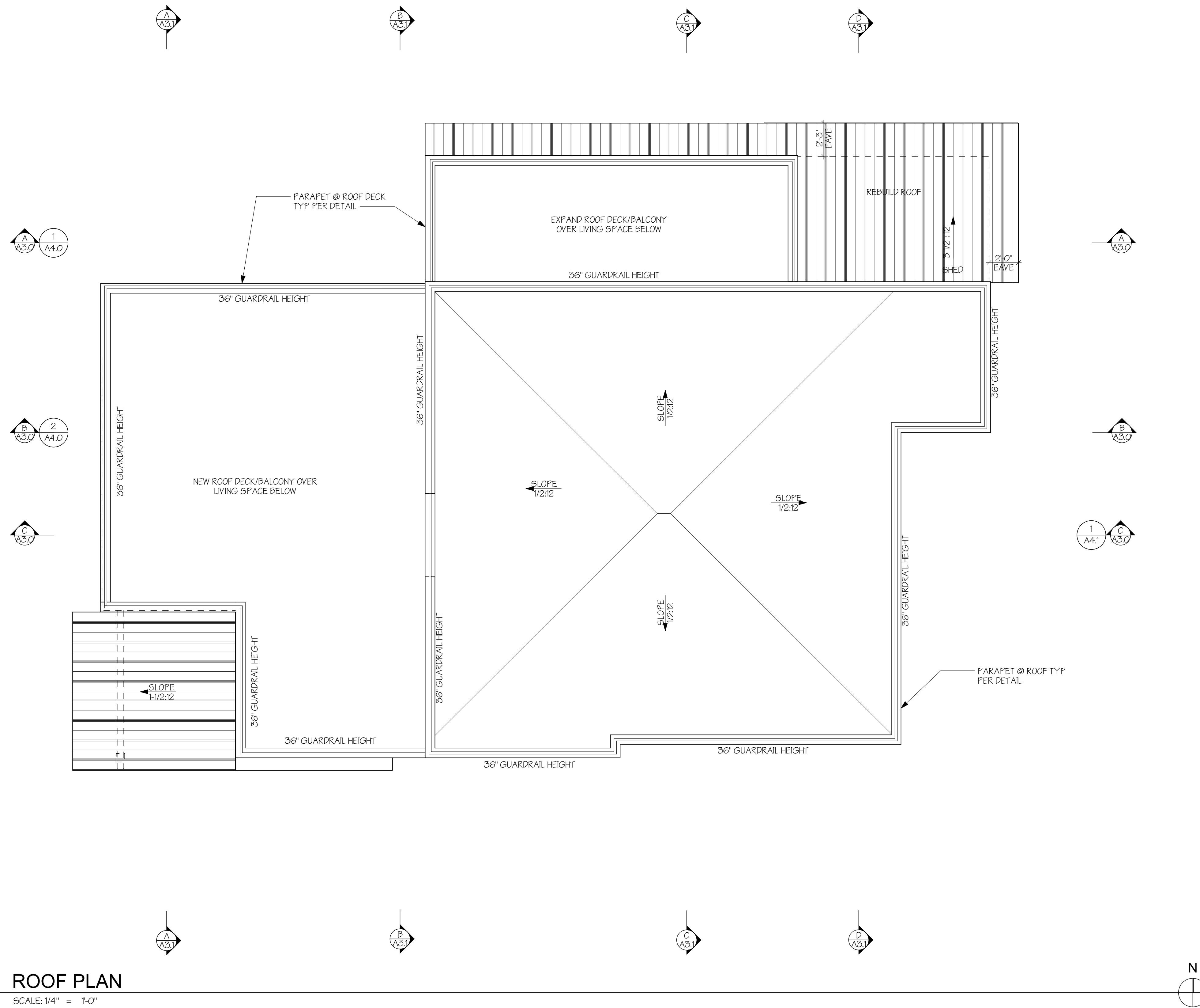
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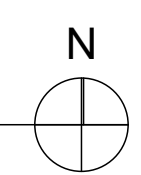
DATE: 7/26/2019

PERMIT SET

UPPER FLOOR PLAN



ROOF PLAN
SCALE: 1/4" = 1'-0"



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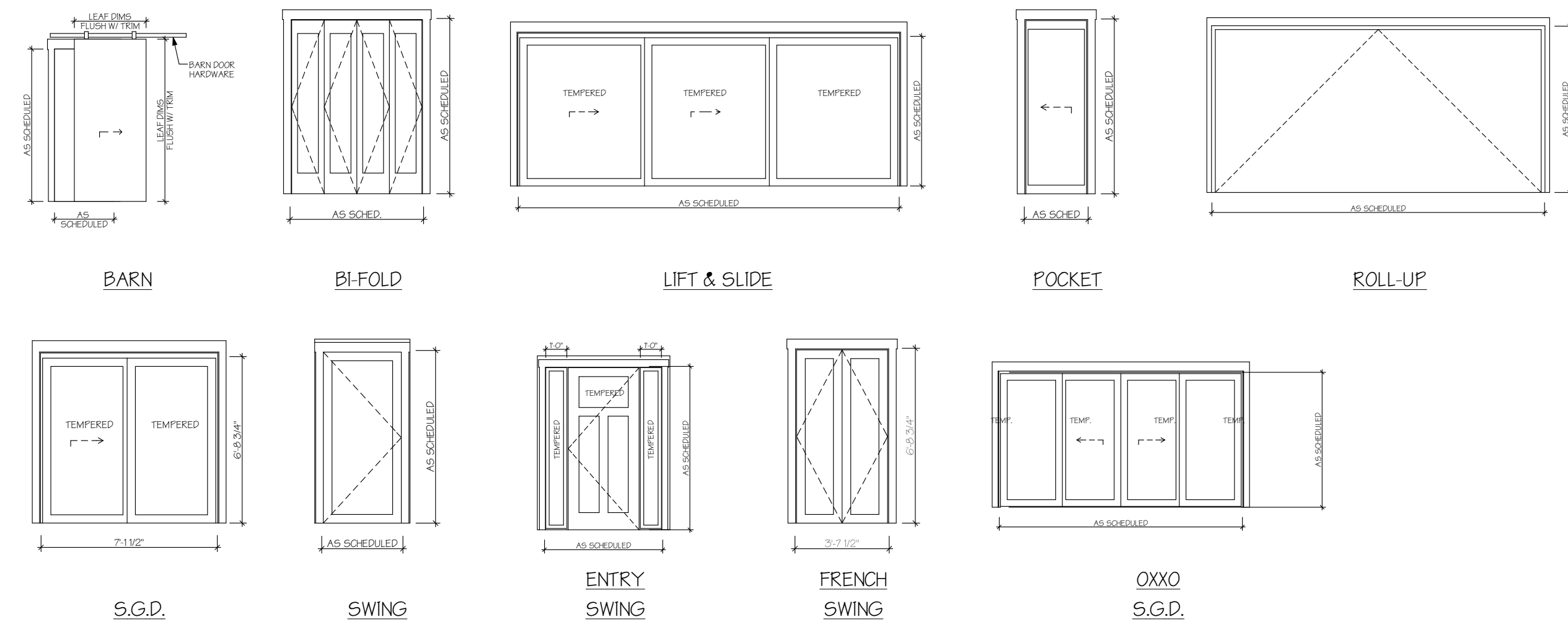
PERMIT SET

ROOF PLAN

DOOR SCHEDULE											
	ID	R.O. DIMENSIONS *SEE NOTE 1		DOOR LEAF DIMENSIONS		TYPE	THICK	AREA (SF)	NOTES	U-VAL	
		WIDTH	HEIGHT	W	HT						
LOWER FLOOR											
	01	5'-2"	6'-10 1/2"	5'-0"	6'-8"	BI-FOLD	0-1 3/8"	0.00	FR 2'-6" DRS; VERIFY FIT IN EX R.O.		
	02	2'-8"	6'-10 1/2"	2'-6"	6'-8"	SWING	0-1 3/8"	0.00	VERIFY FIT IN EX R.O.		
	03	2'-8"	6'-10 1/2"	2'-6"	6'-8"	SWING	0-1 3/8"	0.00	VERIFY FIT IN EX R.O.		
	04	5'-2"	6'-10 1/2"	5'-0"	6'-8"	BI-FOLD	0-1 3/8"	0.00	FR 2'-6" DRS		
	05	2'-8"	6'-10 1/2"	2'-6"	6'-8"	SWING	0-1 3/8"	0.00			
	06	2'-6"	6'-10 1/2"	2'-4"	6'-8"	SWING	0-1 3/8"	0.00			
	07	16'-4 1/2"	8'-2 1/4"	16'-0"	8'-0"	ROLL-UP	0-1 3/4"	0.00	GARAGE DOOR, VERIFY FIT IN EX R.O.		
	08	3'-2"	6'-9 1/2"	3'-0"	6'-7"	SWING	0-1 3/4"	0.00	VERIFY FIT IN EX R.O.		
	09	3'-2"	6'-10 1/2"	3'-0"	6'-8"	SWING	0-1 3/8"	0.00	1-3/8" S.C. 20 MIN RATED DR W/ SELF CLOSER		
	10	3'-2"	6'-10 1/2"	3'-0"	6'-8"	SWING	0-1 3/8"	0.00	1-3/8" S.C. 20 MIN RATED DR W/ SELF CLOSER		
	11	3'-2"	6'-10 1/2"	3'-0"	6'-8"	SWING	0-1 3/4"	20.00		0.20	
	12	3'-0"	6'-10 1/2"	2'-10"	6'-8"	POCKET	0-1 3/8"	0.00	VERIFY R.O. FOR POCKET DR FRAME		
	13	2'-8"	6'-10 1/2"	2'-6"	6'-8"	SWING	0-1 3/8"	0.00			
	14	12'-2"	6'-10 1/2"	12'-0"	6'-8"	S.G.D.	0-1 3/4"	0.00	0XXO, TEMPERED GLAZING		
MAIN FLOOR											
	15	17'-2"	6'-10 1/2"	17'-0"	6'-8"	LIFT & SLIDE	0-1 3/4"	113.00	0XX, LIFT & SLIDE, TEMPERED	0.30	
	16	7'-2"	6'-10 1/2"	7'-0"	6'-8"	S.G.D.	0-1 3/4"	46.70	XO TEMPERED	0.30	
	17	5'-2"	6'-9"	5'-0"	6'-8"	SWING	0-1 3/8"	0.00	FRENCH DOOR		
	18	2'-6"	6'-10 1/2"	2'-4"	6'-8"	SWING	0-1 3/8"	0.00			
	19	2'-10"	6'-10 1/2"	2'-8"	6'-8"	SWING	0-1 3/8"	0.00			
	20	2'-10"	6'-10 1/2"	2'-8"	6'-8"	SWING	0-1 3/8"	0.00			
	21	2'-8"	6'-10 1/2"	2'-6"	6'-8"	SWING	0-1 3/8"	0.00			
	22	2'-6"	6'-10 1/2"	2'-4"	6'-8"	SWING	0-1 3/8"	0.00			
	23	3'-8"	6'-10 1/2"	3'-6"	6'-8"	SWING	0-1 3/8"	0.00	FRENCH DOORS		
	24	3'-8"	6'-10 1/2"	3'-6"	6'-8"	SWING	0-1 3/8"	0.00	FRENCH DOORS		
	25	5'-10"	8'-2 1/2"	3'-6"	8'-0"	SWING	0-1 3/4"	46.70	OVERSIZE ENTRY W/ SIDELITES, TEMPERED		
UPPER FLOOR											
	26	3'-2 1/2"	6'-9 1/4"	3'-0"	6'-8"	SWING	0-1 3/4"	20.00	TEMPERED GLAZING; STORE DOOR	0.20	
	27	16'-4"	7'-2 1/4"	16'-0"	6'-10 1/2"	S.G.D.	0-1 3/4"	110.00	0XXO TEMPERED GLAZING	0.20	
	28	2'-10"	6'-10 1/2"	2'-8"	6'-8"	SWING	0-1 3/8"	0.00			
	29	2'-6"	6'-10 1/2"	2'-4"	6'-8"	POCKET	0-1 3/8"	0.00	VERIFY R.O. FOR POCKET DR FRAME		
	30	2'-8"	6'-10 1/2"	3'-2"	7'-0"	BARN	0-1 3/8"	0.00			
	31	3'-2"	6'-10 1/2"	3'-0"	6'-8"	SWING	0-1 3/8"	0.00			
TOTAL EXTERIOR DOOR AREA:								356.40			

MANUFACTURER: INTERIOR: SIMPSON OR EQUAL, SOLID CORE 1 PANEL DOORS (TO BE SELECTED)
 EXTERIOR: SIERRA PACIFIC OR EQUAL ALUMINUM CLAD EXTERIOR WITH PRIMED PINE INTERIOR (TO BE SELECTED)

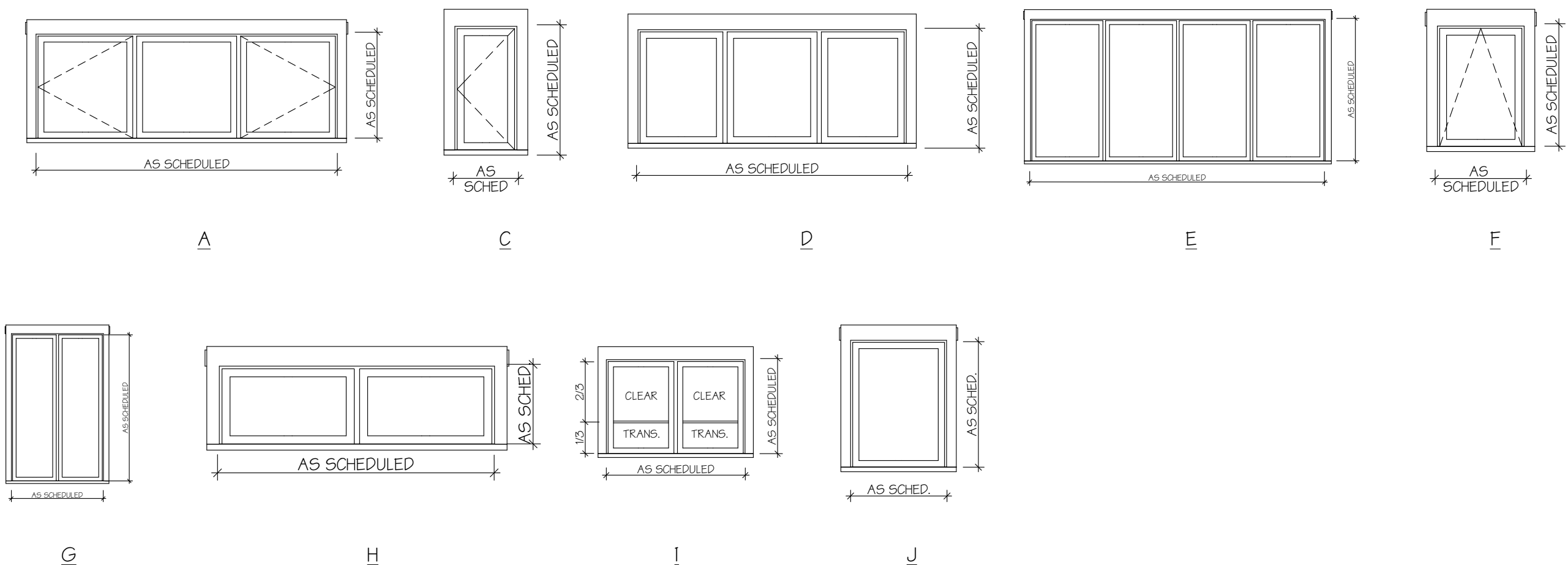
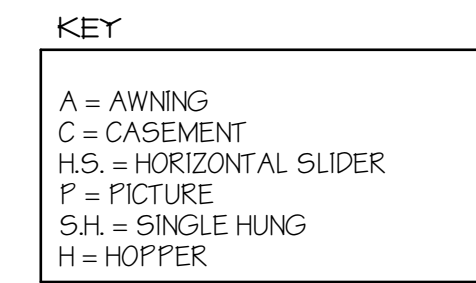
- NOTES:
 1. VERIFY ROUGH OPENING SIZES WITH SELECTED MANUFACTURER REQUIREMENTS
 2. SEE ELEVATIONS FOR CONFIGURATION
 3. VERIFY ALL SIZES AND ROUGH OPENINGS PRIOR TO CONSTRUCTION
 4. CONTACT ARCHITECT IMMEDIATELY WITH QUESTIONS
 5. ALL GLAZING AT DOORS TO BE TEMPERED.



WINDOW SCHEDULE											
	ID	ROUGH OPENING *SEE NOTE 1		ROUGH HEAD FROM SUBFLR.	TYPE	OPER	AREA (SF)	NOTES	U-VAL		
		WIDTH	HEIGHT								
LOWER FLOOR											
	01	7'-4"	4'-0"	6'-10 1/2"	A	C/P/C	29.30	EGRESS, VERIFY FIT IN EX R.O.	0.30		
	02	7'-4"	4'-0"	6'-10 1/2"	A	C/P/C	29.30	EGRESS, VERIFY FIT IN EX R.O.	0.30		
	03	1'-9"	3'-6"	6'-10 1/2"	C	C	6.20	VERIFY FIT IN EX R.O.	0.30		
	04	7'-11"	3'-6"	6'-10 1/2"	D	P/P/P	27.70	VERIFY FIT IN EX R.O.	0.30		
	05	1'-9"	3'-6"	6'-10 1/2"	C	C	6.20	VERIFY FIT IN EX R.O.	0.30		
MAIN FLOOR											
	06	14'-0"	6'-10 1/2"	6'-10 1/2"	E	P/P/P/P	96.30	TEMPERED GLAZING	0.30		
	07	9'-8"	3'-6"	6'-10 1/2"	A	C/P/C	33.80		0.30		
	08	2'-6"	2'-6"	6'-10 1/2"	F	A	6.25	TRANSLUCENT	0.3		
	09	2'-6"	2'-6"	6'-10 1/2"	F	A	6.25	TEMPERED, TRANSLUCENT	0.30		
	10	9'-0"	4'-0"	6'-10 1/2"	A	C/P/C	36.00	EGRESS	0.30		
	11	2'-6"	3'-6"	6'-10 1/2"	F	A	6.25	TEMPERED	0.30		
	12	2'-6"	3'-6"	6'-10 1/2"	F	A	6.25	TRANSLUCENT	0.30		
	13	6'-6"	2'-0"	7'-7 1/2"	H	P/P	26.00		0.30		
	14	6'-0"	4'-6"	8'-0"	G	P/P	27.00		0.30		
	14	6'-6"	2'-0"	7'-7 1/2"	H	P/P	26.00		0.30		
UPPER FLOOR											
	15	6'-6"	3'-6"	6'-10 1/2"	A	C/P/C	22.80		0.30		
	16	5'-0"	3'-6"	6'-10 1/2"	I	P/P	17.50	TEMPERED, UPPER: CLEAR; LOWER: TRANSLUCENT	0.30		
	17	5'-0"	3'-6"	6'-10 1/2"	I	P/P	17.50	TEMPERED, UPPER: CLEAR; LOWER: TRANSLUCENT	0.30		
	18	3'-0"	4'-0"	6'-10 1/2"	J	P	12.00		0.30		
	19	3'-0"	4'-0"	6'-10 1/2"	C	C	12.00	TRANSLUCENT	0.30		
	20	5'-0"	8'-0"	6'-10 1/2"	G	P/P	40.00	TEMPERED	0.30		
	21	9'-0"	3'-6"	6'-10 1/2"	A	C/P/C	22.80		0.30		
TOTAL EXTERIOR WINDOW AREA:							513.40				

MANUFACTURER: SIERRA PACIFIC OR EQUAL (TO BE SELECTED)
 SERIES: ALUMINUM CLAD EXTERIOR WITH PRIMED PINE INTERIOR

- NOTES:
 1. VERIFY ROUGH OPENING SIZES WITH SELECTED MANUFACTURER REQUIREMENTS
 2. SEE ELEVATIONS FOR CONFIGURATION
 3. VERIFY ALL SIZES AND ROUGH OPENINGS PRIOR TO CONSTRUCTION
 4. VERIFY EXISTING ROUGH OPENINGS WHERE WINDOWS ARE BEING REPLACED IN THE EXISTING OPENINGS PRIOR TO ORDERING THE WINDOWS
 5. CONTACT ARCHITECT IMMEDIATELY WITH QUESTIONS
 6. TRANSLUCENT GLASS TO BE SATIN ETCH. PROVIDE GLASS SAMPLE TO OWNER/ARCH FOR APPROVAL PRIOR TO ORDERING



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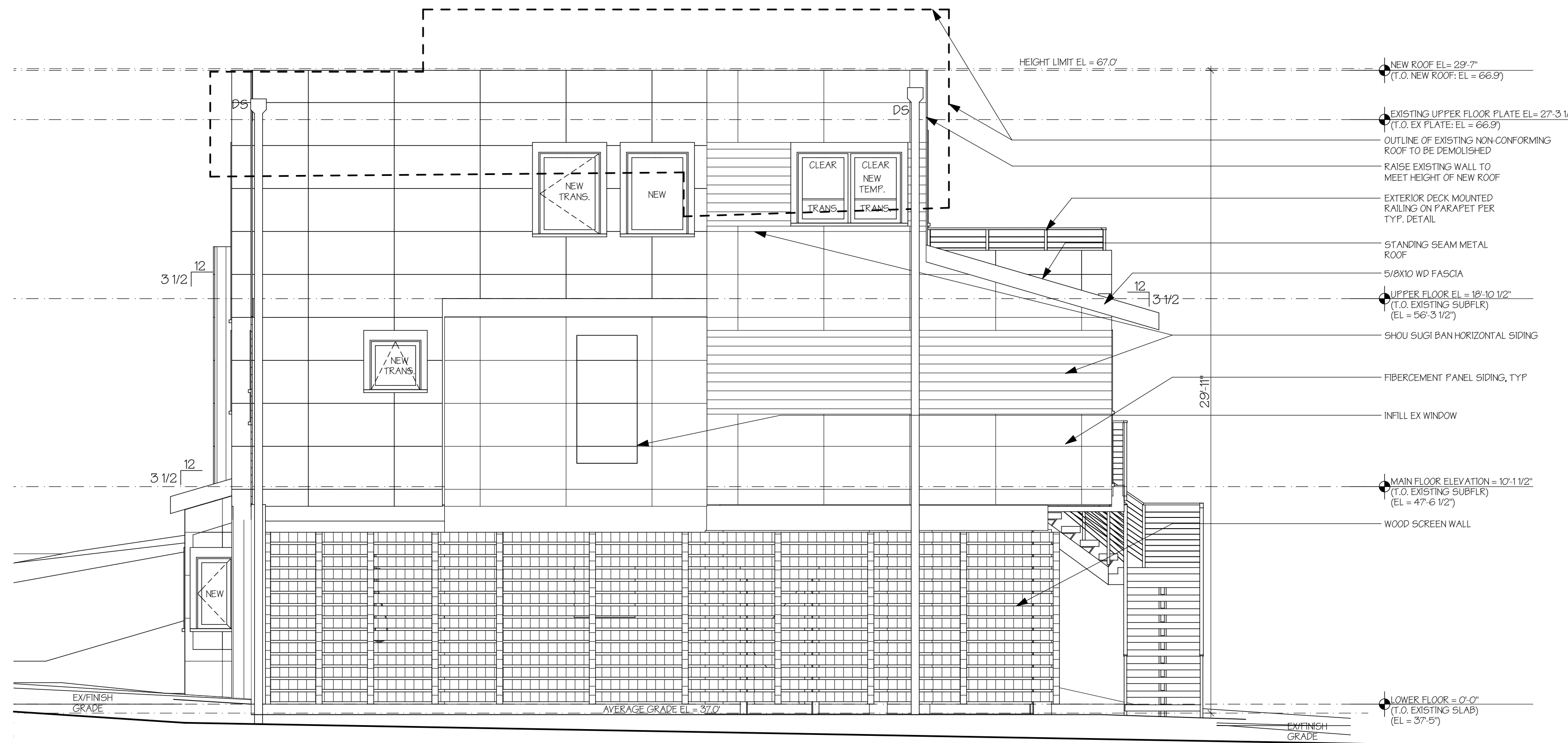
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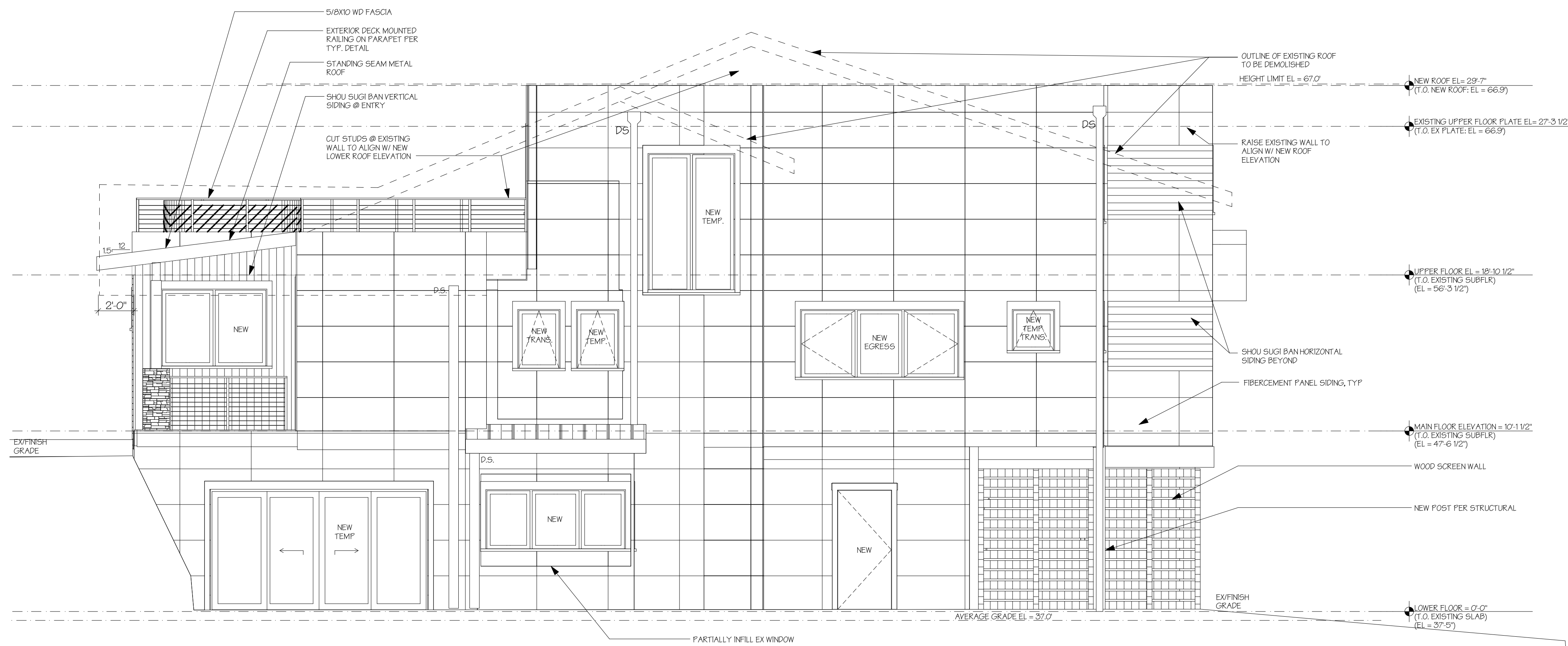
PERMIT SET

WINDOW AND DOOR
 SCHEDULES



EAST ELEVATION

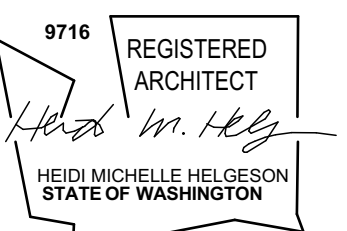
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

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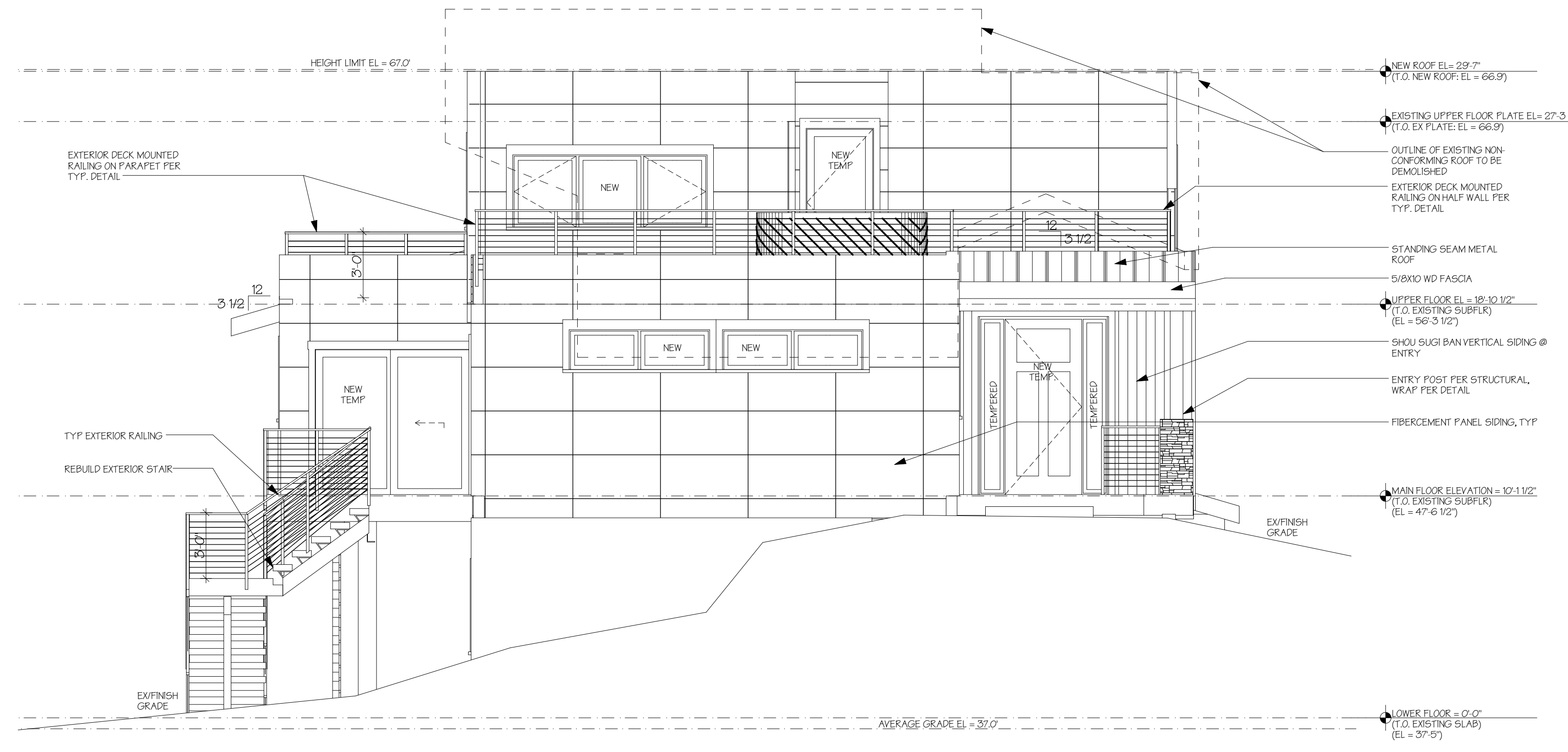
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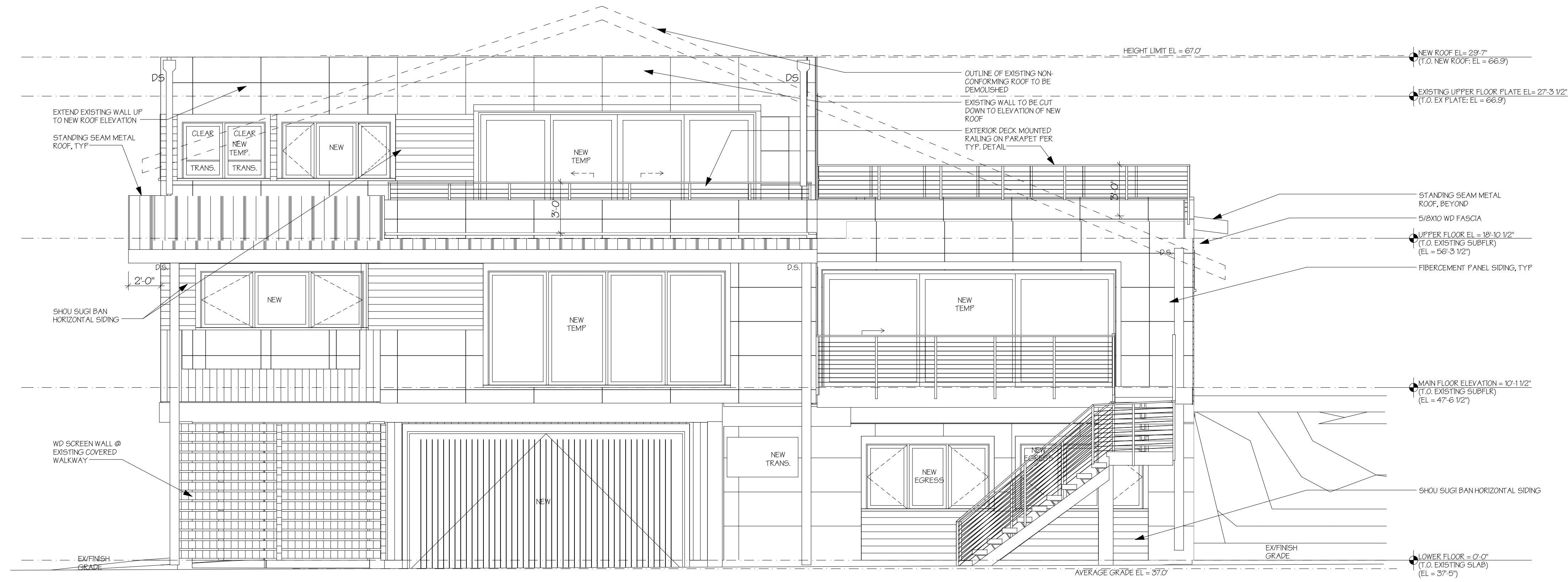
EXTERIOR ELEVATIONS

A2.0



WEST ELEVATION

SCALE: 1/4" = 1'-0"



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

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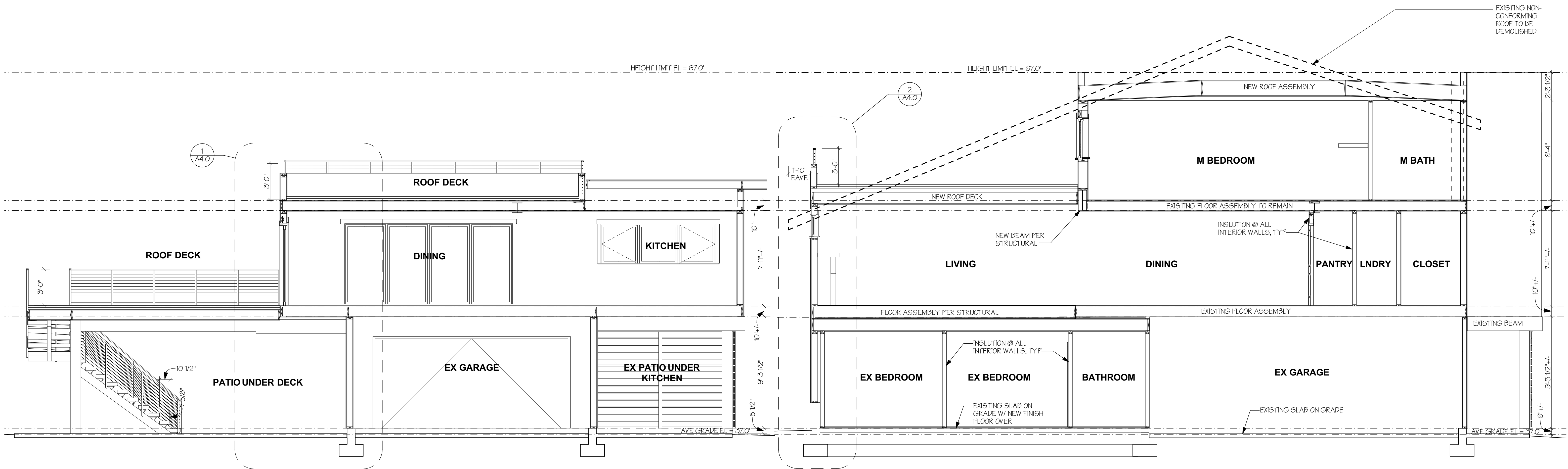
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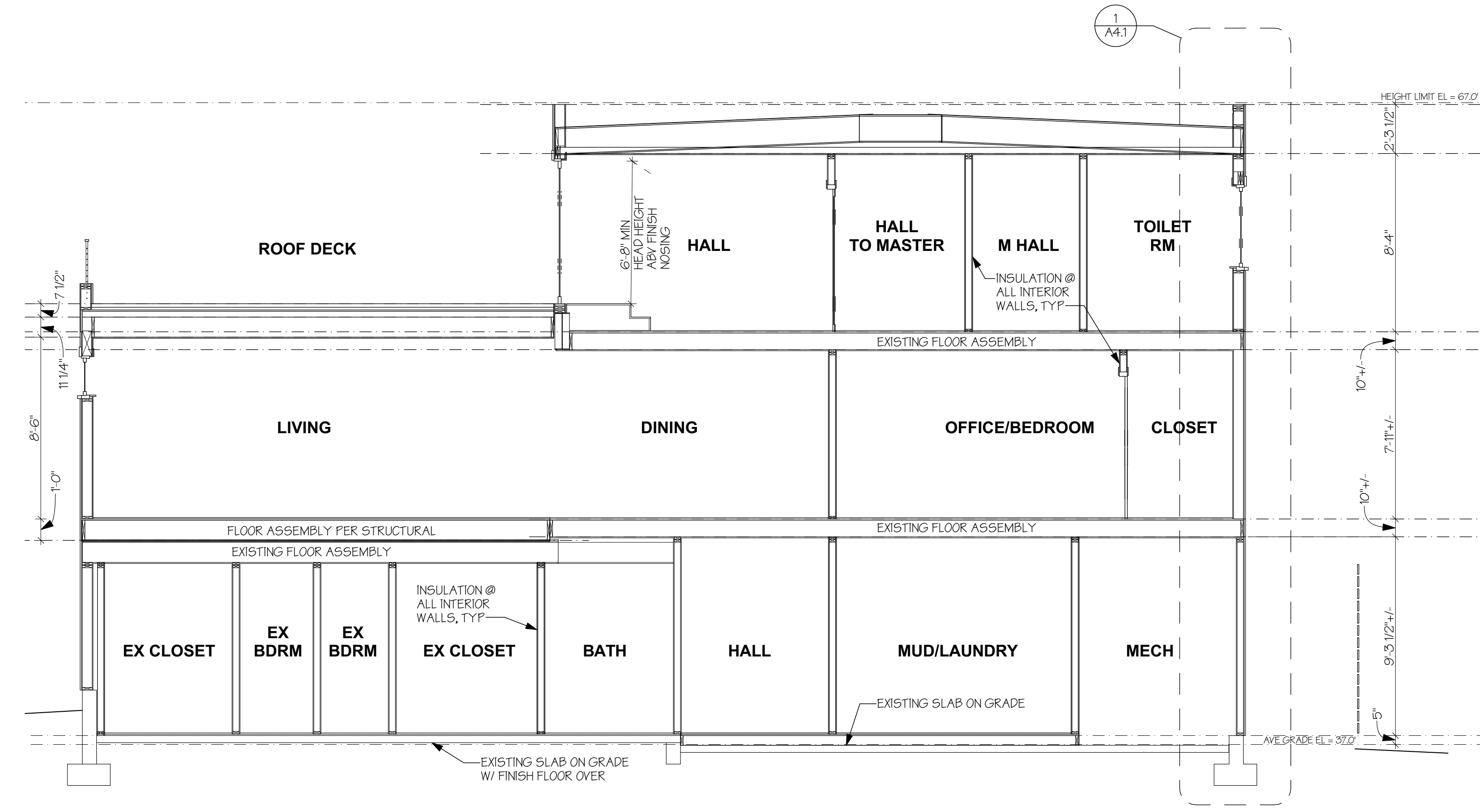
PERMIT SET

EXTERIOR ELEVATIONS



A BUILDING SECTION
SCALE: 1/4" = 1'-0"

B BUILDING SECTION
SCALE: 1/4" = 1'-0"



C BUILDING SECTION
SCALE: 1/4" = 1'-0"

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9716 REGISTERED ARCHITECT
Heidi M. Hely
HEIDI MICHELLE HELGESSON
STATE OF WASHINGTON

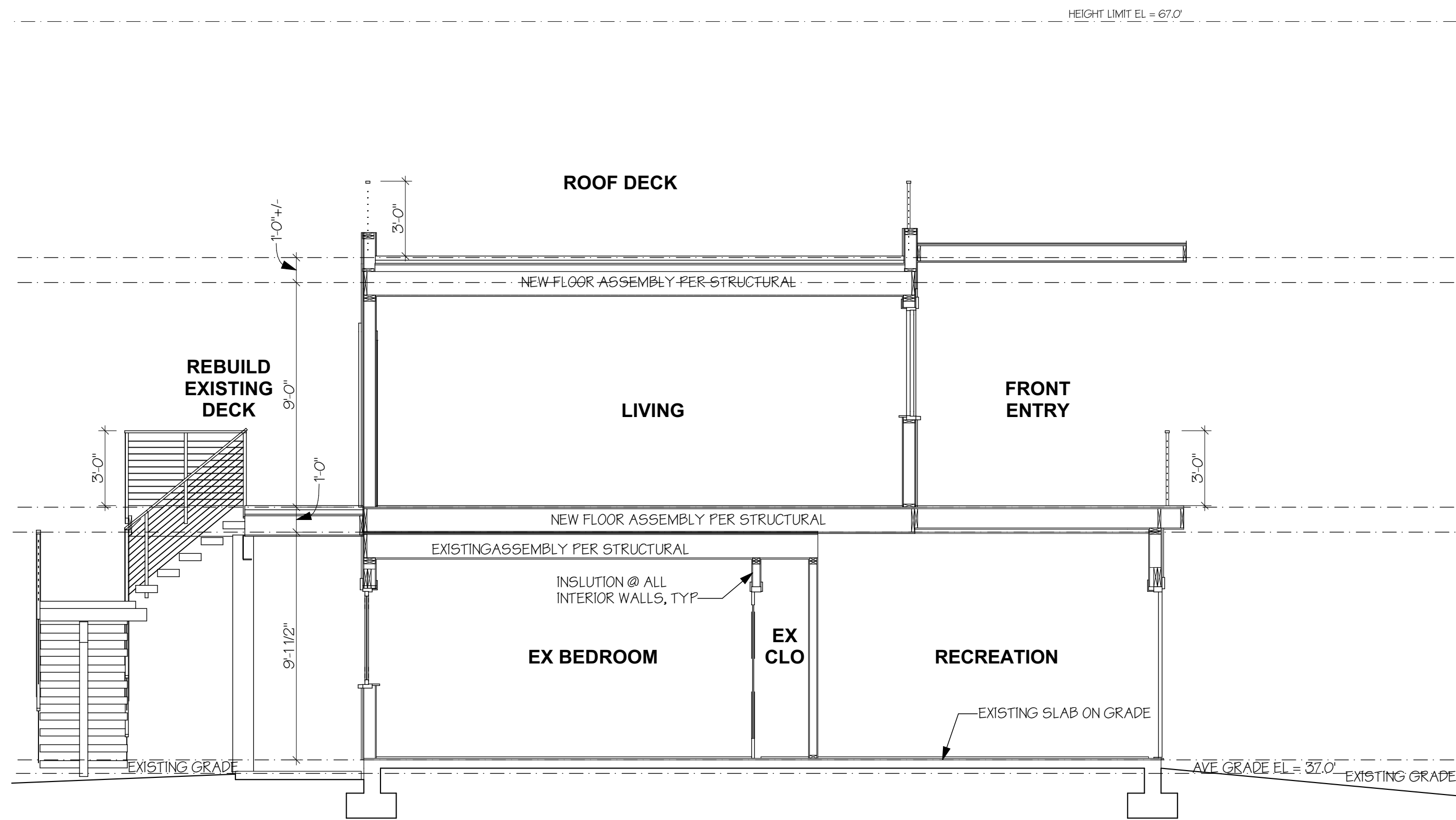


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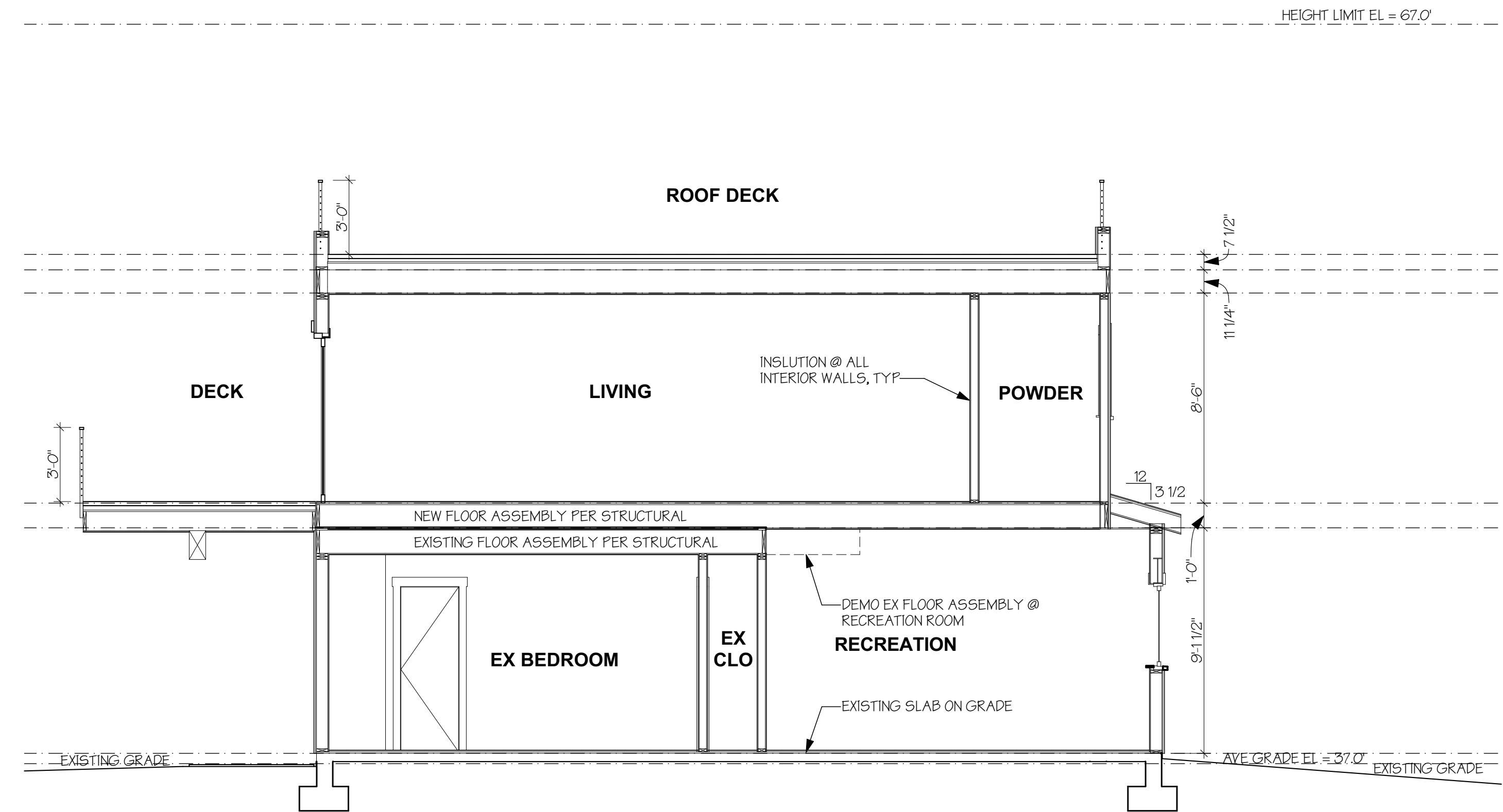
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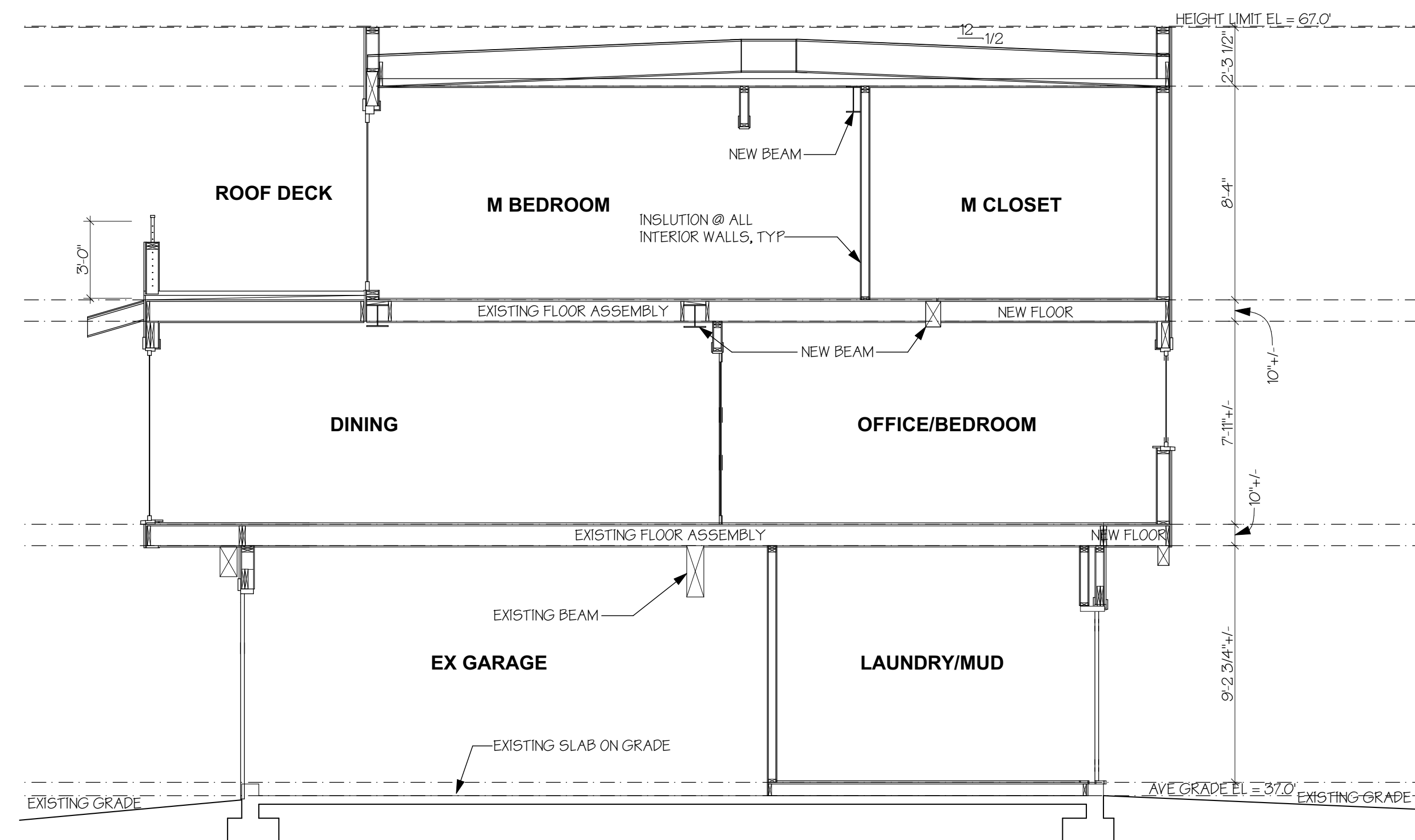
BUILDING SECTIONS



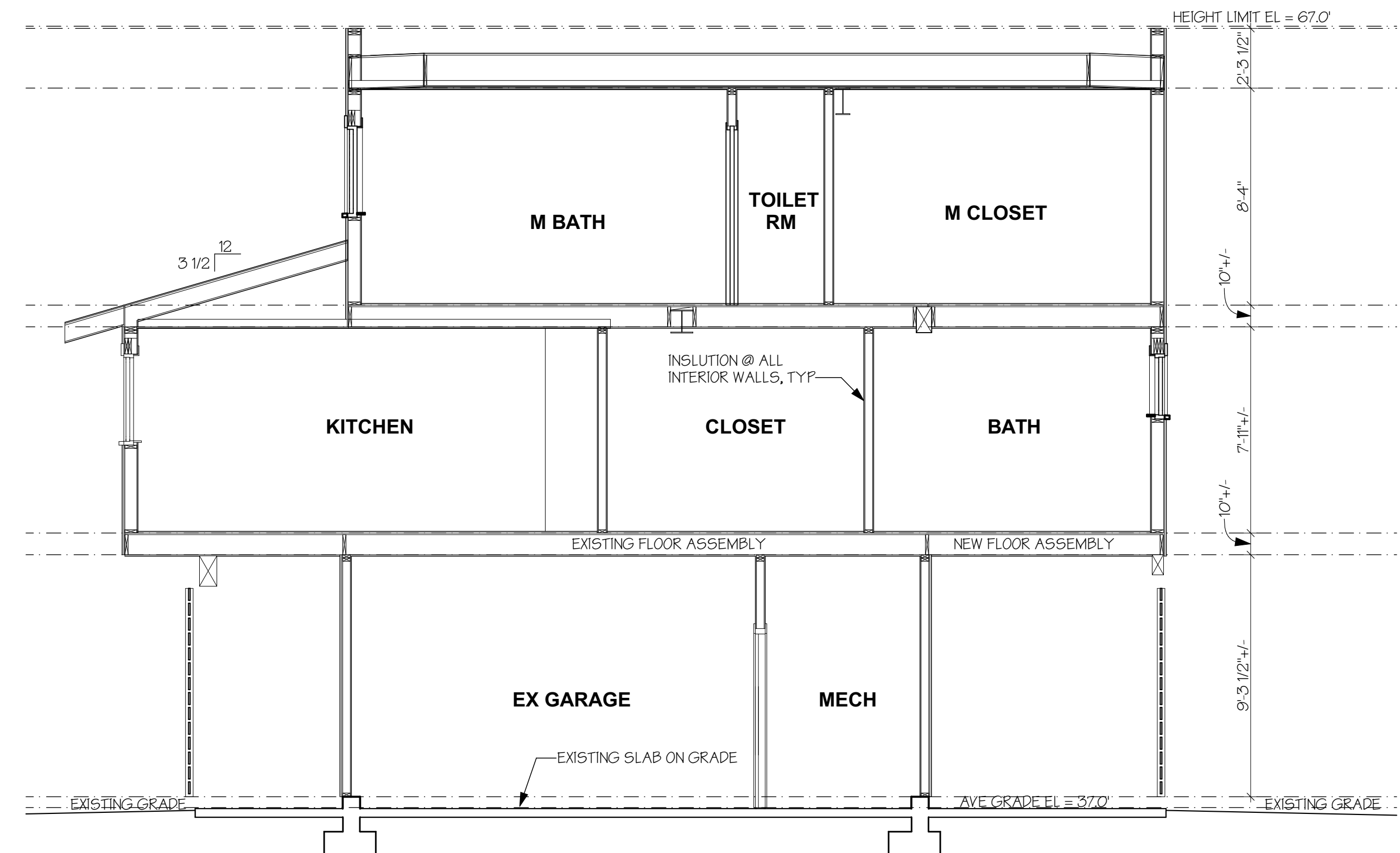
A BUILDING SECTION
SCALE: 1/4" = 1'-0"



B BUILDING SECTION
SCALE: 1/4" = 1'-0"

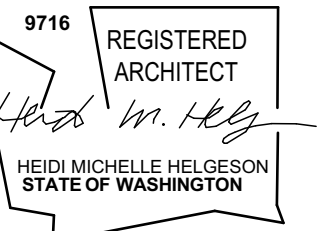


C BUILDING SECTION
SCALE: 1/4" = 1'-0"



D BUILDING SECTION
SCALE: 1/4" = 1'-0"

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BUILDING SECTIONS



TYP WATERPROOF ROOF DECK ASSEMBLY

- CONCRETE PAVERS
- APFIAN PEDESTAL SYSTEM
- FIBERGLASS WATERPROOFING SYSTEM; SLOPE MIN 1/4":12"
- MARINE GRADE PLYWOOD OR PER STRUCTURAL AND MANUFACTURER
- SLEEPERS CUT TO SLOPE (VERIFY W/ STRUCTURAL)
- FRAMING PER STRUCTURAL
- MIN R-30 INSULATION: 3" CLOSED CELL SPRAAY FOAM INSULATION (R-19 +/-) W/ MIN R-19 UNFACED BATT OR BLOWN-IN INSULATION; NON VENTED
- 5/8" GWB
- PVA PRIMER

TYP ROOF DECK PARTIAL WALL ASSEMBLY

- CEDAR SIDING
- 3/4" VENTED AIRSPACE W/ 1X4 P.T. FURRING STRIPS @ 16" O.C.
- 1 1/2" FURRING (FLUSH W/ EXTERIOR RIGID INSULATION BELOW)
- HENRY BLUESKIN VP100 BUILDING WRAP OR BETTER
- CDX PLYWOOD SHEATHING PER STRUCTURAL
- 2X6 FRAMING PER STRUCTURAL
- CDX PLYWOOD SHEATHING PER STRUCTURAL
- HENRY BLUESKIN VP100 BUILDING WRAP OR BETTER
- CEDAR SIDING

- HEADER PER STRUCTURAL W/ R-10 FOAM
- METAL FLASHING OVER WD TRIM, TYP

TYP NEW MAIN FLOOR ASSEMBLY OVER UNCONDITIONED SPACE

- FINISH FLOOR
- PLYWOOD SHEATHING PER STRUCTURAL
- FRAMING PER STRUCTURAL
- R-30 BATT INSULATION
- FURRED FRAMING TO MATCH CEILING HEIGHT @ ROOF DECKS
- 1/2" T&G CEDAR SOFFIT

TYP WATERPROOF DECK ASSEMBLY

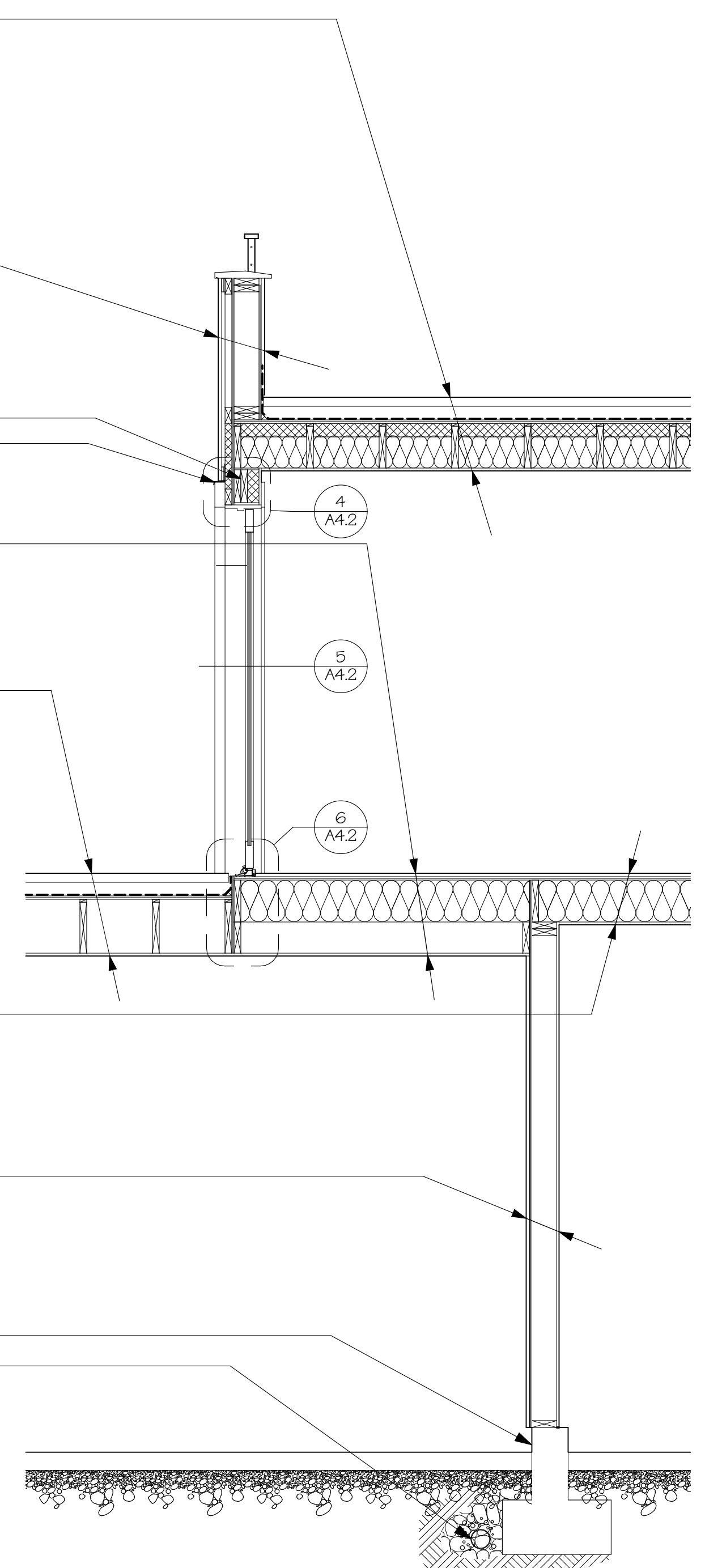
- CONCRETE PAVERS
- APFIAN PEDESTAL SYSTEM
- FIBERGLASS WATERPROOFING SYSTEM; SLOPE MIN 1/4":12"
- MARINE GRADE PLYWOOD OR PER STRUCTURAL AND MANUFACTURER
- SLEEPERS CUT TO SLOPE (VERIFY W/ STRUCTURAL)
- FRAMING PER STRUCTURAL
- 1/2" T&G CEDAR SOFFIT

TYP NEW MAIN FLOOR ASSEMBLY OVER UNCONDITIONED SPACE

- FINISH FLOOR
- PLYWOOD SHEATHING PER STRUCTURAL
- FRAMING PER STRUCTURAL
- R-30 BATT INSULATION
- 5/8" GWB (5/8" TYPE 'X' GWB @ AREAS OVER GARAGE)
- PVA PRIMER

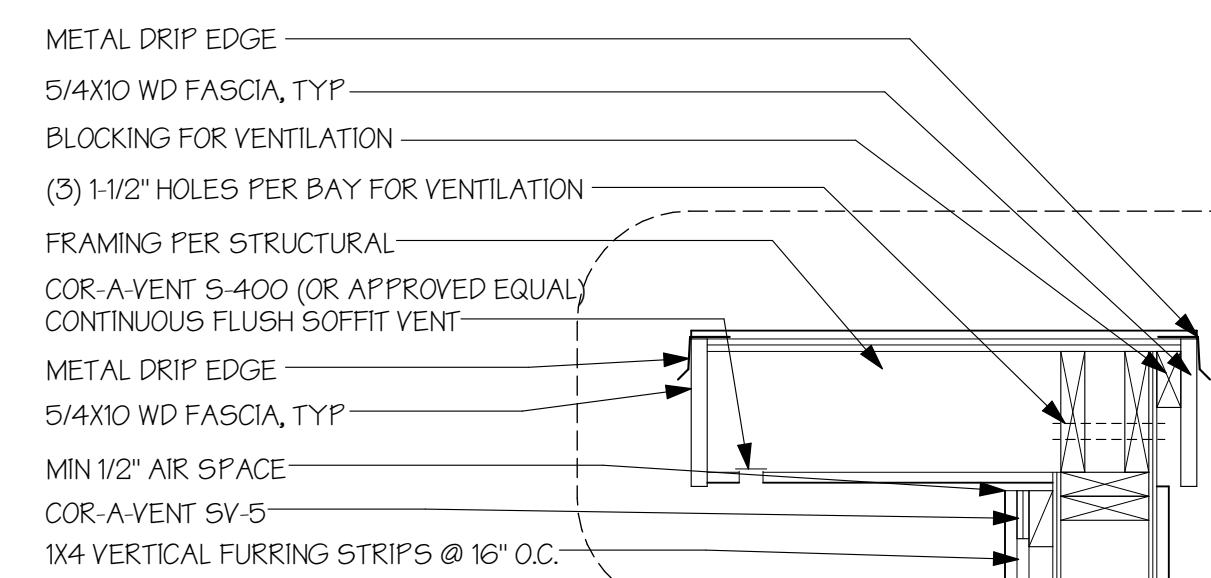
TYP EX EXTERIOR WALL ASSEMBLY @ GARAGE

- CEDAR SIDING
- 3/4" VENTED AIRSPACE W/ 1X4 P.T. FURRING STRIPS @ 16" O.C.
- 1 1/2" FURRING (FLUSH W/ EXTERIOR RIGID INSULATION BELOW)
- HENRY BLUESKIN VP100 BUILDING WRAP OR BETTER
- EXISTING SHEATHING OR PER STRUCTURAL
- EXISTING FRAMING
- 1/2" GWB
- PVA PRIMER
- EXIST CONCRETE FOUNDATION AND FOOTING TO REMAIN OR PER STRUCTURAL
- EXIST FOOTING DRAIN TO REMAIN (VERIFY)



1 WALL SECTION

SCALE: 1/2" = 1'-0"



TYP EAVE ASSEMBLY @ ROOF DECK
 T=1'-0"

- TYP WATERPROOF ROOF DECK ASSEMBLY PER 1/A4.0
- TYP ROOF DECK PARTIAL WALL ASSEMBLY PER 1/A4.0

- METAL FLASHING OVER WD TRIM, TYP
- HEADER PER STRUCTURAL W/ R-10 FOAM

TYP NEW FLOOR ASSEMBLY

- FINISH FLOOR
- PLYWOOD SHEATHING PER STRUCTURAL
- FRAMING PER STRUCTURAL
- INSULATION
- 5/8" GWB

TYP MAIN FLOOR EXTERIOR WALL ASSEMBLY

- CEDAR SIDING
- 3/4" VENTED AIRSPACE W/ 1X4 P.T. FURRING STRIPS @ 16" O.C.
- 1 1/2" RIGID INSULATION
- HENRY BLUESKIN VP100 BUILDING WRAP OR BETTER
- CDX PLYWOOD SHEATHING PER STRUCTURAL
- 2X6 FRAMING PER STRUCTURAL
- R-21 BATT INSULATION
- 1/2" GWB
- PVA PRIMER

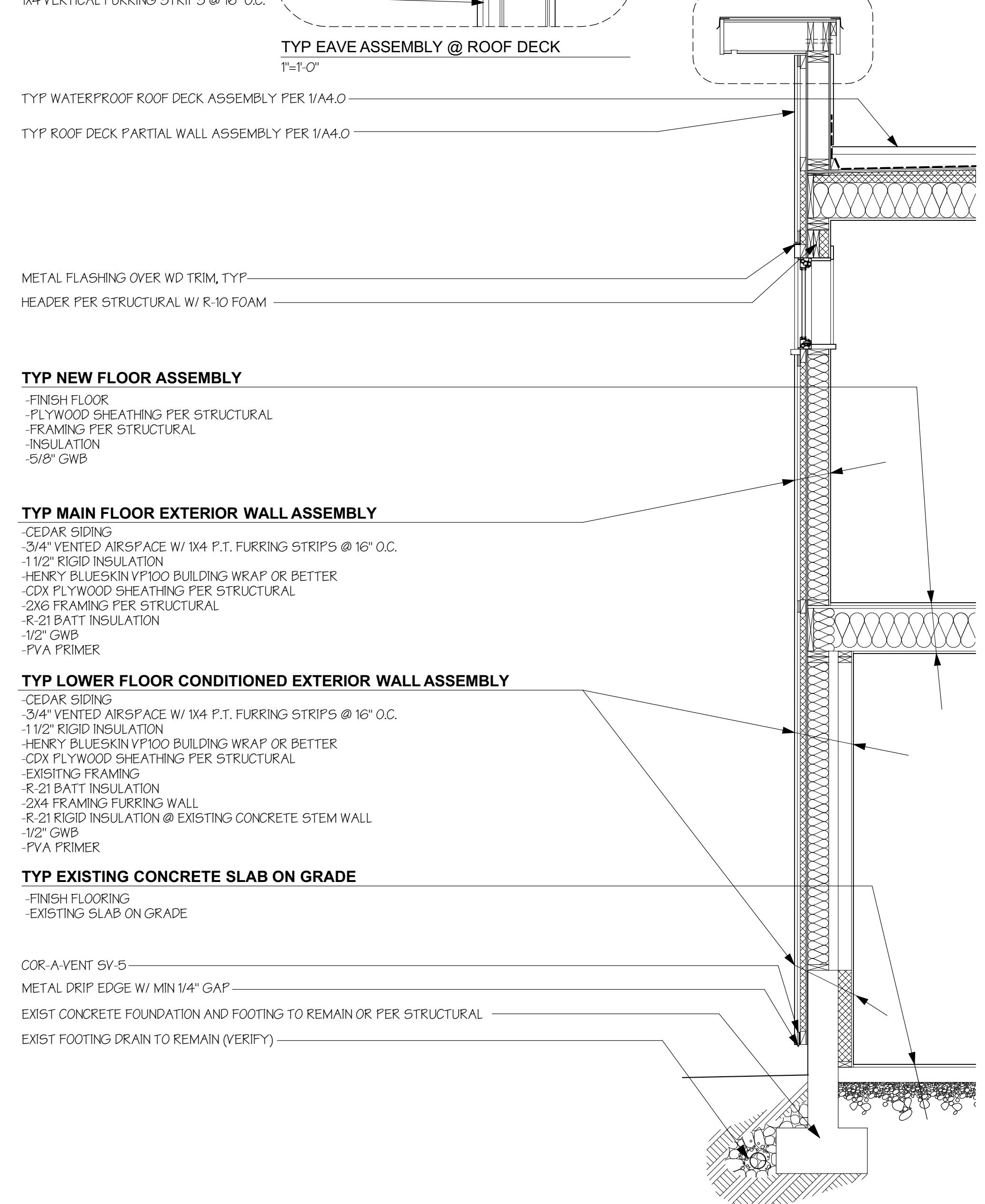
TYP LOWER FLOOR CONDITIONED EXTERIOR WALL ASSEMBLY

- CEDAR SIDING
- 3/4" VENTED AIRSPACE W/ 1X4 P.T. FURRING STRIPS @ 16" O.C.
- 1 1/2" RIGID INSULATION
- HENRY BLUESKIN VP100 BUILDING WRAP OR BETTER
- CDX PLYWOOD SHEATHING PER STRUCTURAL
- EXISTING FRAMING
- R-21 BATT INSULATION
- 2X4 FRAMING FURRING WALL
- R-21 RIGID INSULATION @ EXISTING CONCRETE STEM WALL
- 1/2" GWB
- PVA PRIMER

TYP EXISTING CONCRETE SLAB ON GRADE

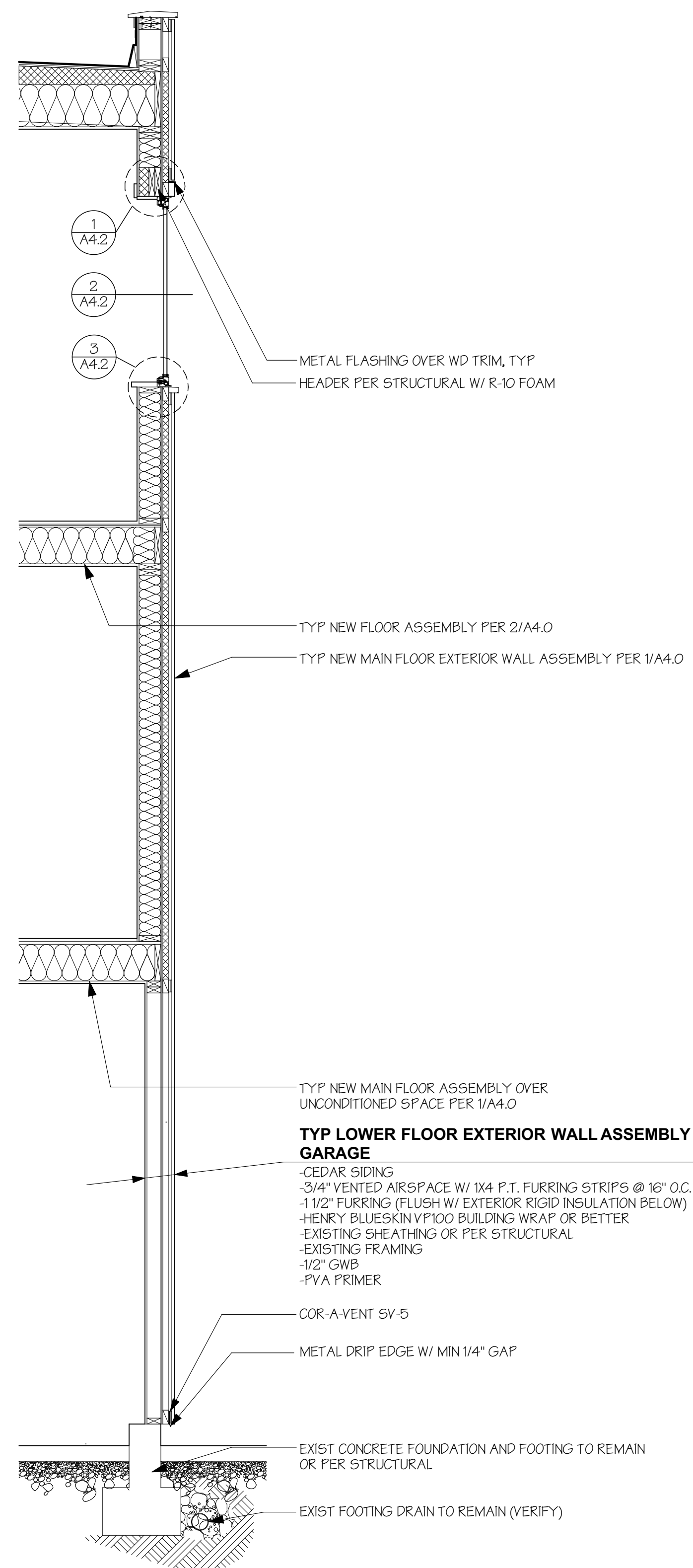
- FINISH FLOORING
- EXISTING SLAB ON GRADE

- COR-A-VENT SV-5
- METAL DRIP EDGE W/ MIN 1/4" GAP
- EXIST CONCRETE FOUNDATION AND FOOTING TO REMAIN OR PER STRUCTURAL
- EXIST FOOTING DRAIN TO REMAIN (VERIFY)



2 WALL SECTION

SCALE: 1/2" = 1'-0"



1 WALL SECTION
SCALE: 1/2" = 1'-0"

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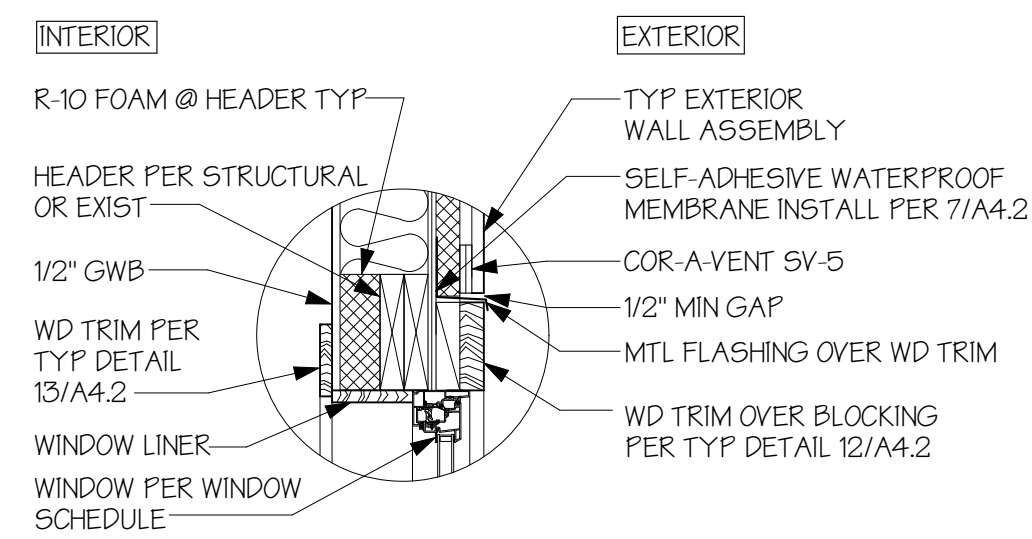
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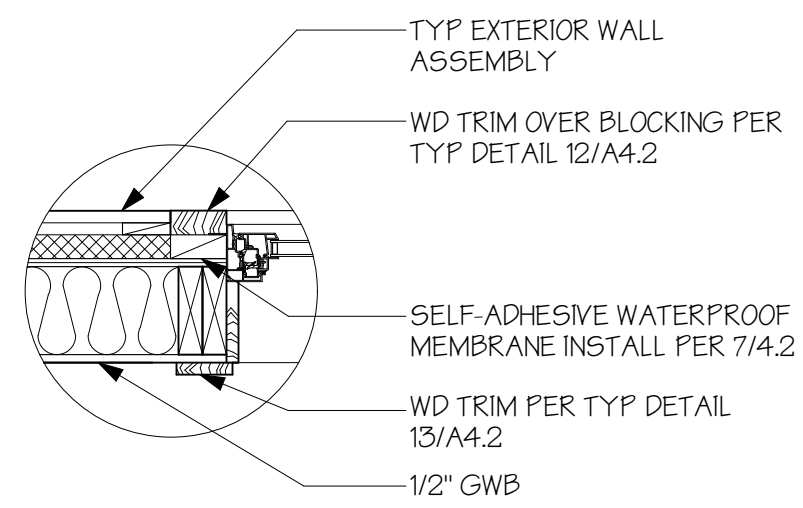
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WALL SECTION

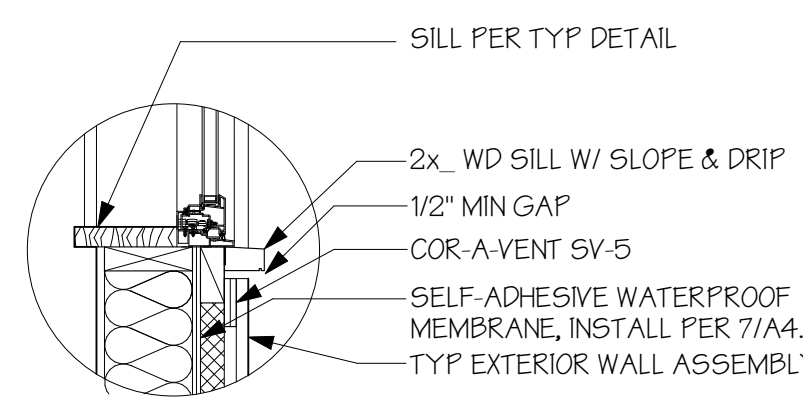
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1 TYP WINDOW HEAD
1" = 1'-0"

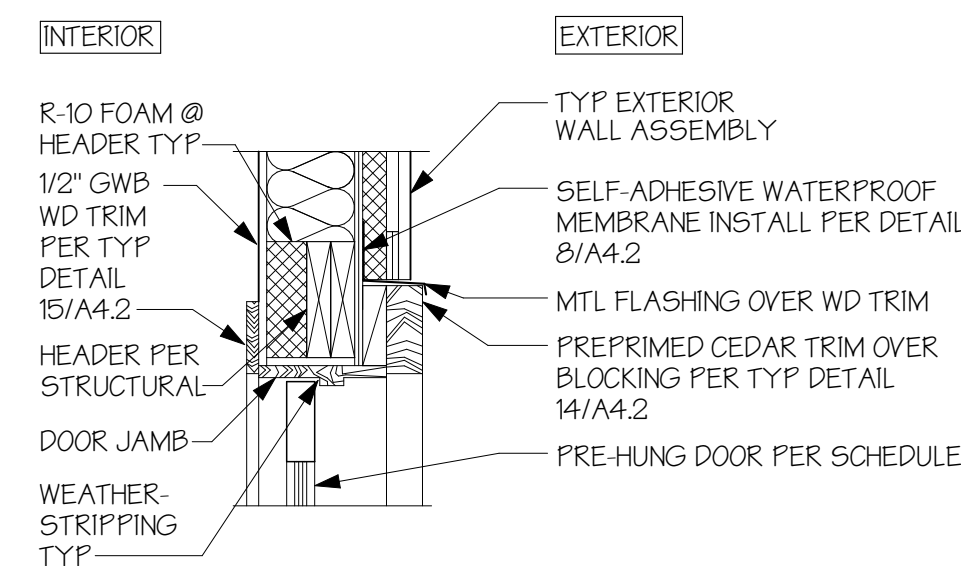


2 TYP WINDOW JAMB
1" = 1'-0"

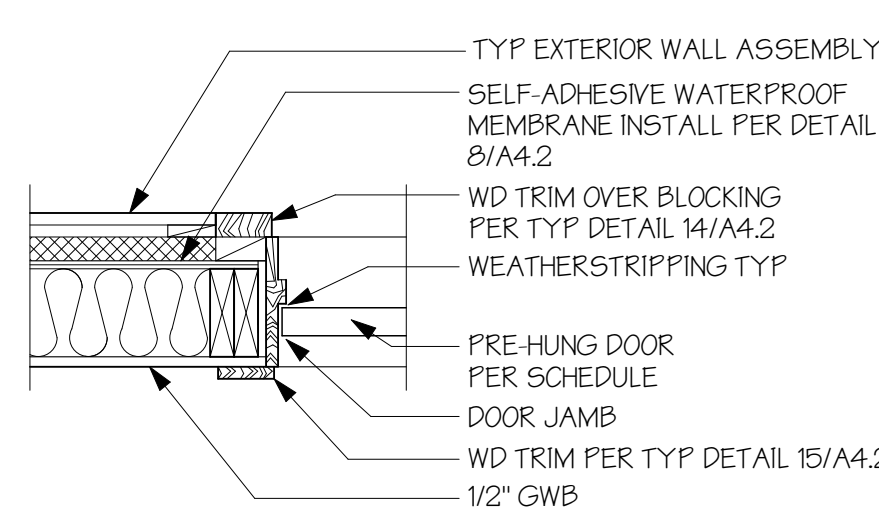


3 TYP WINDOW SILL
1" = 1'-0"

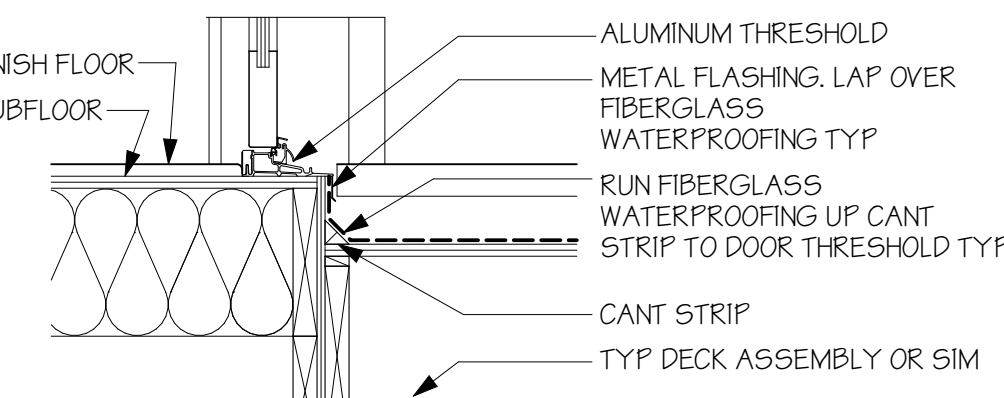
TYPICAL WINDOW NOTE:
1. INSTALL BACKER ROD AND/OR FOAM INSULATION @ ANY GAP BETWEEN WINDOW AND ROUGH FRAME, TYP



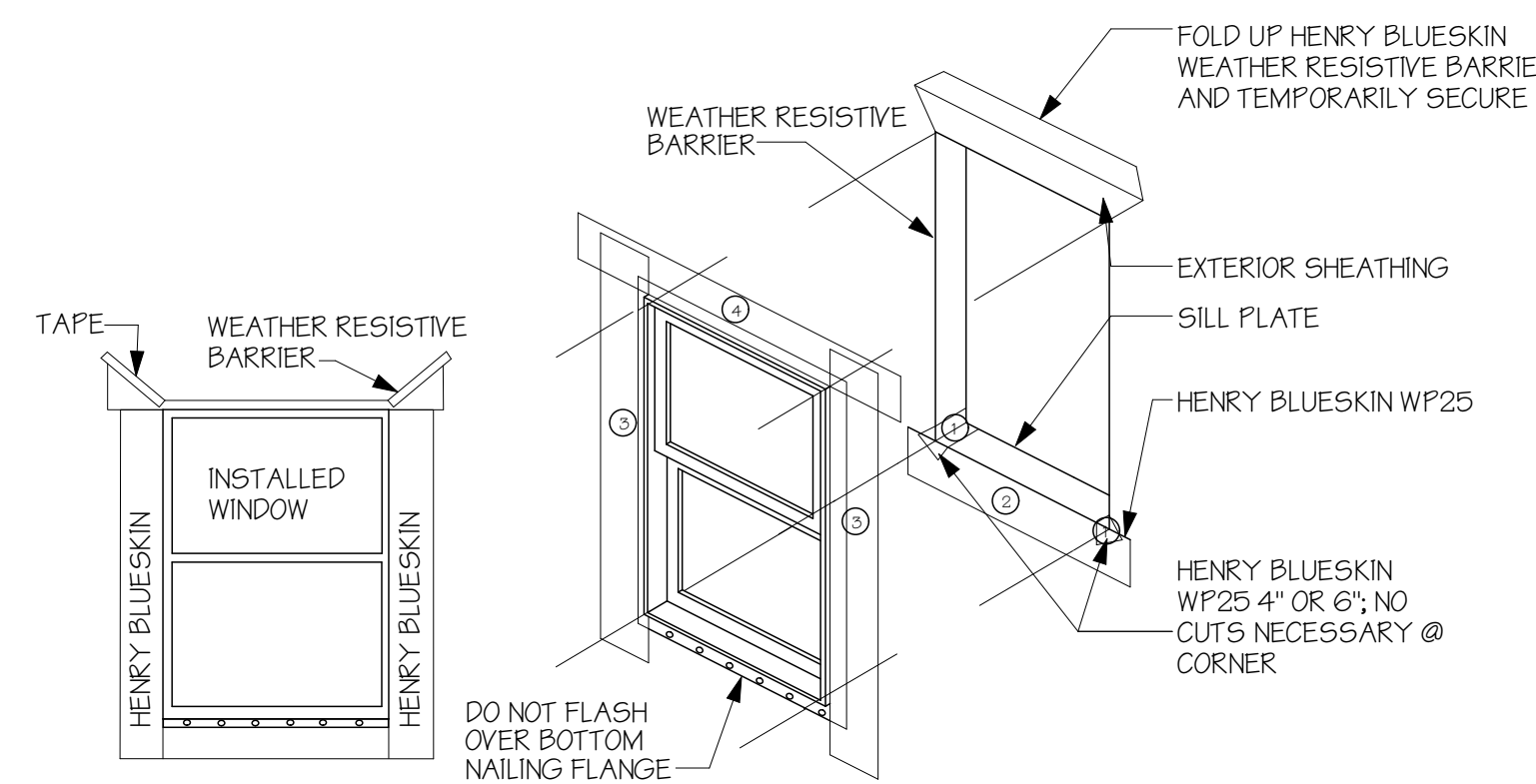
4 TYP EXTERIOR DOOR HEAD
1" = 1'-0"



5 TYP EXTERIOR DOOR JAMB
1" = 1'-0"

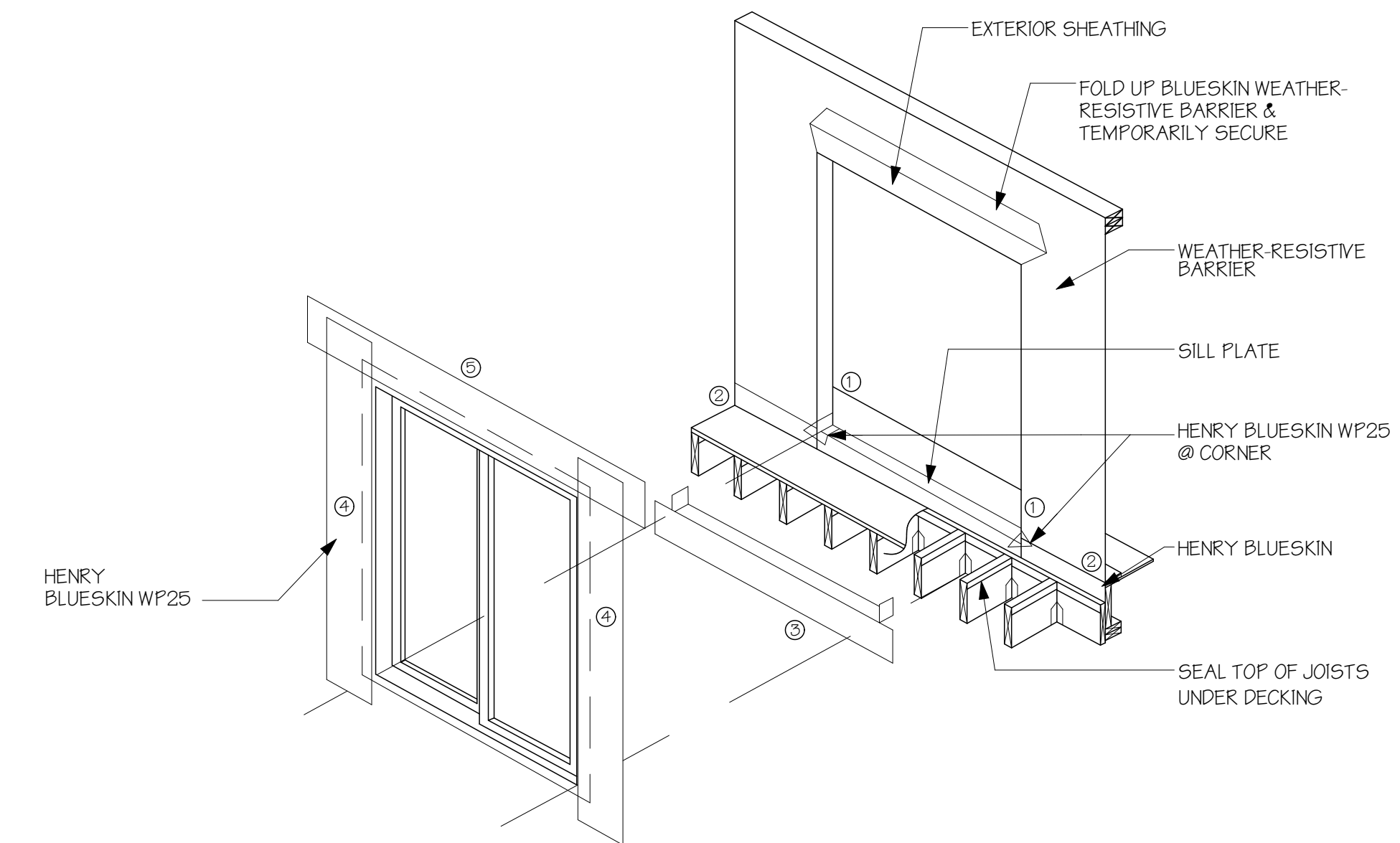


6 TYP DOOR THRESHOLD
1" = 1'-0"



- WINDOW FLASHING
- CUT THE BLUESKIN FLUSH WITH THE ROUGH OPENING
 - CUT THE BLUESKIN AT 45 DEGREE ANGLE TO A POINT 9\"/>
 - FOLD UP BLUESKIN FLAP AT HEAD AND TEMPORARILY SECURE WITH TAPE
 - CUT BLUESKIN WP25 (4\"/>
 - FOLD BLUESKIN WP25 ALONG THE SPLIT BACKING PAPER
 - SLIDE INTO CORNER
 - PEEL OFF ONE BACKING STRIP AFTER ANOTHER AND PRESS ON FIRMLY
 - STARTING AT THE CORNER, SPREAD THE LOOSE END OF THE BLUESKIN WP25 GRADUALLY ONTO THE WALL FACE
 - USE BOTH THUMBS FOR A UNIFORM APPLICATION AND PRESS ON FIRMLY
 - REPEAT STEPS 8 AND 9 TO SEAL ALL CORNERS
 - CUT BLUESKIN WP25 6\"/>
 - PEEL OFF SECOND BACKING PAPER AND SEAL ONTO THE WALL FACE/FACADE AND PRESS ON FIRMLY
 - REPEAT STEPS 11-14 TO SEAL ALL EDGES OF THE RO: SILL, JAMBS, AND HEAD
 - INSTALL THE WINDOW ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS, UNLESS SPECIFIED, SEALANT IS NOT REQUIRED BEHIND THE NAIL FLANGE
 - USE BLUESKIN WP25 4\"/>
 - BOTTOM FLANGE REMAINS UNTAPED JAMB FLASHING EXTENDS 2\"/>
 - HEAD FLASHING EXTENDS 1\"/>
 - DRAP THE BLUESKIN FLAP OVER THE HEAD FLASHING
 - SEAL THE 45 DEGREE CUTS WITH BLUESKIN

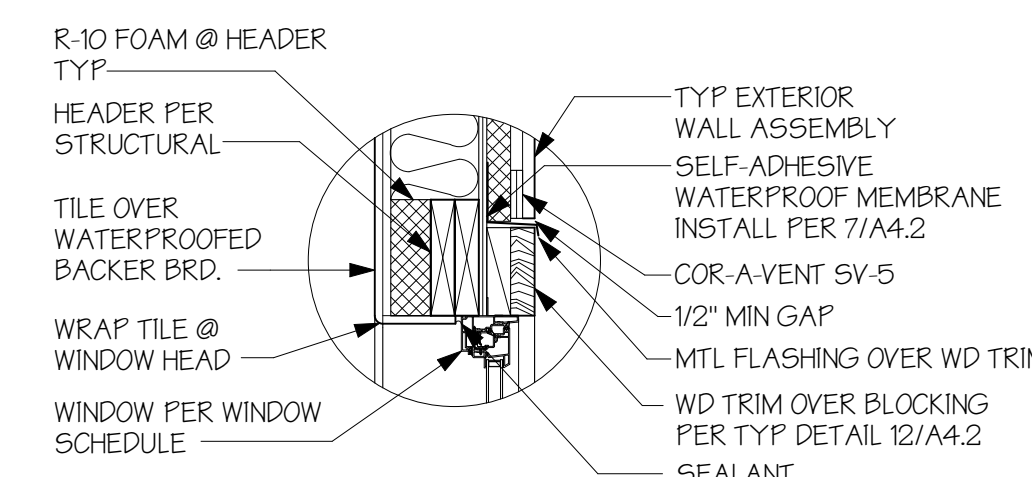
7 HENRY BLUESKIN WP25 FLASHING DTL
N.T.S.



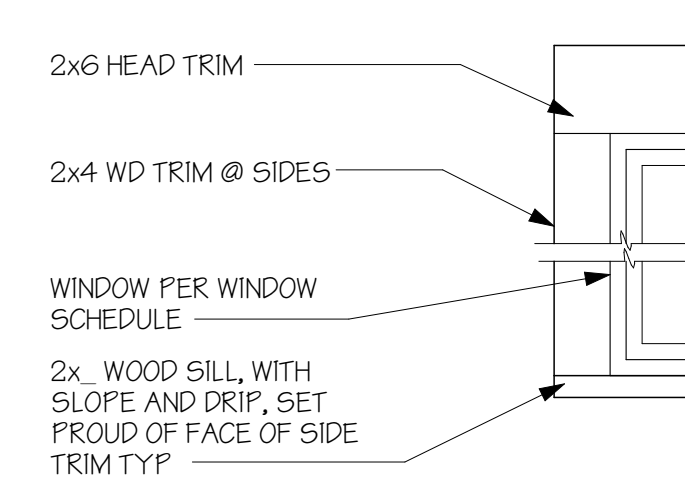
- TIE-IN WITH WEATHER RESISTIVE BARRIER INSTRUCTIONS
- INTEGRATE INSTALLATION OF HENRY BLUESKIN WEATHER-RESISTIVE BARRIER WITH HENRY BLUESKIN WP25 TO FORM WATER SHEDDING LAPS
 - SCORE AND FOLD WEATHER-RESISTIVE BARRIER ABOVE HEADER TO ALLOW FOR HENRY BLUESKIN WP25 INSTALLATION
 - INSTALL HENRY BLUESKIN WP25 HEAD FLASHING UNDER WEATHER-RESISTIVE BARRIER
 - FOLD WEATHER-RESISTIVE BARRIER BACK OVER HEAD FLASHING AND SEAL WITH HENRY BLUESKIN TAPE

NOTES:
1. VISIT RESIDENTIAL.HENRY.COM FOR THE MOST CURRENT DETAILS, INSTALLATION VIDEOS AND PRODUCT DATA SHEETS
2. INSTALL HENRY BLUESKIN WP25 IN ORDER AS SHOWN BY NUMBERS

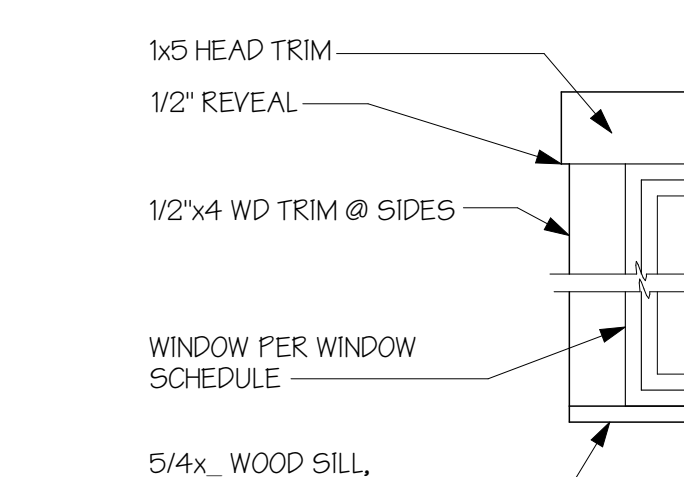
8 HENRY BLUESKIN WP25 FLASHING DTL @ EXTERIOR
N.T.S.



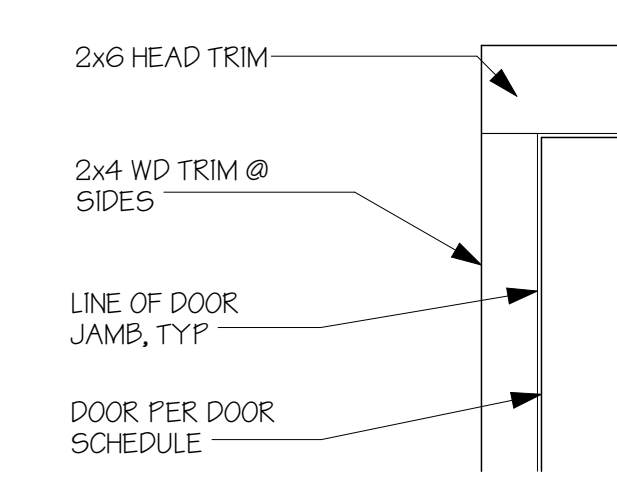
9 TYP WNDW HEAD @ SHOWER
1" = 1'-0"



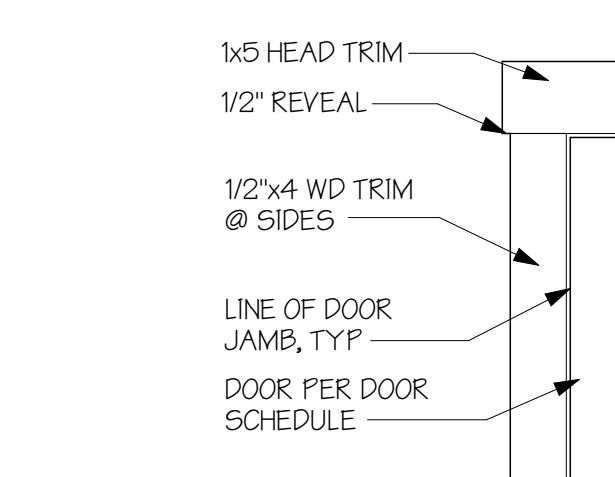
12 TYP EXT. WNDW TRIM
1" = 1'-0"



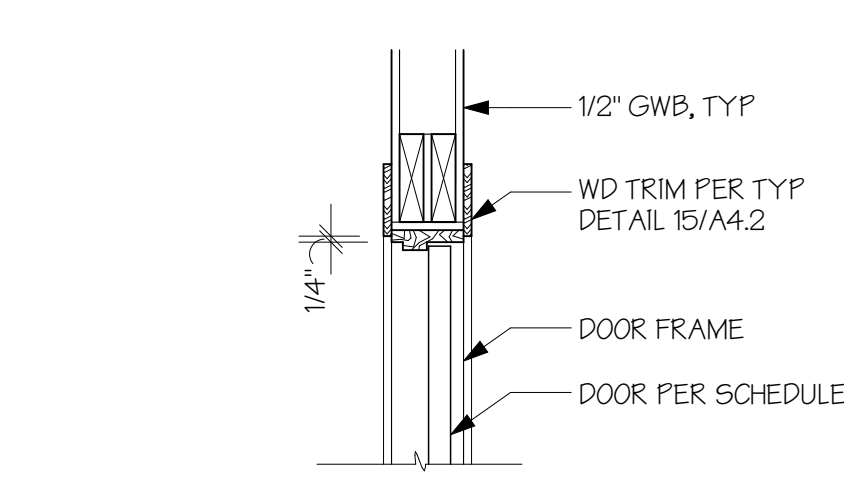
13 TYP INT. WNDW TRIM
1" = 1'-0"



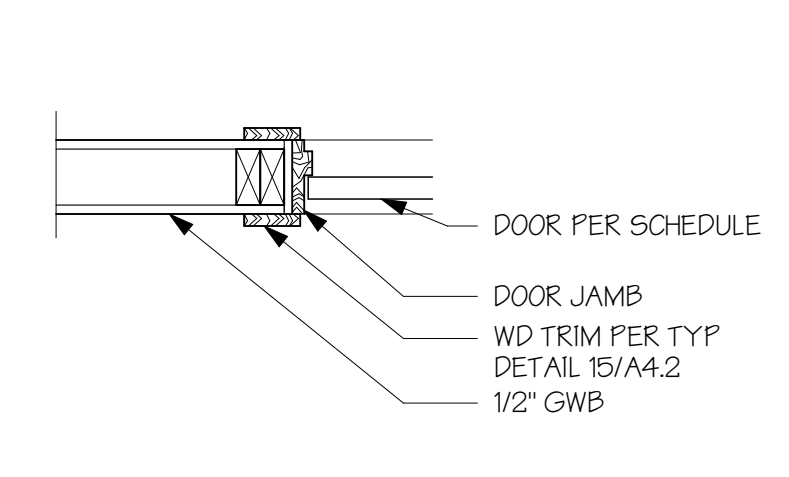
14 TYP EXT. DOOR TRIM
1" = 1'-0"



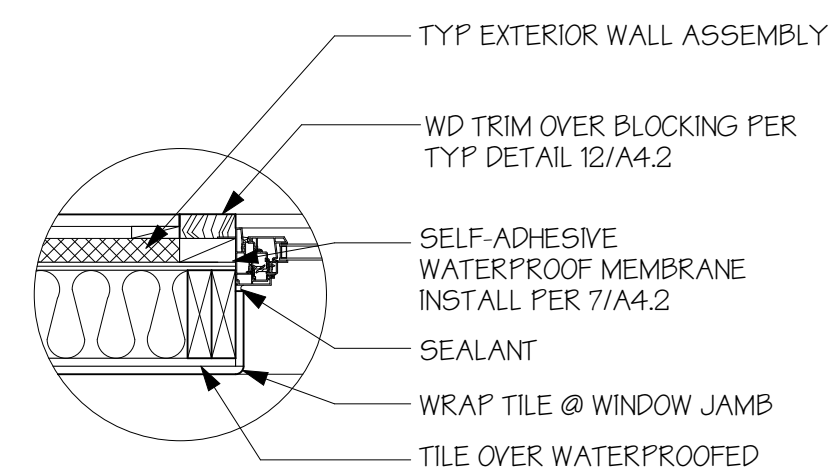
15 TYP INT. DOOR TRIM
1" = 1'-0"



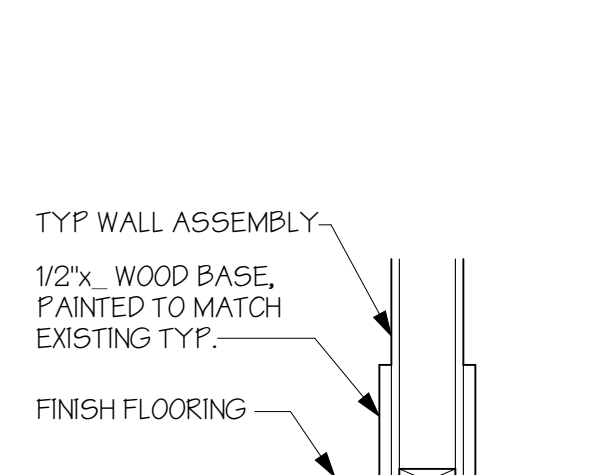
16 TYP INT DOOR HEAD
1" = 1'-0"



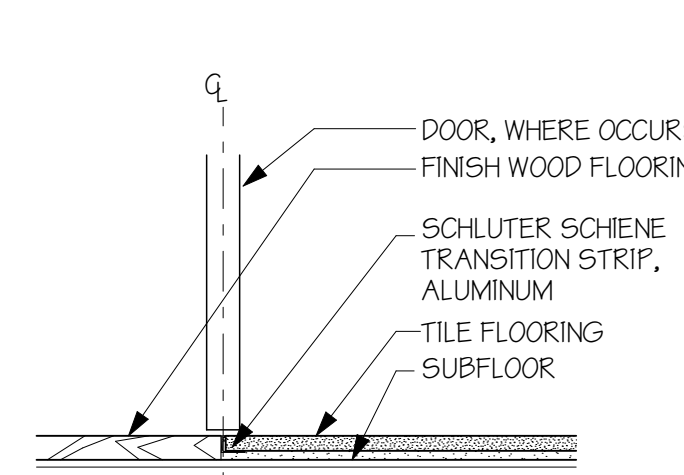
17 TYP INT DOOR JAMB
1" = 1'-0"



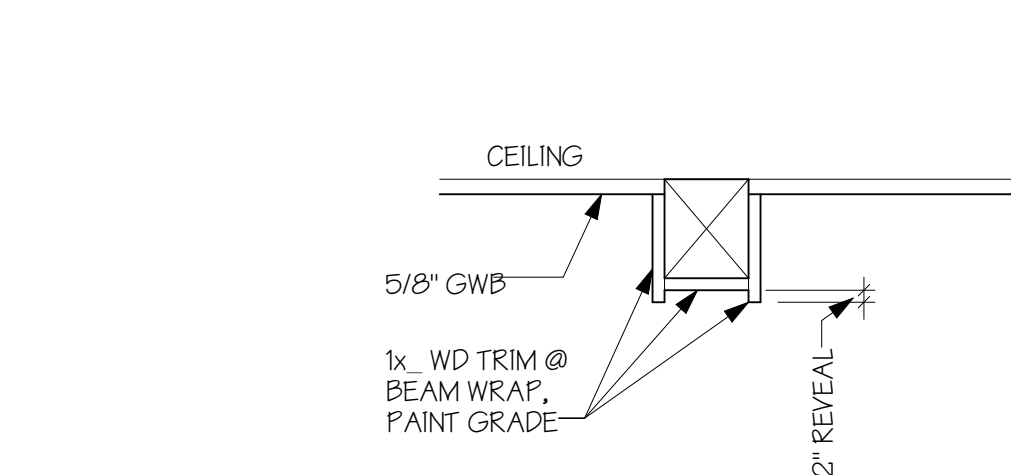
10 TYP WNDW JAMB @ SHOWER
1" = 1'-0"



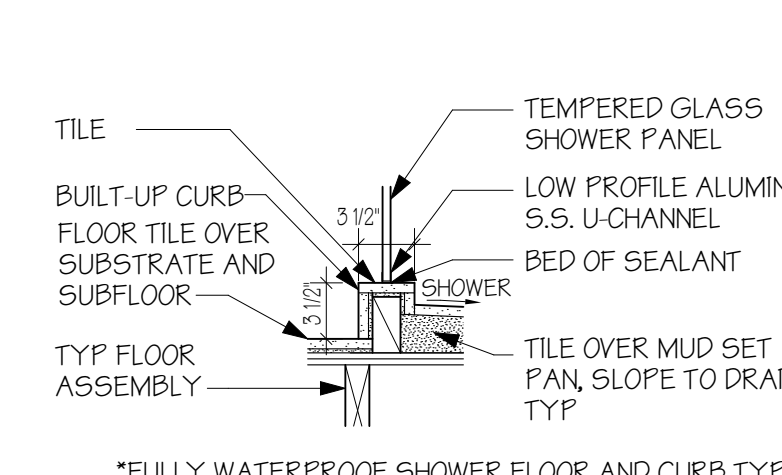
18 TYP WD BASE DTL
3/4\"/>



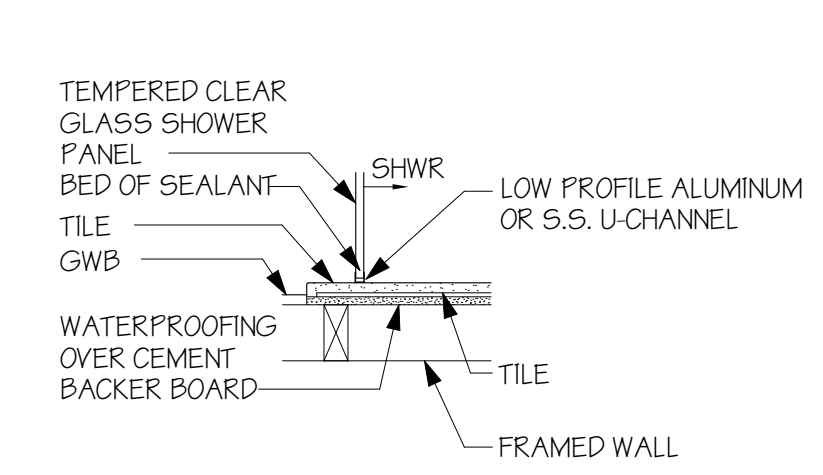
19 TYP WD TO TILE TRANSITION
1-1/2\"/>



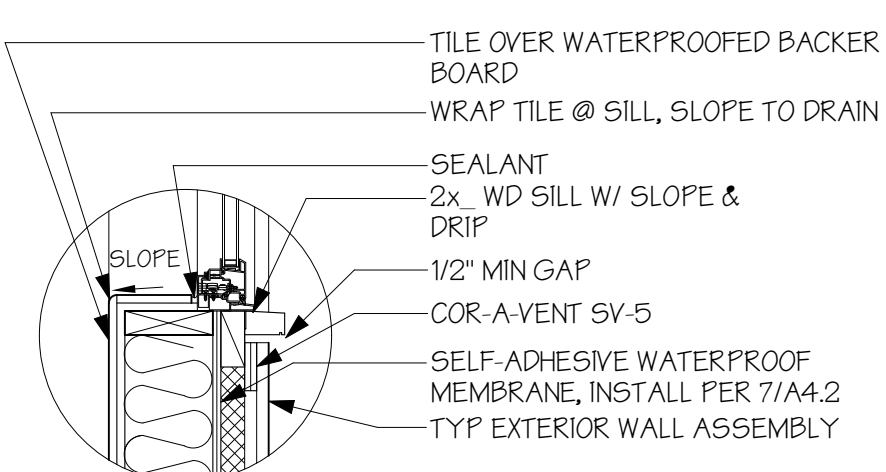
20 TYP BOX BEAM DETAIL
1-1/2\"/>



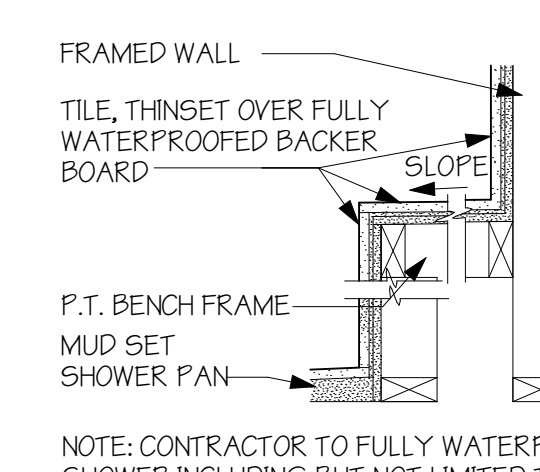
21 TYP U-CHANNEL DTL @ CURB
1" = 1'-0"



22 TYP U-CHANNEL @ WALL
1" = 1'-0" PLAN VIEW



11 TYP WNDW SILL @ SHOWER
1" = 1'-0"



23 TYP BENCH DTL - SECTION
1-1/2\"/>

NOTE: CONTRACTOR TO FULLY WATERPROOF ALL AREAS OF SHOWER INCLUDING BUT NOT LIMITED TO NICHE, WALLS, SHOWER PAN, AND CURB

WERELIUS RESIDENCE
8452 NORTH MERCER WAY
MERCER ISLAND WA 98040

9716 REGISTERED ARCHITECT
Heidi M. Kelly
HEIDI MICHELLE HELGESSON
STATE OF WASHINGTON



H 2 D
ARCHITECTURE
+
DESIGN

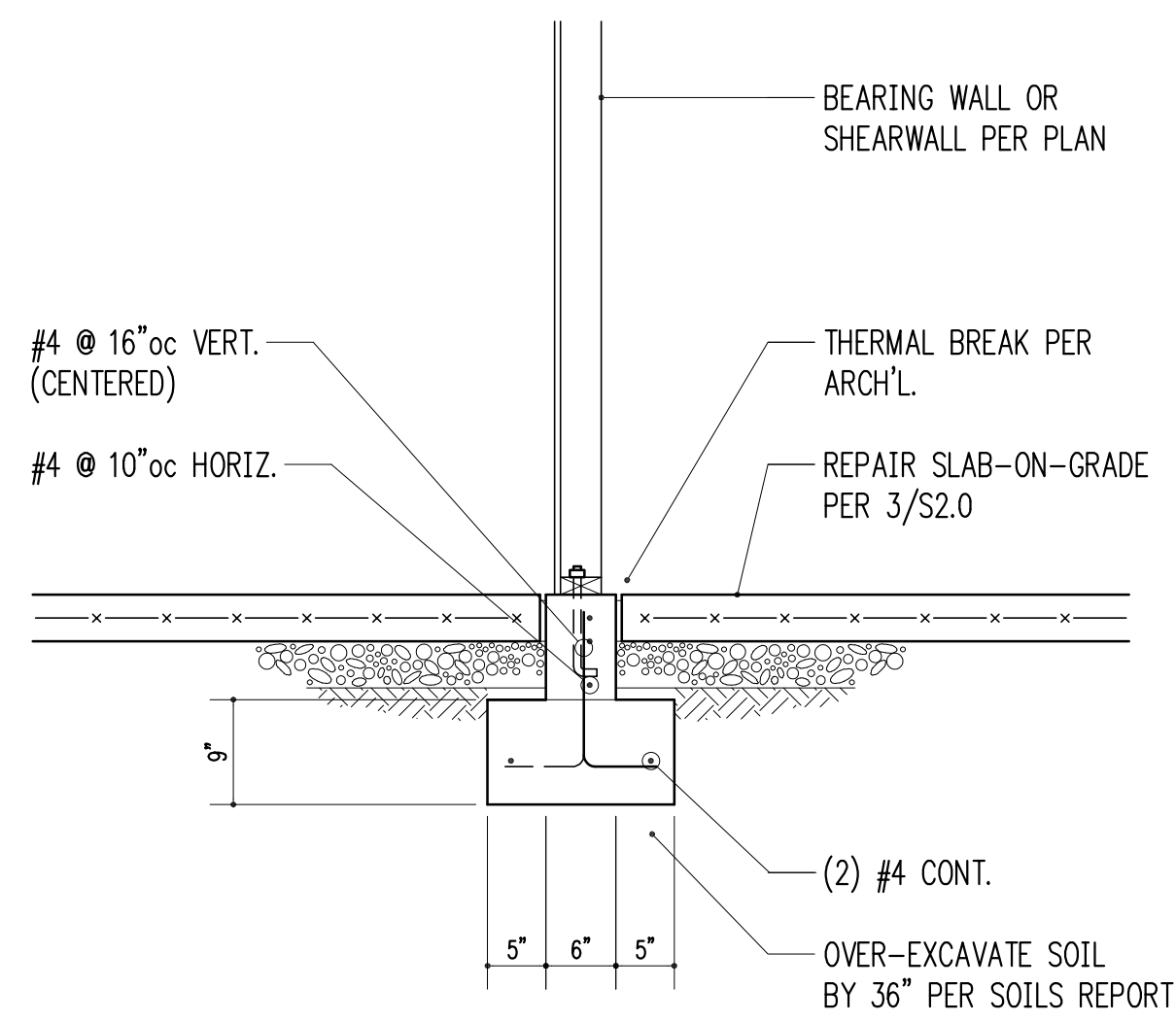
23020 EDMONDS WAY, #113
EDMONDS, WA 98020
P. 206.542.3734
www.h2darchitects.com

DATE: 7/26/2019

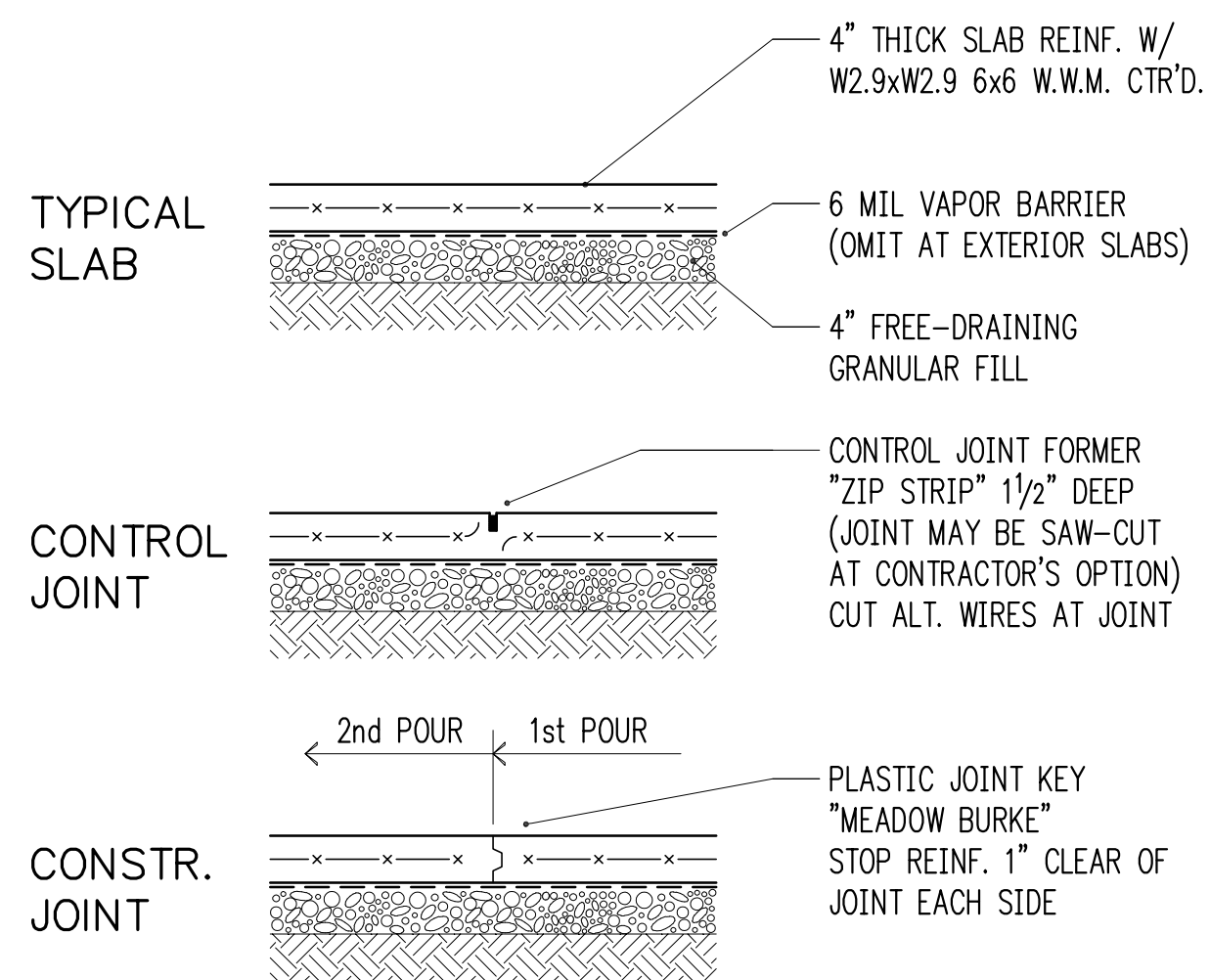
PERMIT SET

TYP. DETAILS

A4.2

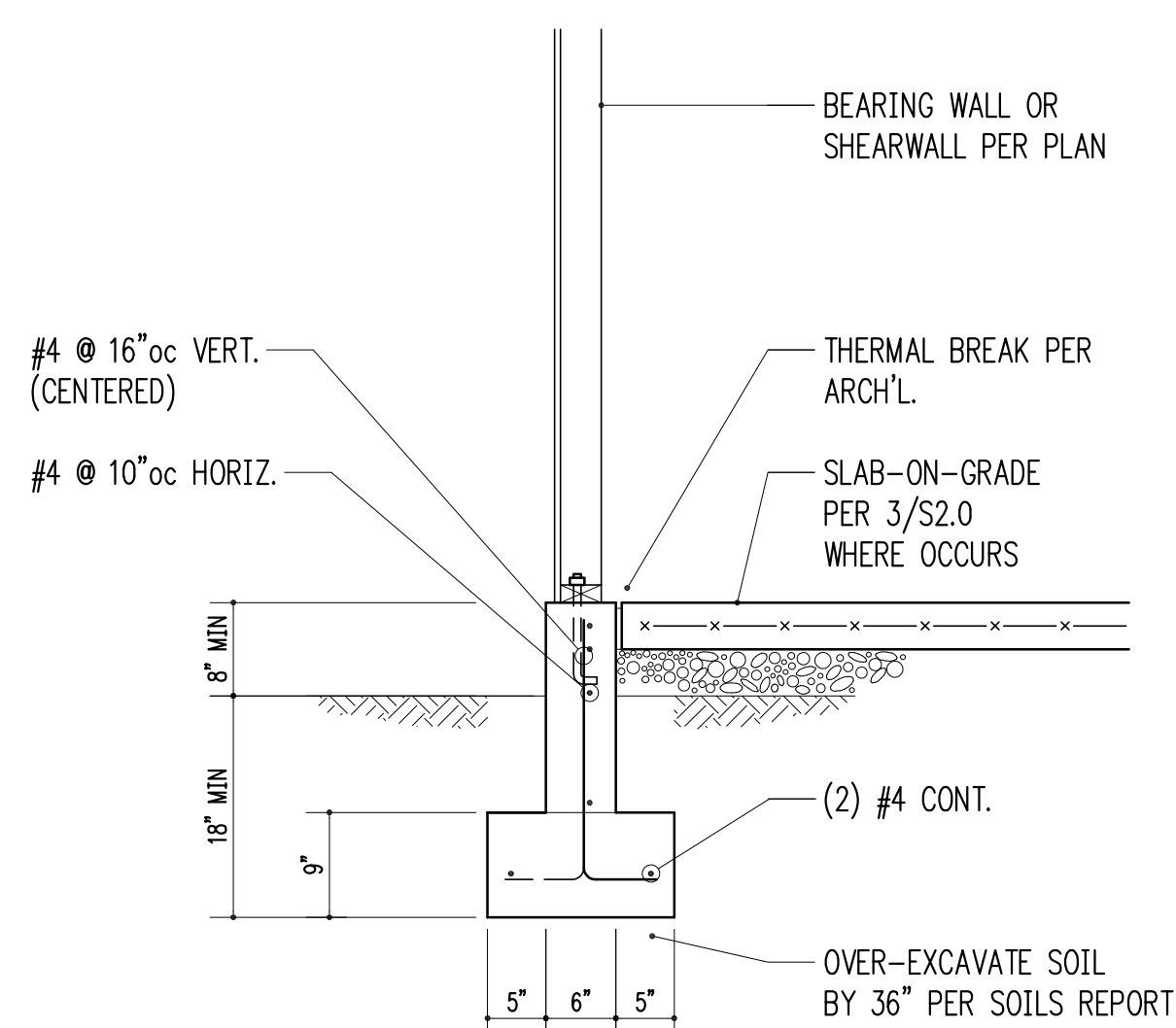


3/4" = 1'-0" 2

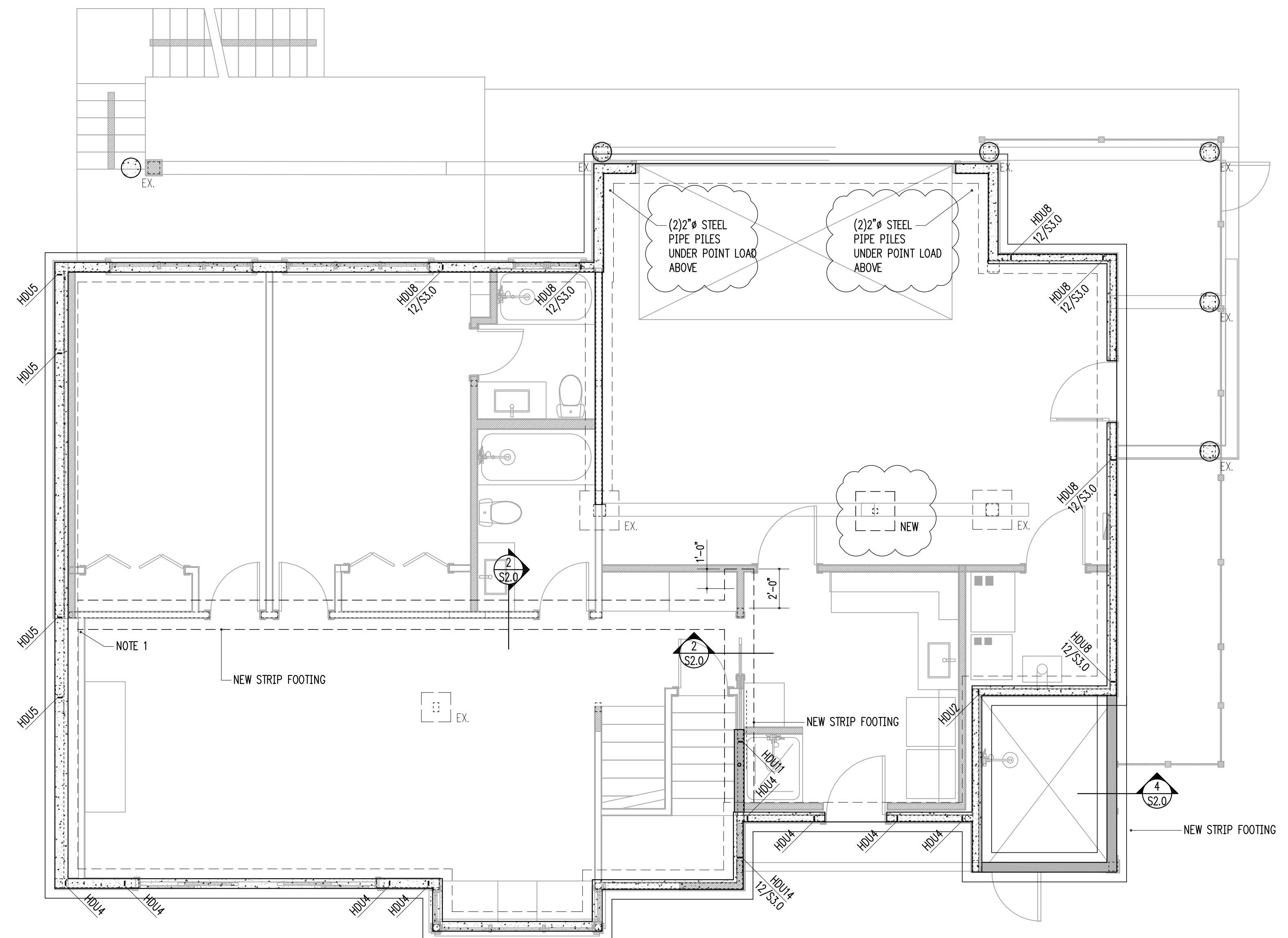


SLAB-ON-GRADE (NOT INSULATED)

3/4" = 1'-0" 3



3/4" = 1'-0" 4



FOUNDATION PLAN
scale: 1/4" = 1'-0"

HANGER SCHEDULE

MEMBER (FLAT ONLY)	HANGER	FACE NAILING	CAPACITY (Cd = 1.0)
2x10 or 2x12	LUS210	10d COMMON	1275 lb
(2)2x10	HUS210-2	0.162x3/2	2110 lb
4x10	HUC410	0.162x3/2	2680 lb
11 7/8" TJI 560	IUS3.56/11.88	10d COMMON	1405 lb
(2) 1 3/4"x9 1/4" LVL	HUC410	0.162x3/2	2680 lb

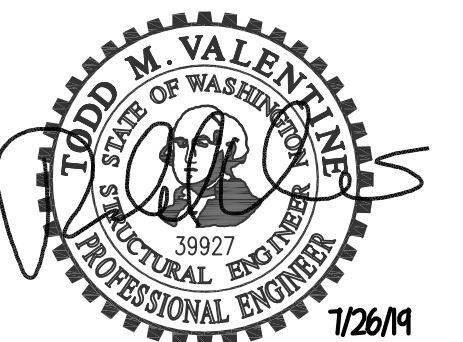
NOTE!! EXISTING FRAMING MEMBERS AS INDICATED ON THIS PLAN ARE ASSUMED FOR DESIGN PURPOSES ONLY. HARRIOTT VALENTINE ENGINEERS SHALL NOT BE HELD LIABLE FOR LOCATION/ SIZE OF EXISTING MEMBERS AS CALLED ON THIS PLAN. EXISTING MEMBERS SHALL BE VERIFIED AND REPORTED TO STRUCTURAL ENGINEER OF RECORD PRIOR TO CONSTRUCTION.

LEGEND

- SPAN
- EXTENT
- SECTION DETAIL
- (FB) FLUSH BEAM
- (PT) PRESSURE-TREATED
- COLUMN ABOVE
- COLUMN BELOW
- NEW STRUCTURAL WALL
- EXISTING STRUCTURAL WALL
- NEW CONCRETE WALL
- EXISTING CONCRETE WALL
- ALL-THREAD HOLDOWN AT END OF SHEARWALL ABOVE
- STRAP HOLDOWN AT END OF SHEARWALL ABOVE

FOUNDATION PLAN NOTES

1. WHERE NEW CONCRETE WALLS OR FOOTING ABUT EX. CONCRETE, PROVIDE DOWELS #4 x 2'-0" TO MATCH HORIZ. REINFORCING, EMBED 5" IN EPOXY GROUT.
2. SEE 10/S4.0 FOR TYPICAL HOLDOWN REQUIREMENTS AT CONCRETE WALLS AND FOOTINGS.
3. SLAB-ON-GRADE SHALL BE PLACED AND CURED FOR A MINIMUM OF SEVEN DAYS BEFORE RETAINING WALLS ARE BACKFILLED. SEE RETAINING WALL DETAILS FOR SPECIFIC CONFIGURATION.
4. SEE 11/S3.0 FOR CORNER REINFORCING AT NEW CONCRETE STEMS AND FOOTINGS



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tvalentine@harriottvalentine.com

Project Architect
H2D Architecture + Design
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Edmonds, WA 98020

Project
Werelius Residence
8452 North Mercer Way
Mercer Island, WA 98040

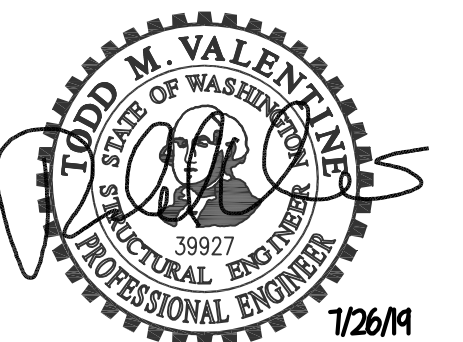
Issue Date	Issue Description
6/18/19	Permit
7/16/19	Framing Revisions
7/28/19	Framing Revisions

Building Department Approval

Drawing Title
FOUNDATION PLAN

Drawing Number
S2.0

WERELIUS RESIDENCE



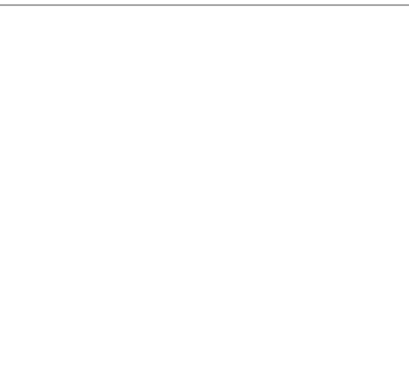
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Mercer Island, WA 98040

Issue Date	Issue Description
6/18/19	Permit
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Building Department Approval

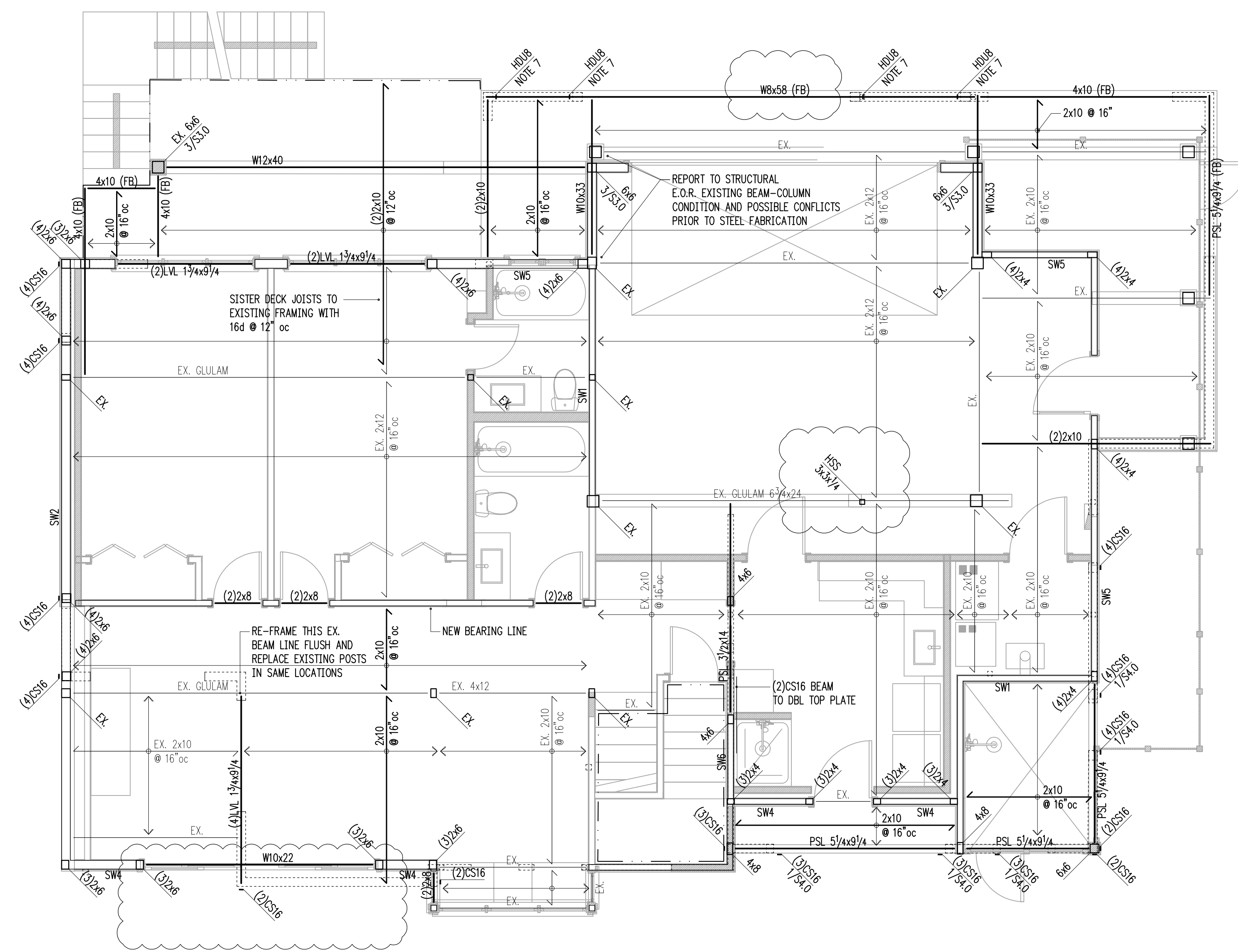


Drawing Title
MAIN FLOOR FRAMING PLAN

Drawing Number

S2.1

WERELIUS RESIDENCE



1 MAIN FLOOR FRAMING PLAN (BASEMENT WALLS)
S2.1 scale: 1/4" = 1'-0"

HANGER SCHEDULE

MEMBER (FLAT ONLY)	HANGER	FACE NAILING	CAPACITY (Cd = 1.0)
2x10 or 2x12	LUS210	10d COMMON	1275 lb
(2)2x10	HUS210-2	0.162x3/2	2110 lb
4x10	HUC410	0.162x3/2	2680 lb
11 7/8" TJI 560	IUS3.56/11.88	10d COMMON	1405 lb
(2) 1 3/4x9 1/4 LVL	HUC410	0.162x3/2	2680 lb

NOTE! EXISTING FRAMING MEMBERS AS INDICATED ON THIS PLAN ARE ASSUMED FOR DESIGN PURPOSES ONLY. HARRIOTT VALENTINE ENGINEERS SHALL NOT BE HELD LIABLE FOR LOCATION/ SIZE OF EXISTING MEMBERS AS CALLED ON THIS PLAN. EXISTING MEMBERS SHALL BE VERIFIED AND REPORTED TO STRUCTURAL ENGINEER OF RECORD PRIOR TO CONSTRUCTION.

- LEGEND
- SPAN
 - EXTENT
 - SECTION DETAIL
 - (FB) FLUSH BEAM
 - (PT) PRESSURE-TREATED
 - ⋮ COLUMN ABOVE
 - COLUMN BELOW
 - ▬ NEW STRUCTURAL WALL
 - ▬ EXISTING STRUCTURAL WALL
 - ▬ NEW CONCRETE WALL
 - ▬ EXISTING CONCRETE WALL
 - HDH ALL-THREAD HOLDOWN AT END OF SHEARWALL ABOVE
 - CSH STRAP HOLDOWN AT END OF SHEARWALL ABOVE

- FRAMING PLAN NOTES
- SW ___ INDICATES SHEARWALL TYPE PER SCHEDULE 8/S4.0. REFER TO DETAILS FOR TYPICAL SHEARWALL CONSTRUCTION. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL WALL INFORMATION.
 - REFER TO GENERAL STRUCTURAL NOTES FOR FLOOR OR ROOF SHEATHING TYPE, THICKNESS, AND NAILING.
 - COLUMNS SHALL BE DOUBLE STUD MINIMUM, UNLESS NOTED OTHERWISE. SEE 11/S4.0.
 - AT ALL SHEARWALLS PROVIDE DOUBLE TOP PLATES AND SPLICE PER 12/S4.0.
 - CS___ INDICATES COILED STRAP TYPE PER SCHEDULE 6/S4.0. REFER TO DETAILS FOR TYPICAL STRAP ASSEMBLY.
 - POSTS □, INCLUDING ENDS OF WALL OPENINGS, SHALL BE (2)2x6 UNLESS NOTED OTHERWISE.
 - WELD THREADED RODS FOR HOLD DOWNS AND BOTTOM PLATE ATTACHMENT TO STEEL BEAMS BELOW

3/4" = 1'-0" 2

3/4" = 1'-0" 3

3/4" = 1'-0" 4



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Issue Date	Issue Description
6/18/19	Permit
7/16/19	Framing Revisions
7/28/19	Framing Revisions

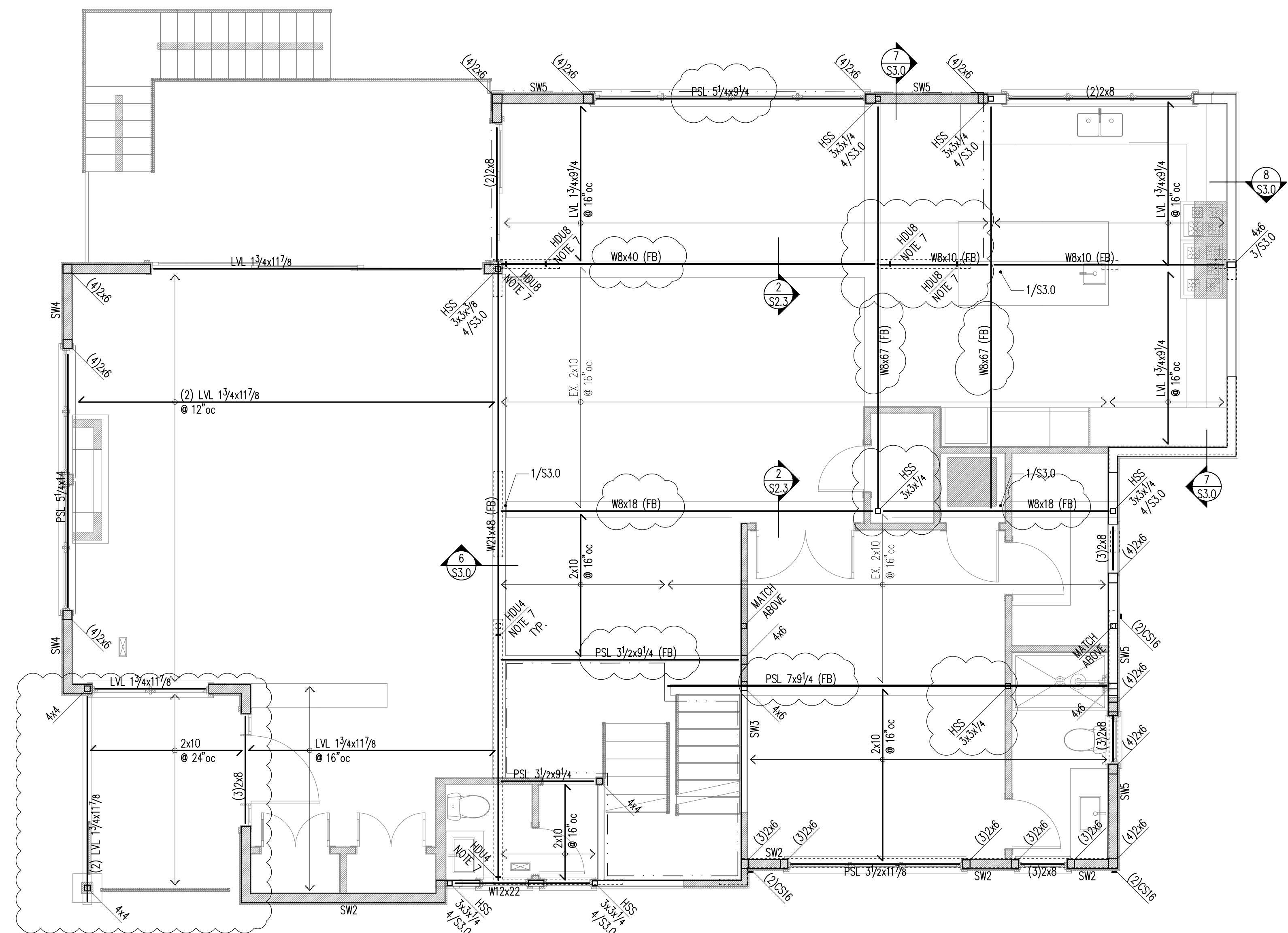
Building Department Approval

Drawing Title
SECOND FLOOR FRAMING PLAN

Drawing Number

S2.2

WERELIUS RESIDENCE



1 SECOND FLOOR FRAMING PLAN (MAIN FLOOR WALLS)
S2.2 scale: 1/4" = 1'-0"

HANGER SCHEDULE

MEMBER (FLAT ONLY)	HANGER	FACE NAILING	CAPACITY (Cd = 1.0)
2x10 or 2x12	LUS210	10d COMMON	1275 lb
(2)2x10	HUS210-2	0.162x3/2	2110 lb
4x10	HUC410	0.162x3/2	2680 lb
11 7/8" TJI 560	IUS3.56/11.88	10d COMMON	1405 lb
(2) 1 3/4x9 1/4 LVL	HUC410	0.162x3/2	2680 lb

NOTE! EXISTING FRAMING MEMBERS AS INDICATED ON THIS PLAN ARE ASSUMED FOR DESIGN PURPOSES ONLY. HARRIOTT VALENTINE ENGINEERS SHALL NOT BE HELD LIABLE FOR LOCATION/ SIZE OF EXISTING MEMBERS AS CALLED ON THIS PLAN. EXISTING MEMBERS SHALL BE VERIFIED AND REPORTED TO STRUCTURAL ENGINEER OF RECORD PRIOR TO CONSTRUCTION.

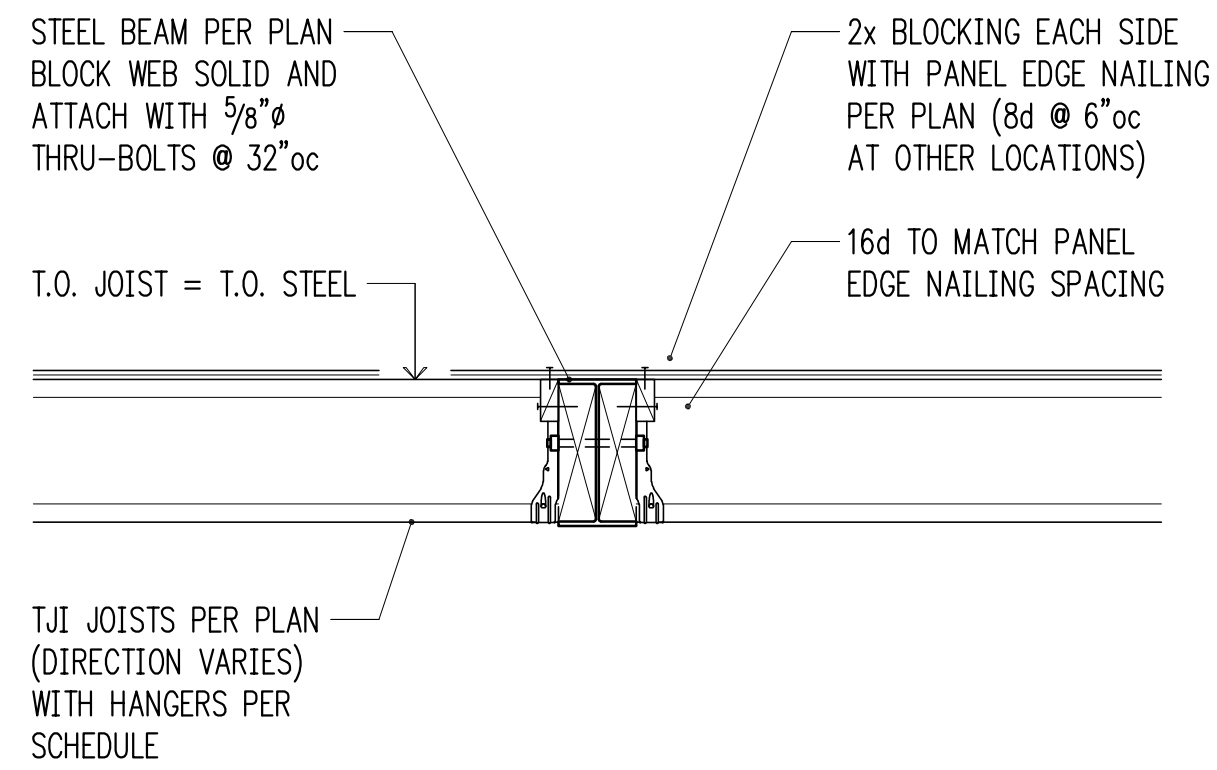
- LEGEND**
- SPAN
 - EXTENT
 - SECTION DETAIL
 - (FB) FLUSH BEAM
 - (PT) PRESSURE-TREATED
 - ⋮ COLUMN ABOVE
 - COLUMN BELOW
 - NEW STRUCTURAL WALL
 - EXISTING STRUCTURAL WALL
 - NEW CONCRETE WALL
 - EXISTING CONCRETE WALL
 - HDL ALL-THREAD HOLDOWN AT END OF SHEARWALL ABOVE
 - CSX STRAP HOLDOWN AT END OF SHEARWALL ABOVE

- FRAMING PLAN NOTES**
- SW___ INDICATES SHEARWALL TYPE PER SCHEDULE 8/S4.0. REFER TO DETAILS FOR TYPICAL SHEARWALL CONSTRUCTION. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL WALL INFORMATION.
 - REFER TO GENERAL STRUCTURAL NOTES FOR FLOOR OR ROOF SHEATHING TYPE, THICKNESS, AND NAILING.
 - COLUMNS SHALL BE DOUBLE STUD MINIMUM, UNLESS NOTED OTHERWISE. SEE 11/S4.0.
 - AT ALL SHEARWALLS PROVIDE DOUBLE TOP PLATES AND SPLICE PER 12/S4.0.
 - CS___ INDICATES COILED STRAP TYPE PER SCHEDULE 6/S4.0. REFER TO DETAILS FOR TYPICAL STRAP ASSEMBLY.
 - POSTS □, INCLUDING ENDS OF WALL OPENINGS, SHALL BE (2)2x6 UNLESS NOTED OTHERWISE.
 - WELD THREADED RODS FOR HOLD DOWNS AND BOTTOM PLATE ATTACHMENT TO STEEL BEAMS BELOW

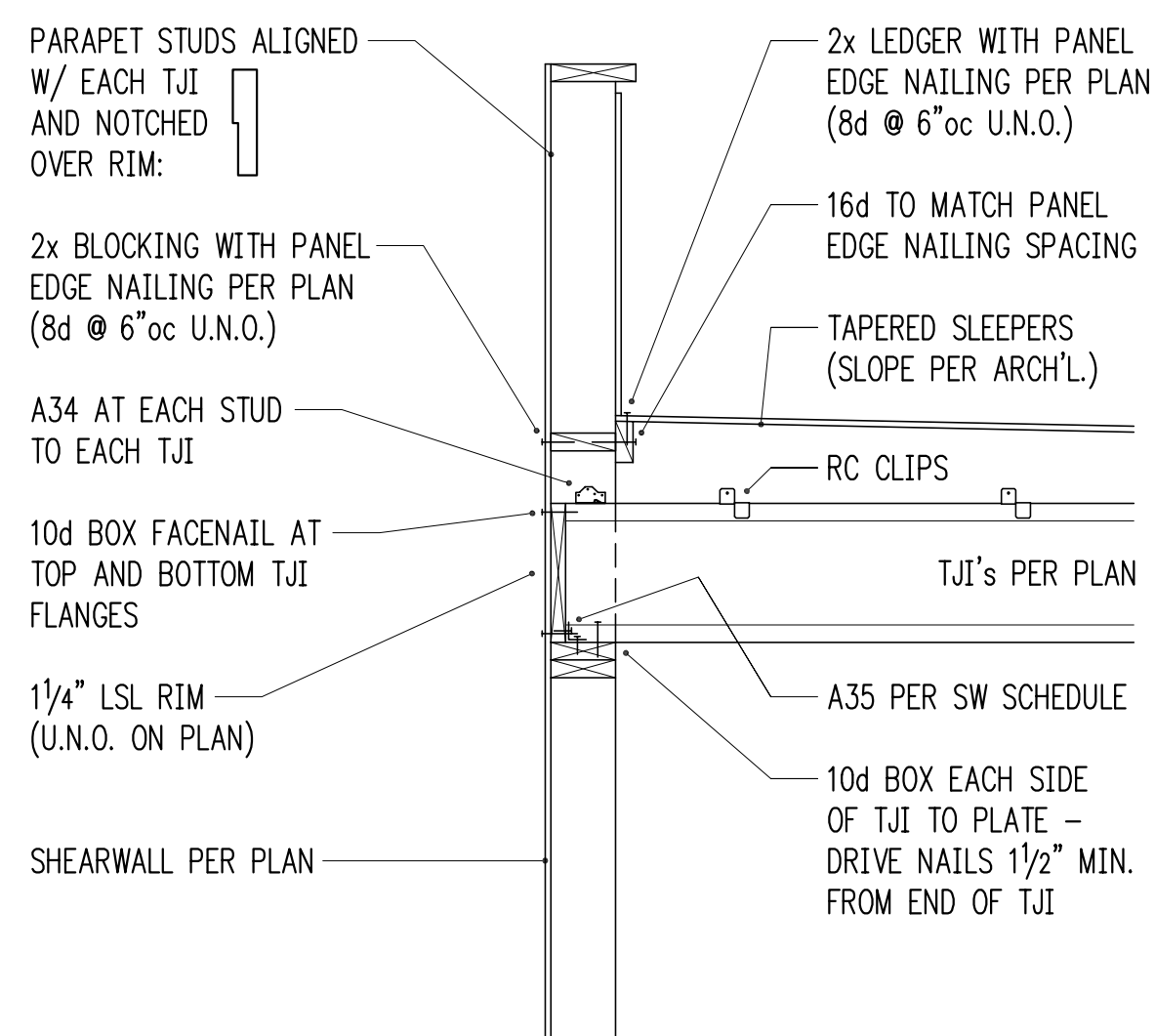
3/4" = 1'-0" 2

3/4" = 1'-0" 3

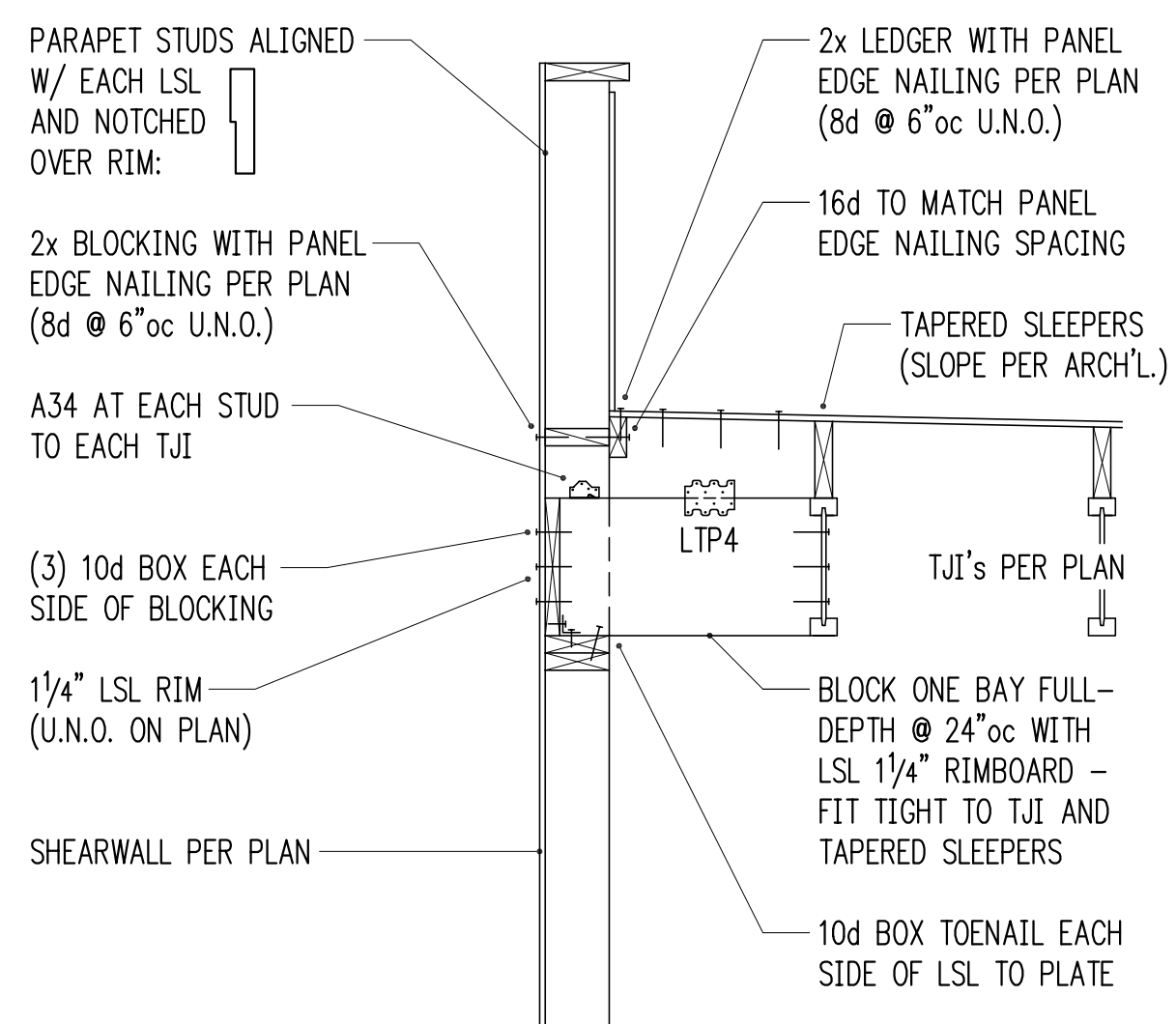
3/4" = 1'-0" 4



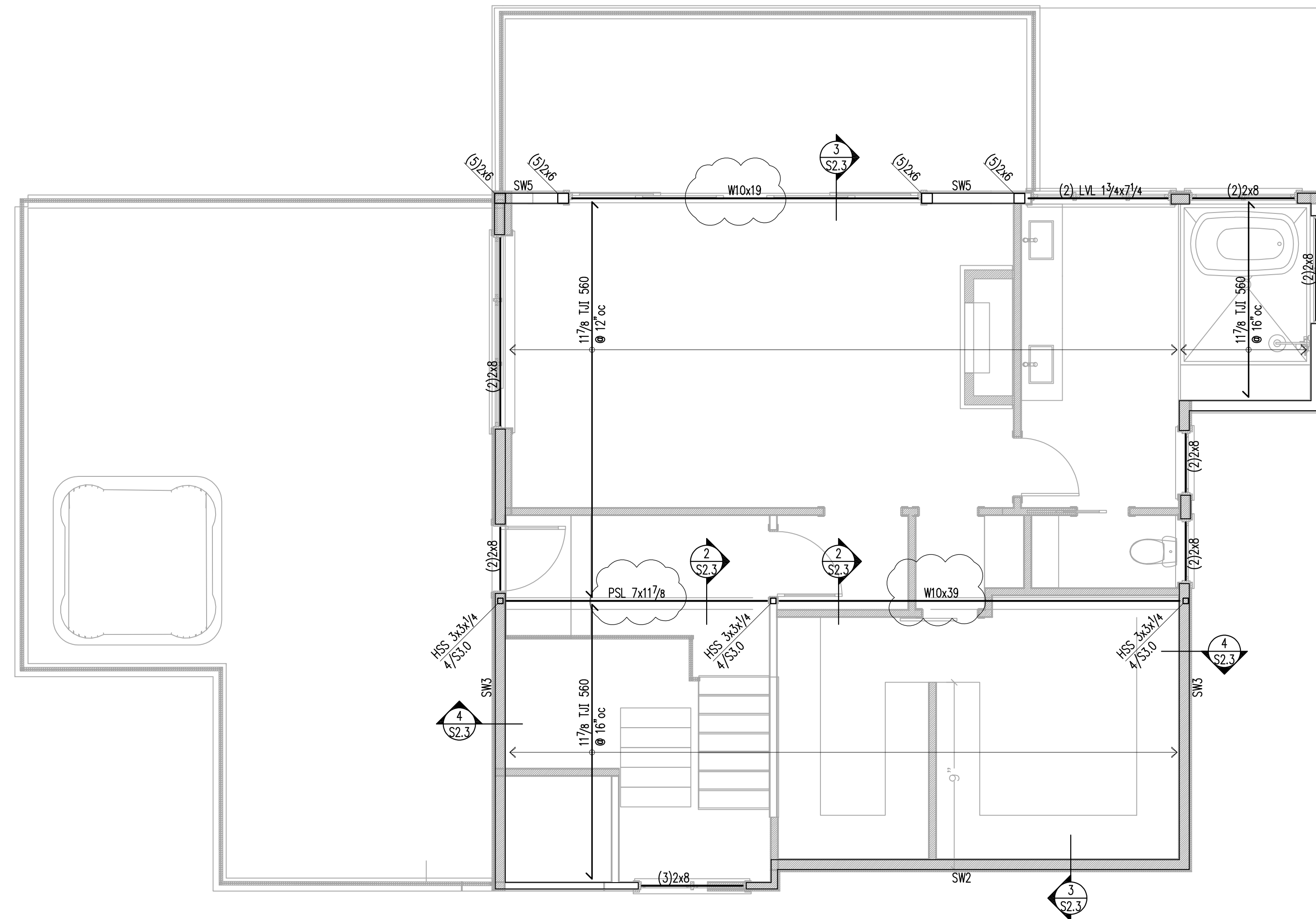
3/4" = 1'-0" 2



3/4" = 1'-0" 3



3/4" = 1'-0" 4



1 ROOF FRAMING PLAN (SECOND FLOOR WALLS)
scale: 1/4" = 1'-0"

HANGER SCHEDULE

MEMBER (FLAT ONLY)	HANGER	FACE NAILING	CAPACITY (Cd = 1.0)
2x10 or 2x12	LUS210	10d COMMON	1275 lb
(2)2x10	HUS210-2	0.162x3/2	2110 lb
4x10	HUC410	0.162x3/2	2680 lb
117/8" TJI 560	IUS3.56/11.88	10d COMMON	1405 lb
(2) 13/4x9/4 LVL	HUC410	0.162x3/2	2680 lb

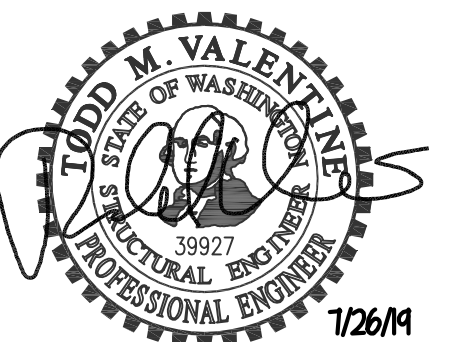
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LEGEND

- SPAN
- EXTENT
- SECTION DETAIL
- (FB) FLUSH BEAM
- (PT) PRESSURE-TREATED
- ⋮ COLUMN ABOVE
- COLUMN BELOW
- ▬ NEW STRUCTURAL WALL
- ▬ EXISTING STRUCTURAL WALL
- ▬ NEW CONCRETE WALL
- ▬ EXISTING CONCRETE WALL
- ALL-THREAD HOLDOWN AT END OF SHEARWALL ABOVE
- STRAP HOLDOWN AT END OF SHEARWALL ABOVE

FRAMING PLAN NOTES

1. SW___ INDICATES SHEARWALL TYPE PER SCHEDULE 8/S4.0. REFER TO DETAILS FOR TYPICAL SHEARWALL CONSTRUCTION. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL WALL INFORMATION.
2. REFER TO GENERAL STRUCTURAL NOTES FOR FLOOR OR ROOF SHEATHING TYPE, THICKNESS, AND NAILING.
3. COLUMNS SHALL BE DOUBLE STUD MINIMUM, UNLESS NOTED OTHERWISE. SEE 11/S4.0.
4. AT ALL SHEARWALLS PROVIDE DOUBLE TOP PLATES AND SPLICE PER 12/S4.0.
5. CS___ INDICATES COILED STRAP TYPE PER SCHEDULE 6/S4.0. REFER TO DETAILS FOR TYPICAL STRAP ASSEMBLY.
6. POSTS □, INCLUDING ENDS OF WALL OPENINGS, SHALL BE (2)2x6 UNLESS NOTED OTHERWISE.



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Edmonds, WA 98020

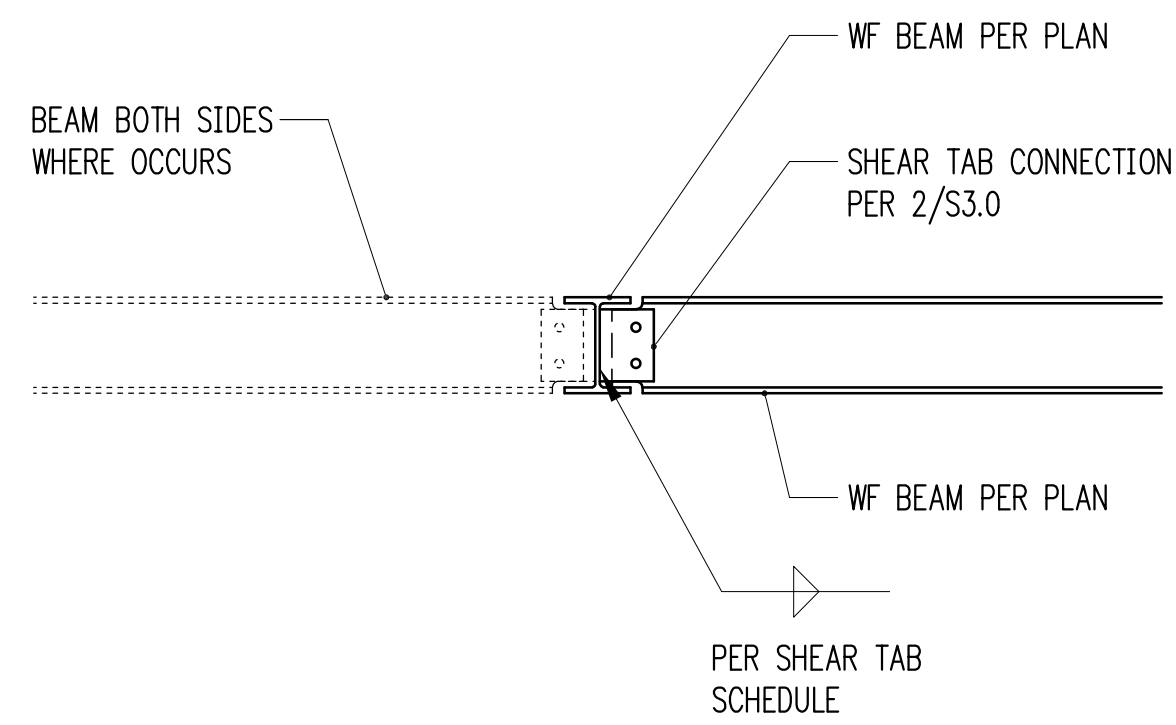
Project
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8452 North Mercer Way
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Issue Date	Issue Description
6/18/19	Permit
7/16/19	Framing Revisions
7/26/19	Framing Revisions

Building Department Approval

Drawing Title
ROOF FRAMING PLAN

Drawing Number
S2.3

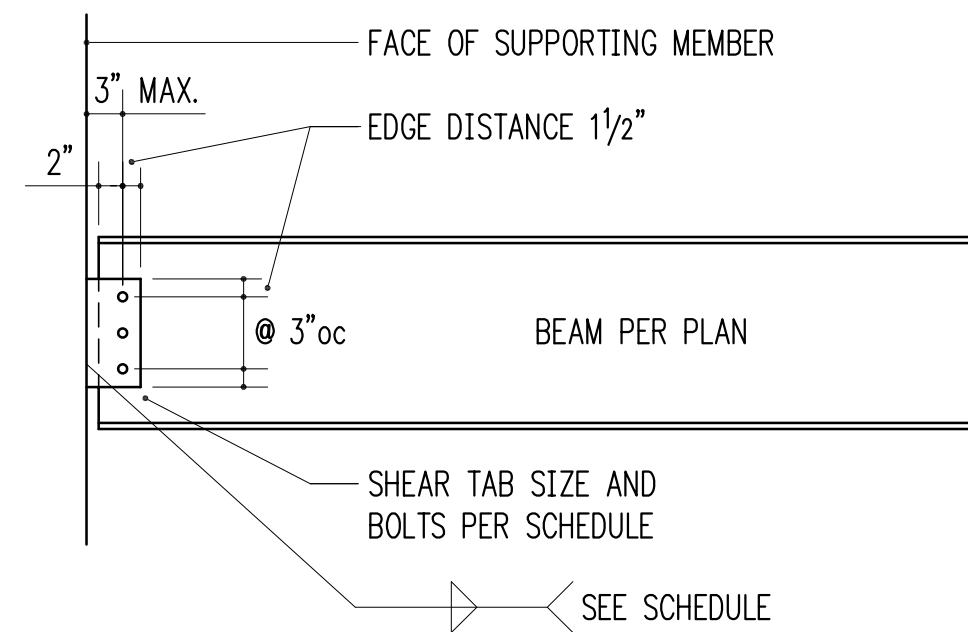


WF BEAM TO SIDE OF WF BEAM
3/4" = 1'-0" 1

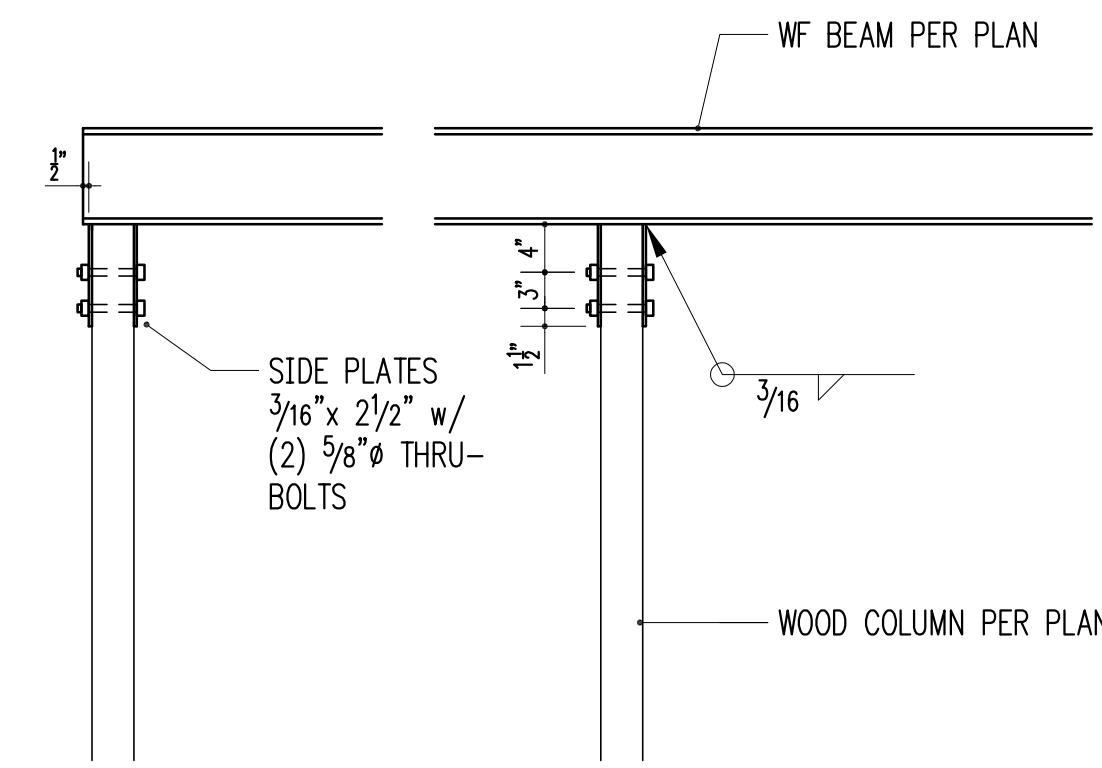
SHEAR TAB SCHEDULE

BEAM SIZE	# BOLTS	BOLT SIZE	PL THICK.	WELD SIZE	CAPACITY
W8, W10	(2)	3/4"Ø	1/4"	3/16"	8,200 lb
W14 OR DEEPER	(3)	3/4"Ø	1/4"	3/16"	16,300 lb

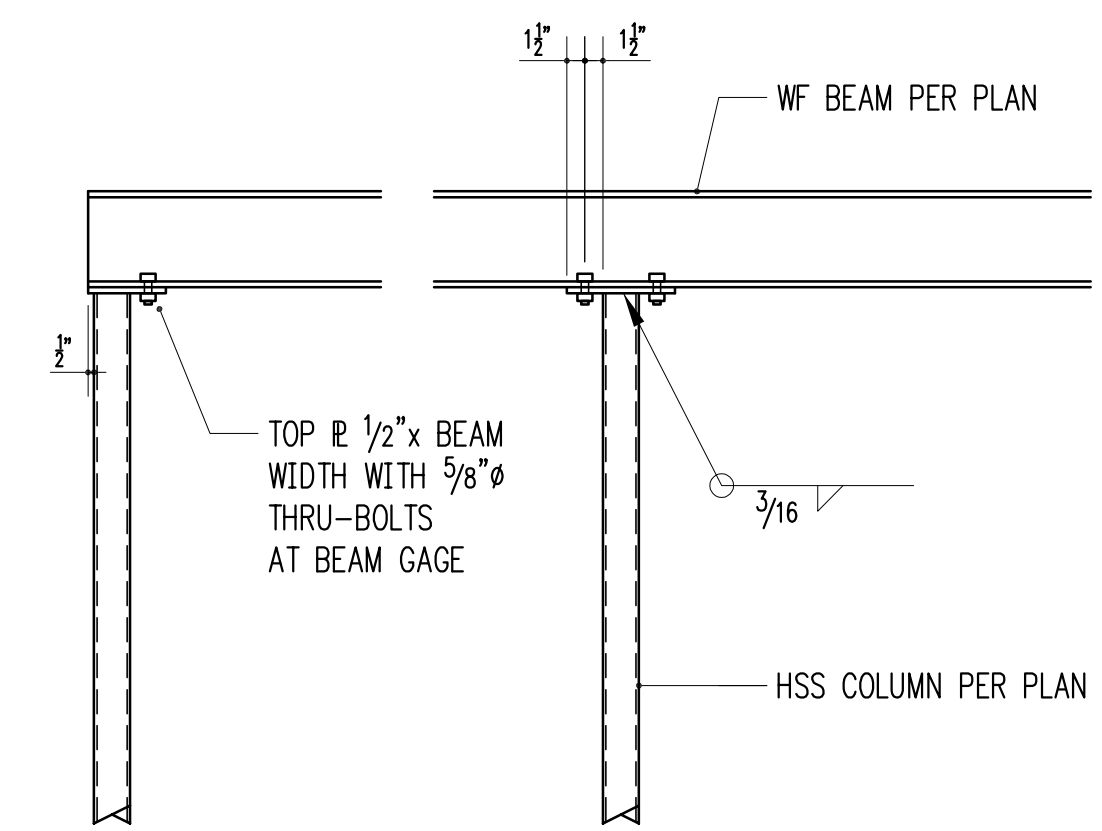
BOLT TYPE SHALL BE A325N. PLATE MATERIAL SHALL BE A36.



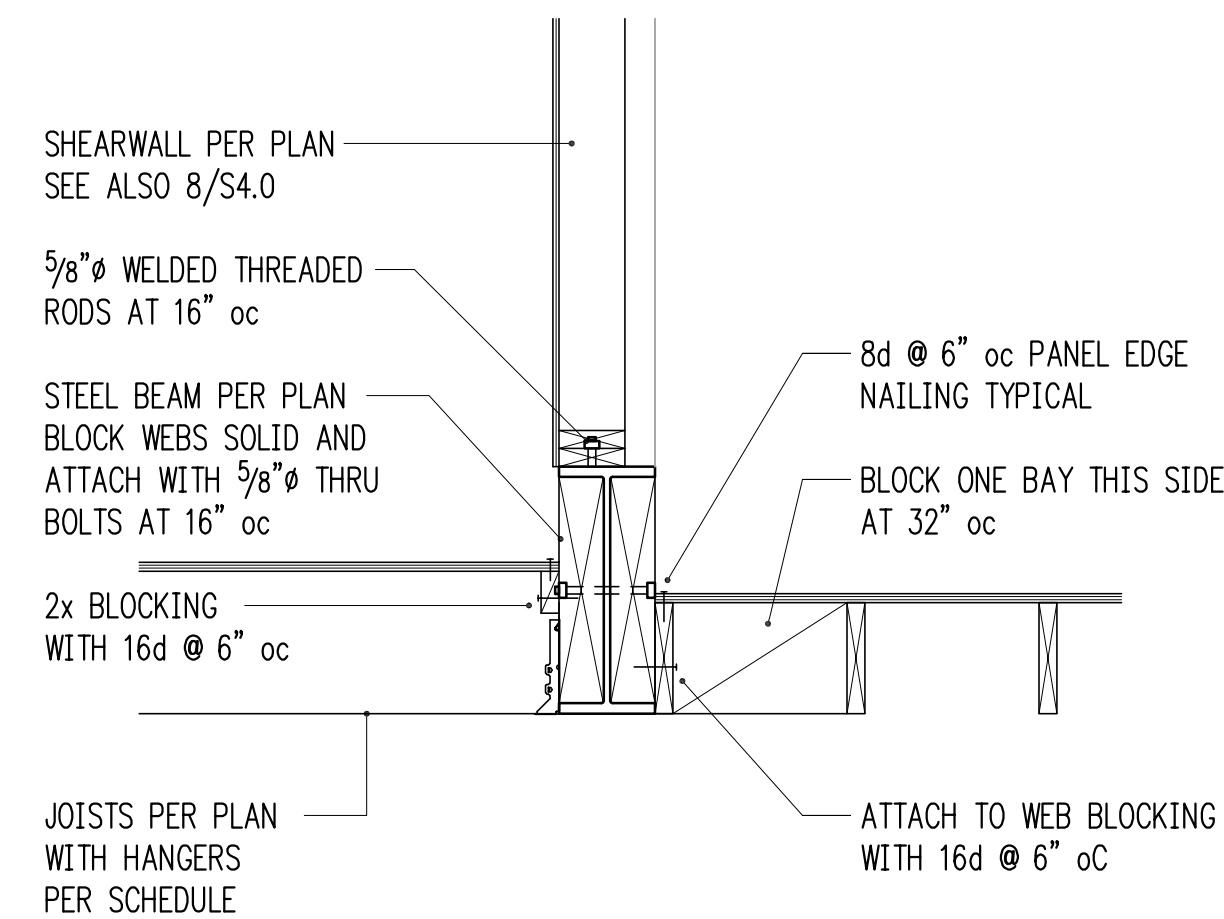
TYPICAL SHEAR TAB CONNECTION
3/4" = 1'-0" 2



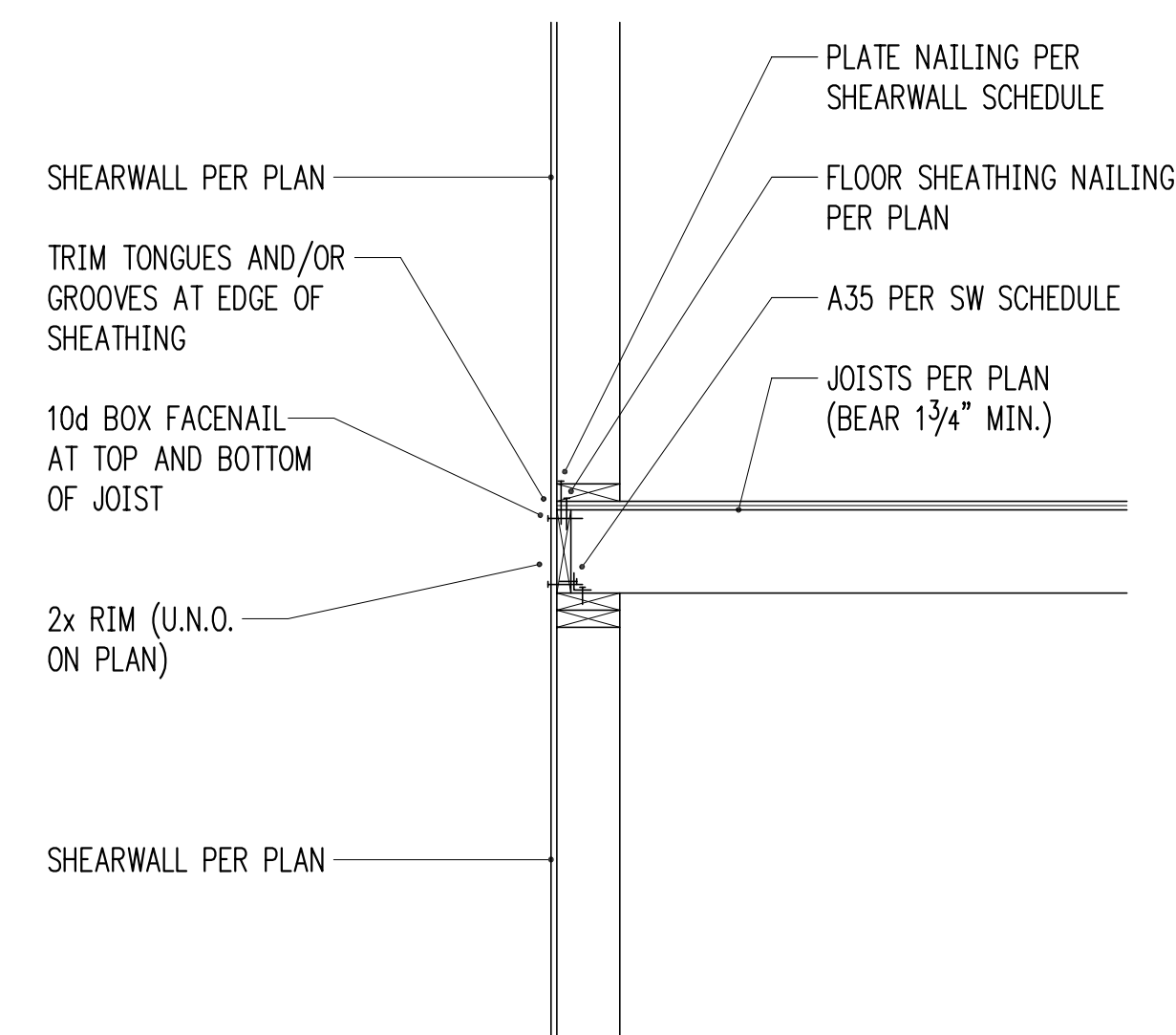
WF BEAM BEARING ON WOOD COLUMN
3/4" = 1'-0" 3



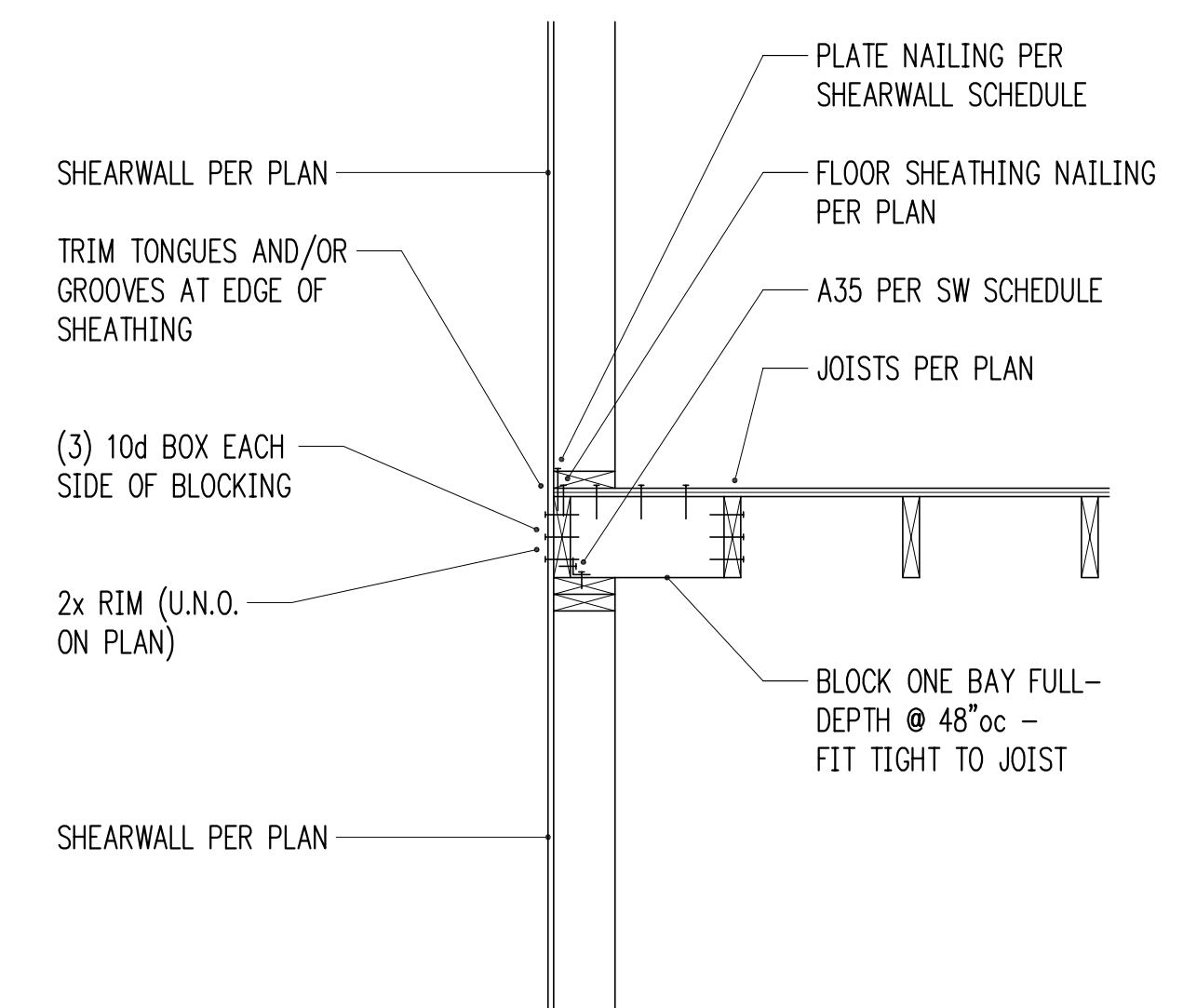
WF BEAM BEARING ON HSS COLUMN
3/4" = 1'-0" 4



3/4" = 1'-0" 5

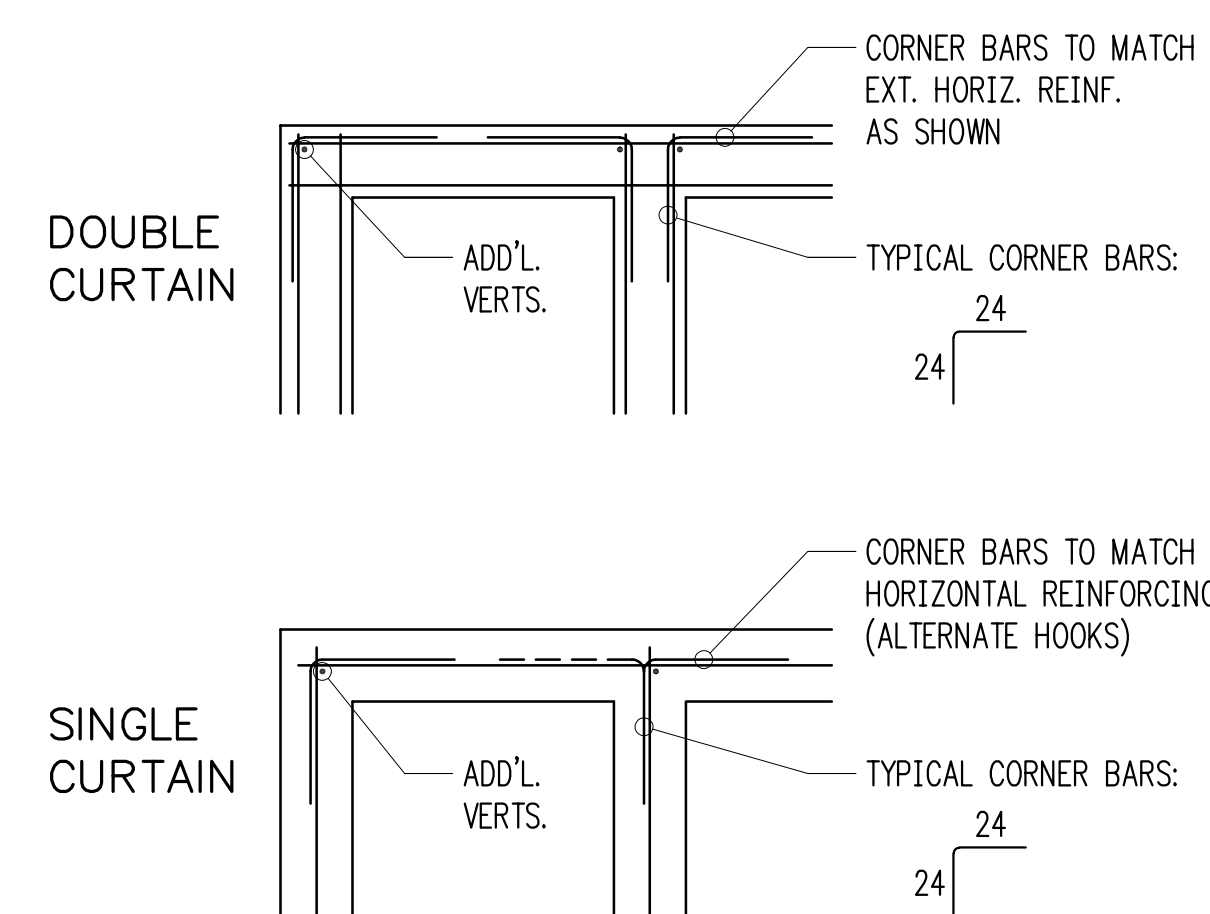


3/4" = 1'-0" 6

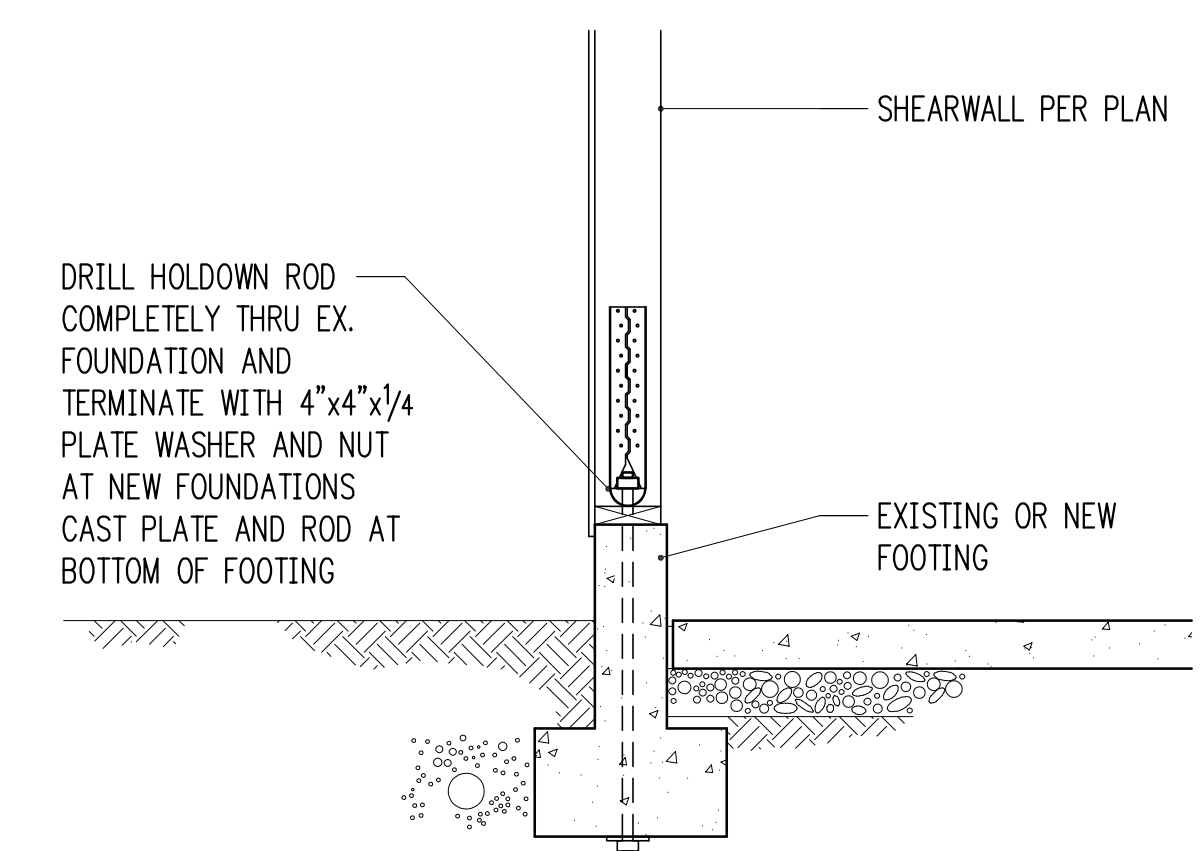


3/4" = 1'-0" 7

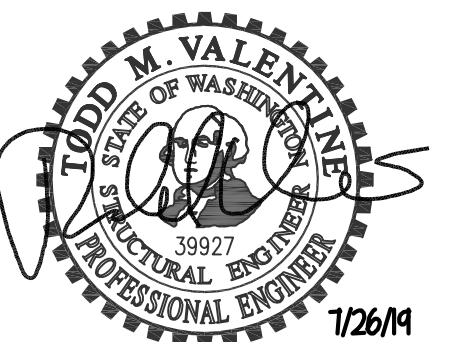
3/4" = 1'-0" 9



TYPICAL CORNER BARS AT CONCRETE WALLS
3/4" = 1'-0" 10



3/4" = 1'-0" 11



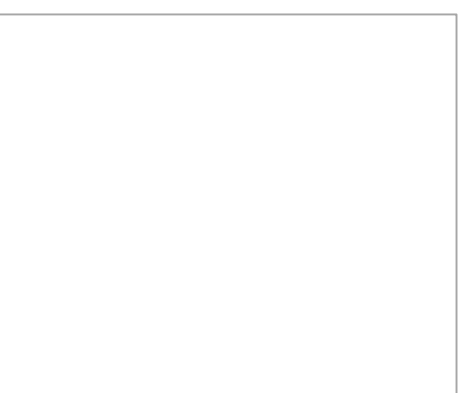
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Issue Date	Issue Description
6/18/19	Permit
7/16/19	Framing Revisions
7/28/19	Framing Revisions

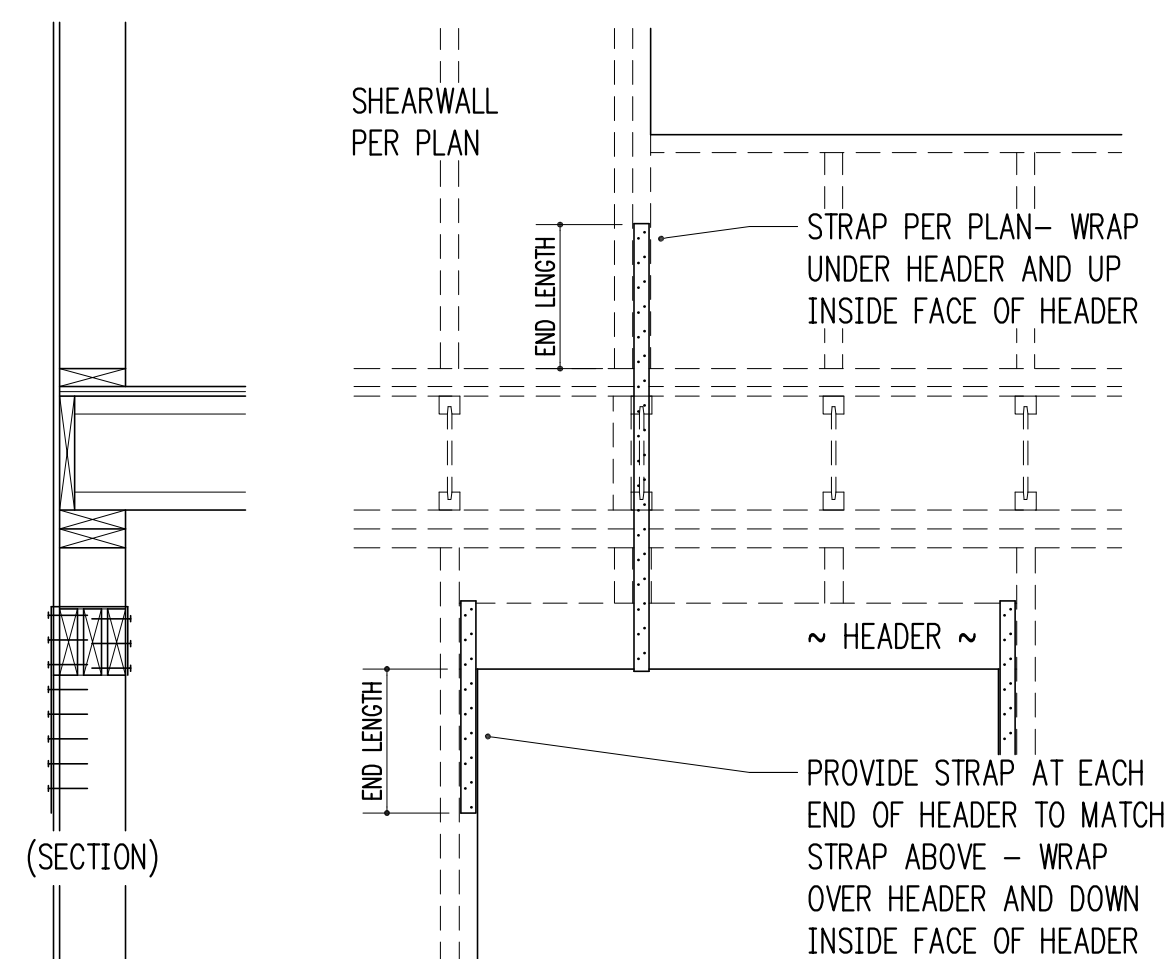
Building Department Approval



Drawing Title
STRUCTURAL DETAILS

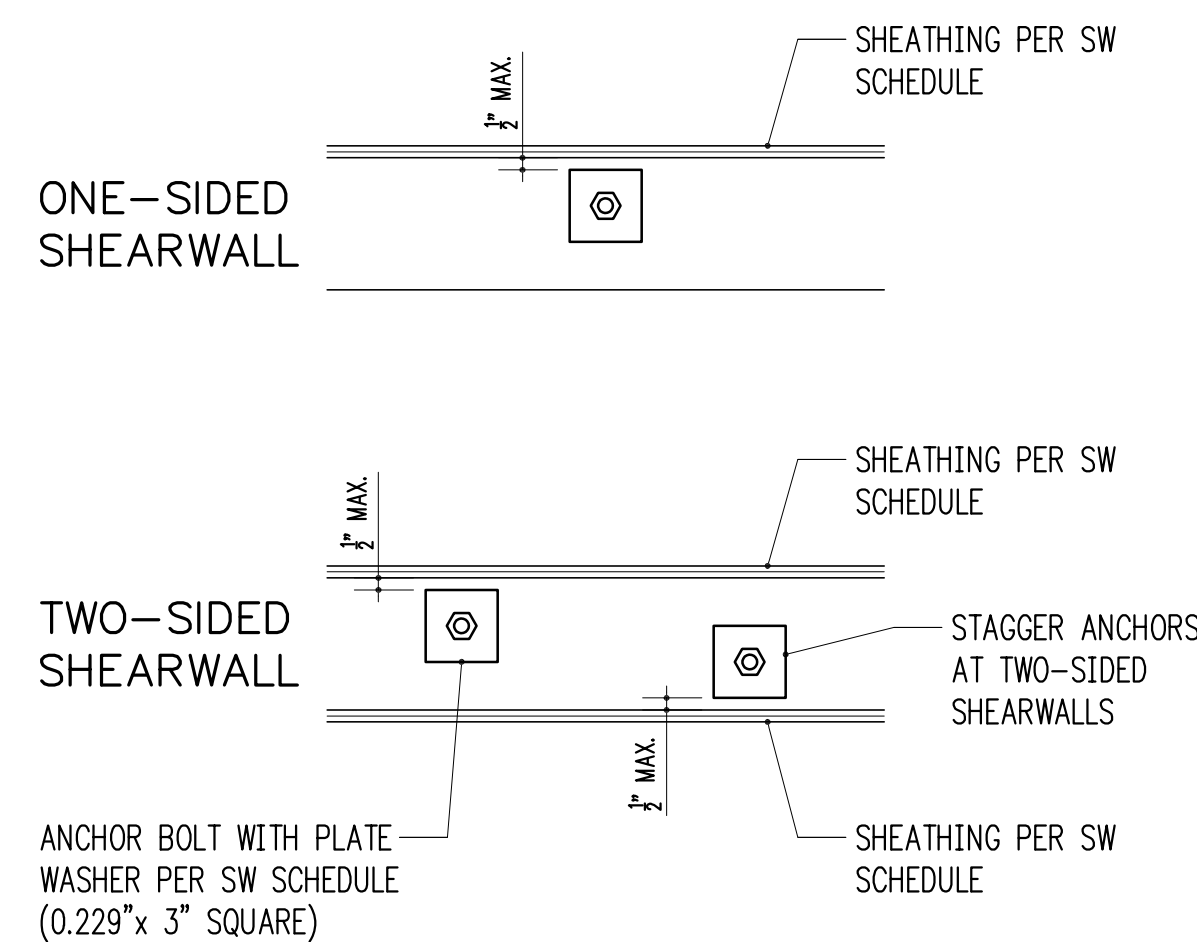
Drawing Number

S3.0



TYPICAL STRAPPED HEADER

3/4" = 1'-0"



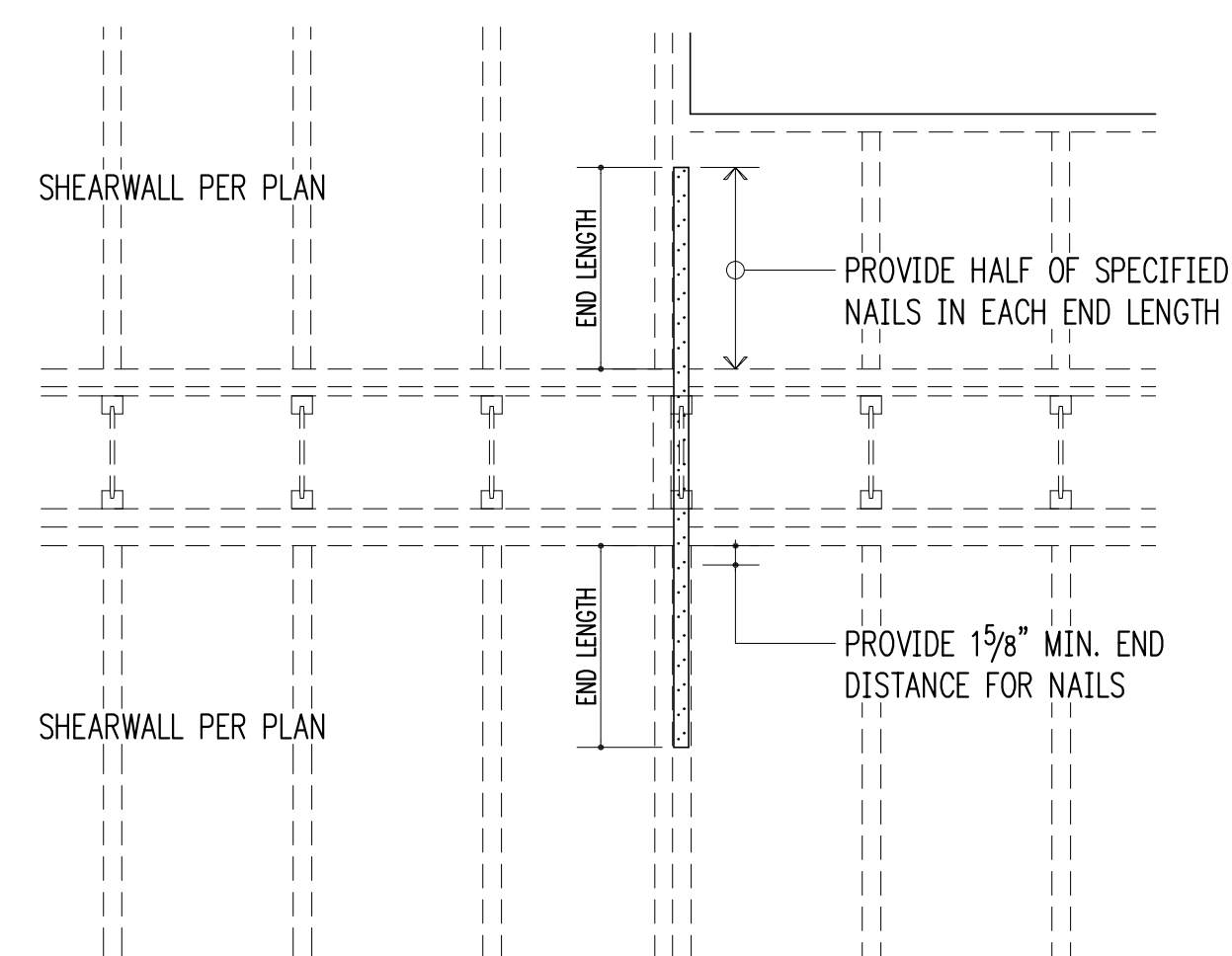
TYPICAL SHEARWALL ANCHOR BOLT PLACEMENT

1-1/2" = 1'-0"

STRAP SCHEDULE (NOT ALL USED)

MARK	END LENGTH	NAILS	NAIL SPACING
CMST12	44"	(98) 10d x 3"	1 3/4"
CMST14	34"	(76) 10d x 3"	1 3/4"
CMSTC16	25"	(58) 12d x 3 1/4"	1 1/2"
CS14	19"	(36) 8d x 2 1/2"	2 1/16"
CS16	14"	(26) 8d x 2 1/2"	2 1/16"
CS18	12"	(22) 8d x 2 1/2"	2 1/16"
CS20	9"	(16) 8d x 2 1/2"	2 1/16"
CS22	8"	(14) 8d x 2 1/2"	2 1/16"

- 10d AND 12d DIAMETER = 0.148"; 8d DIAMETER = 0.131".
- USE HALF OF THE REQUIRED NAILS IN EACH MEMBER BEING CONNECTED (i.e. IN EACH END LENGTH).



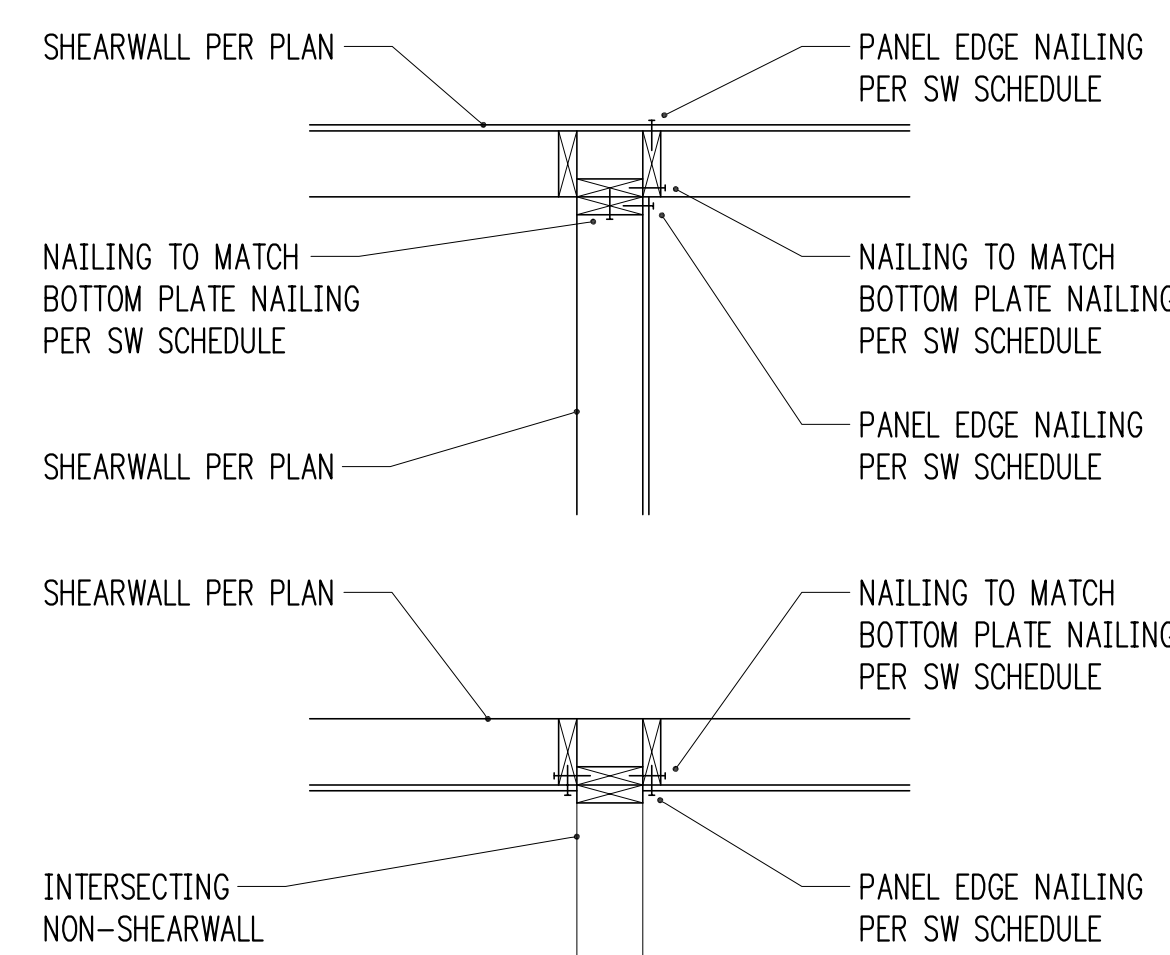
TYPICAL STRAP HOLDDOWN AT FLOOR

3/4" = 1'-0"

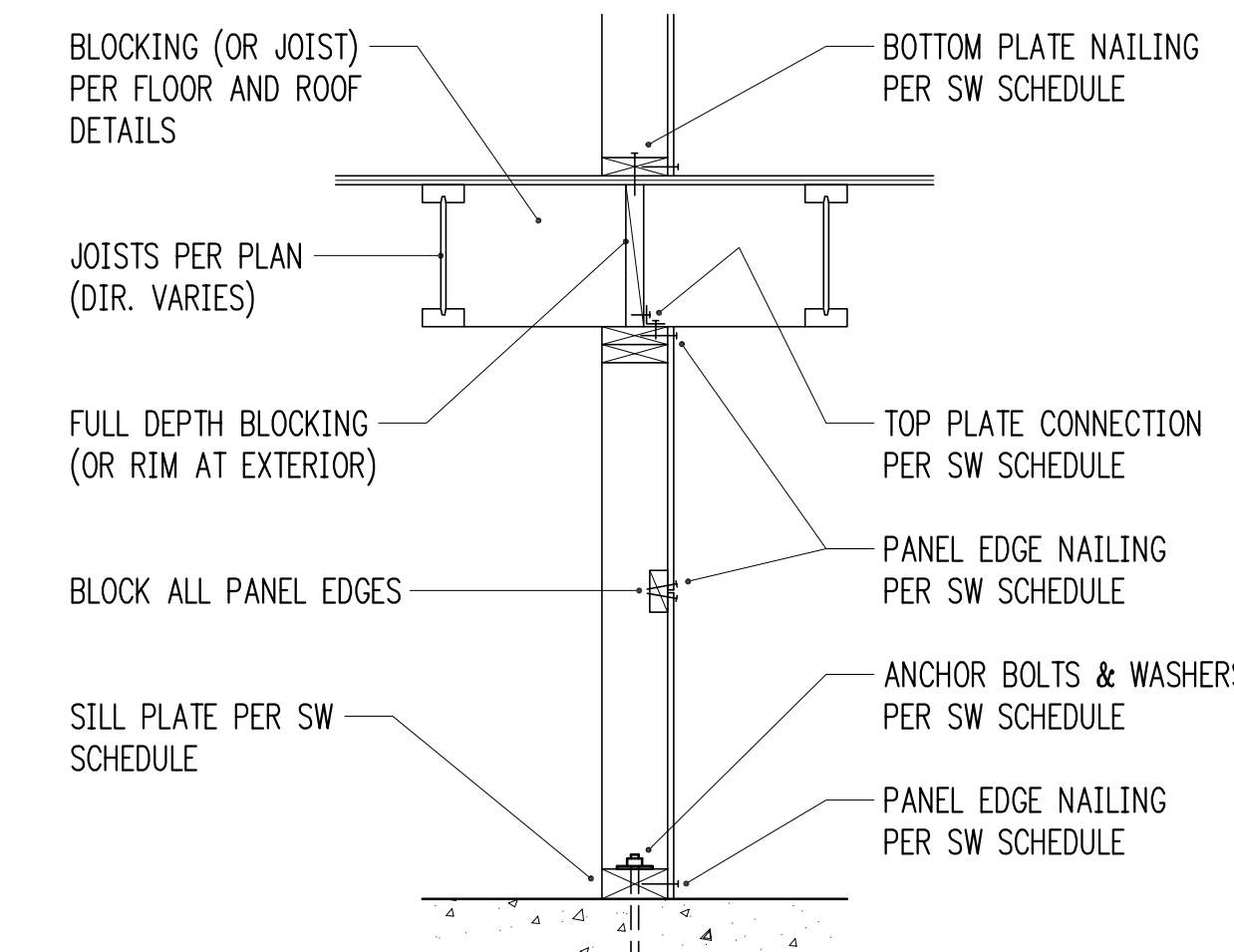
SHEARWALL SCHEDULE (NOT ALL USED ON PLANS)

MARK	SHEATHING ¹	STUDS AT ABUTTING PANEL EDGES ²	PANEL EDGE NAILING ^{3,4}	RIM JOIST OR BLOCKING TO TOP PLATE		BOTTOM PLATE ATTACHMENT		
				SOLID RIM	TJI RIM	BOTTOM PLATE TO RIM JOIST BELOW ⁴	ANCHOR BOLT TO CONCRETE ⁵	SILL PLATE AT FOUND.
SW1	15/32" CDX PLYWOOD	2x	8d @ 6"oc	A35 @ 24"oc	16d @ 6"oc	16d @ 6"oc	5/8" @ 48"oc	2x
SW2	15/32" CDX PLYWOOD	2x	8d @ 4"oc	A35 @ 15"oc	16d @ 4"oc	16d @ 4"oc	5/8" @ 32"oc	2x
SW3	15/32" CDX PLYWOOD	3x	8d @ 3"oc	A35 @ 12"oc	N/A - USE SOLID RIM	16d @ 3"oc	5/8" @ 16"oc	2x
SW4	15/32" CDX PLYWOOD	3x	8d @ 2"oc	A35 @ 9"oc	N/A - USE SOLID RIM	16d @ 2"oc	5/8" @ 12"oc	2x
SW5	15/32" CDX PLYWOOD BOTH SIDES	3x	8d @ 3"oc	A35 @ 6"oc	N/A - USE SOLID RIM	(2) ROWS 16d @ 3"oc	5/8" @ 12"oc	3x
SW6	15/32" CDX PLYWOOD BOTH SIDES	3x	8d @ 2"oc	A35 @ 4 1/2"oc	N/A - USE SOLID RIM	(2) ROWS 16d @ 2"oc	5/8" @ 12"oc	3x

1. WALL SHEATHING SHALL CONSIST OF APA RATED PLYWOOD WITH SPAN RATING 24/0. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF PANELS. 7/16" APA RATED SHEATHING (OSB) MAY BE USED IN PLACE OF 15/32" CDX.
2. STUDS AT ABUTTING PANEL EDGES MAY CONSIST OF (2)2x STUDS IN PLACE OF 3x STUDS - NAIL (2)2x STUDS TOGETHER WITH BOTTOM PLATE ATTACHMENT NAILING.
3. BLOCK ALL PANEL EDGES W/ 2x4 FLAT, ATTACH W/ PANEL EDGE NAILING. TWO STUDS MINIMUM ARE REQUIRED AT EACH END OF ALL SHEARWALLS. END STUDS SHALL RECEIVE PANEL EDGE NAILING. INTERMEDIATE STUDS SHALL BE 2x STUDS. NAIL SHEATHING TO INTERMEDIATE FRAMING MEMBERS WITH 8d @ 12"oc.
4. 8d NAILS SHALL BE 0.131" DIAMETER x 2 1/2" (COMMON). 16d NAILS SHALL BE 0.135" DIAMETER x 3 1/2" (BOX).
5. ANCHORS TO CONCRETE SHALL CONSIST OF CAST-IN-PLACE ANCHOR BOLTS, EXPANSION BOLTS, EPOXY GROUTED ALL-THREADS, OR TITEN HD HEAVY DUTY SCREW ANCHORS. CAST-IN-PLACE ANCHOR BOLTS HAVE A 7" EMBED AND SHALL BE J-BOLTS OR SHALL HAVE A HEX NUT AT THE BOTTOM END. EXPANSION BOLTS SHALL HAVE 5" EMBED AND SHALL NOT BE USED AT STEM WALL LOCATIONS WITH EDGE DISTANCE LESS THAN 5" (INSTEAD, USE EPOXY GROUTED ALL-THREADS OR TITEN HD ANCHORS). EPOXY GROUTED ANCHORS SHALL HAVE 5" EMBED AND 2 1/2" MIN. EDGE DISTANCE. TITEN HD ANCHORS SHALL HAVE 3 1/2" EMBED AND 1 3/4" MIN. EDGE DISTANCE. AT ALL ANCHOR BOLTS, PROVIDE STEEL PLATE WASHERS THAT ARE A MINIMUM OF 0.229" (3 GAUGE) x 3" x 3" (SIMPSON BP5/8-3 OR SIMILAR). PLACE BOLTS PER ANCHOR BOLT PLACEMENT DETAIL.



TYPICAL SHEARWALL INTERSECTIONS



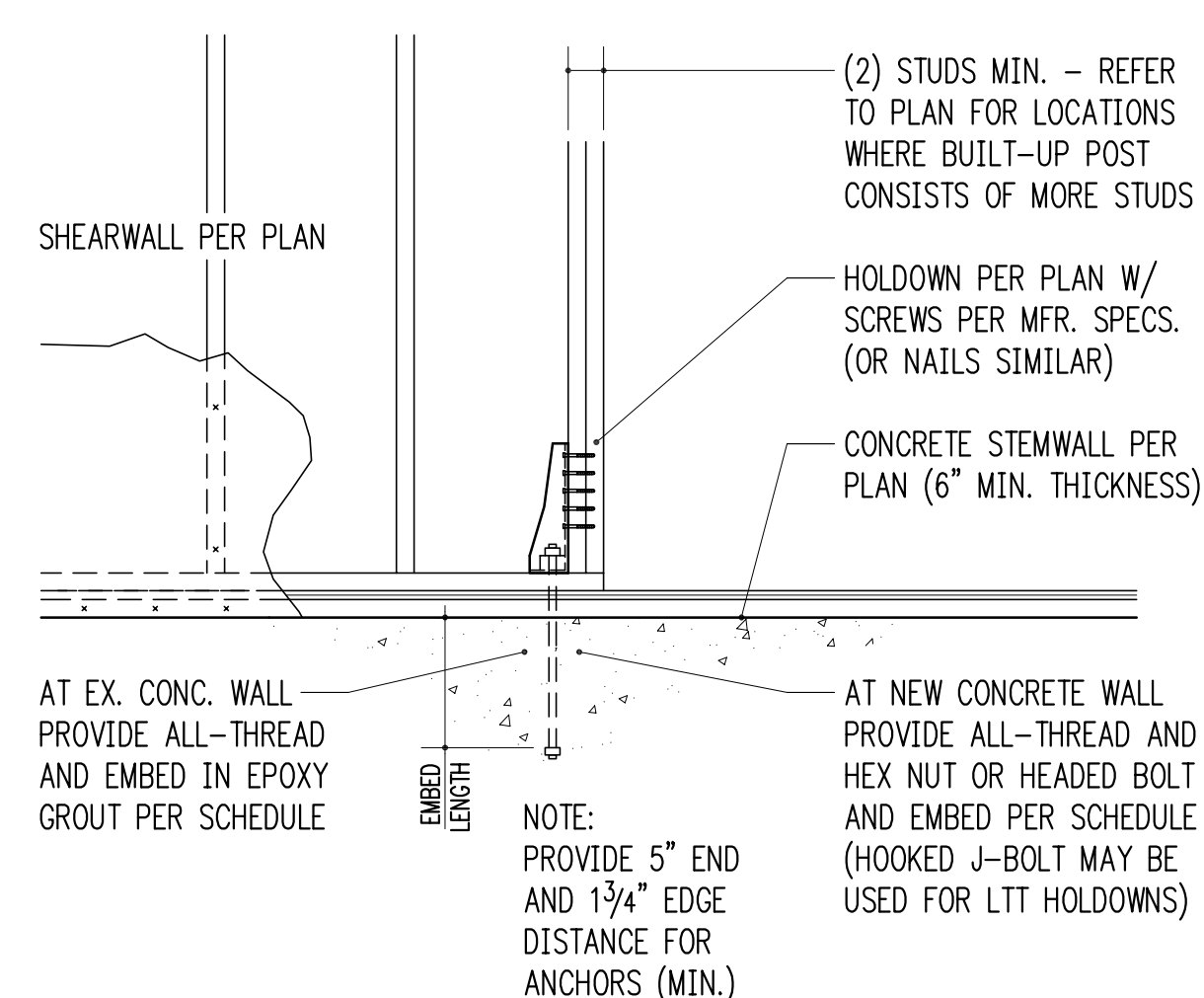
TYPICAL SHEARWALL SECTION

3/4" = 1'-0"

HOLDOWN SCHEDULE (NOT ALL USED ON PLANS)

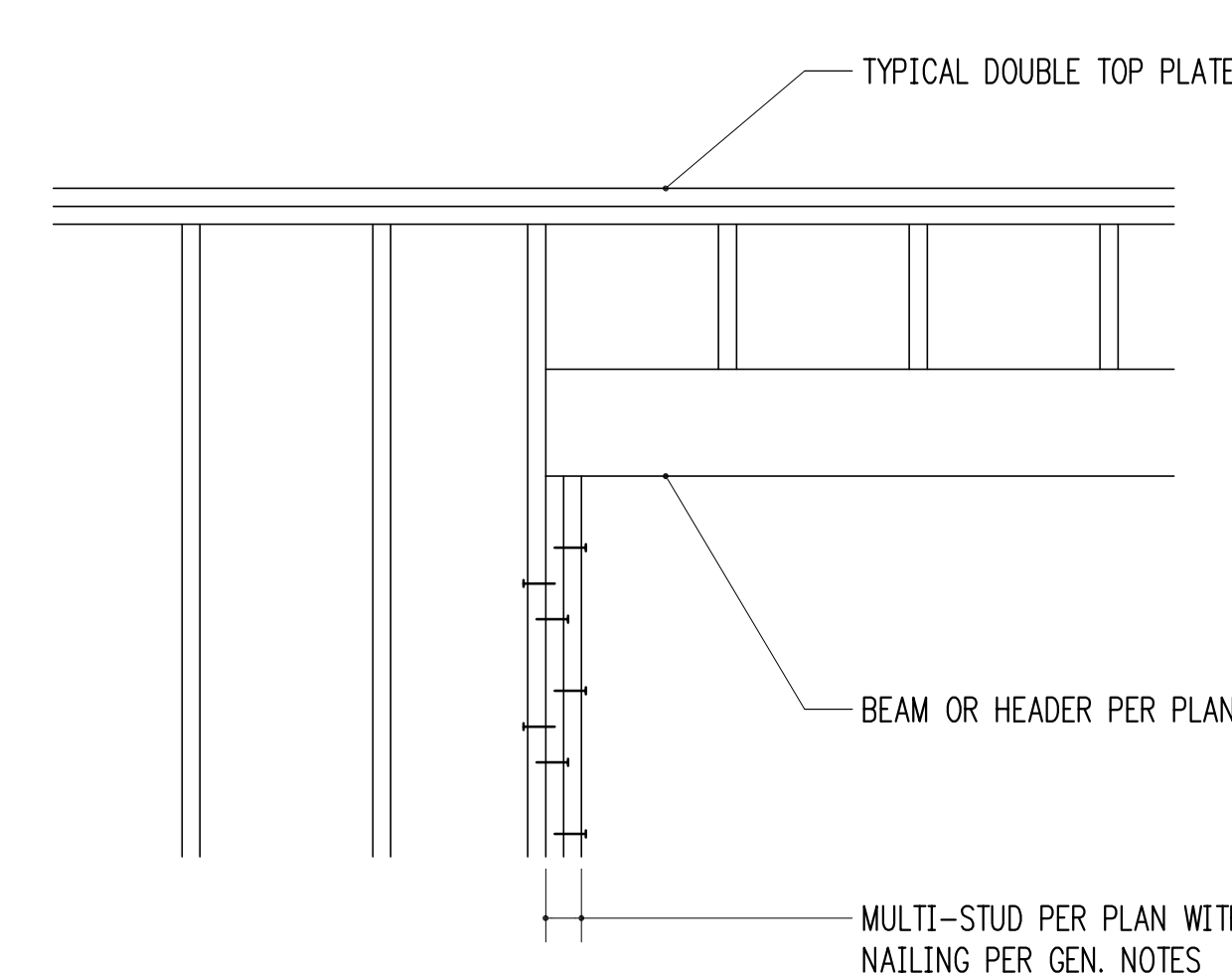
MARK	FASTENERS TO STUDS ¹	ANCHOR DIA. ²	EMBEDMENT LENGTH		SSTB ⁵
			EPOXY ³	CAST-IN ⁴	
HDU2	(6) 1/4" @ x 2 1/2" SCREWS	5/8"	12"	11"	SSTB16
HDU4	(10) 1/4" @ x 2 1/2" SCREWS	5/8"	24"	24"	SSTB20
HDU5	(14) 1/4" @ x 2 1/2" SCREWS	5/8"	N/A	37"	SSTB24
HDU8	(20) 1/4" @ x 2 1/2" SCREWS	7/8"	N/A - SEE 12/S3.0		
HDU11	(30) 1/4" @ x 2 1/2" SCREWS	1"	N/A - SEE 12/S3.0		
HDU14	(36) 1/4" @ x 2 1/2" SCREWS	1"	N/A - SEE 12/S3.0		

- 10d AND 12d DIAMETER = 0.148"; 16d DIAMETER = 0.162". SCREWS SHALL BE SIMPSON "SDS" TYPE SCREWS, INSTALL PER SIMPSON RECOMMENDATIONS.
- PROVIDE A36 OR A307 ALL-THREAD AT EPOXY AND CAST-IN ANCHORS.
- PROVIDE SIMPSON "SET-XP" EPOXY PER GENERAL STRUCTURAL NOTES. SPECIAL INSPECTION IS REQUIRED.
- AT CAST-IN ANCHORS PROVIDE HEAVY HEX NUT AT BOTTOM OF ALL-THREAD. HOOKED J-BOLT MAY BE USED FOR LTT HOLDDOWNS.
- AT 3x SILL PLATES, PROVIDE LONGER SSTBL MODELS.



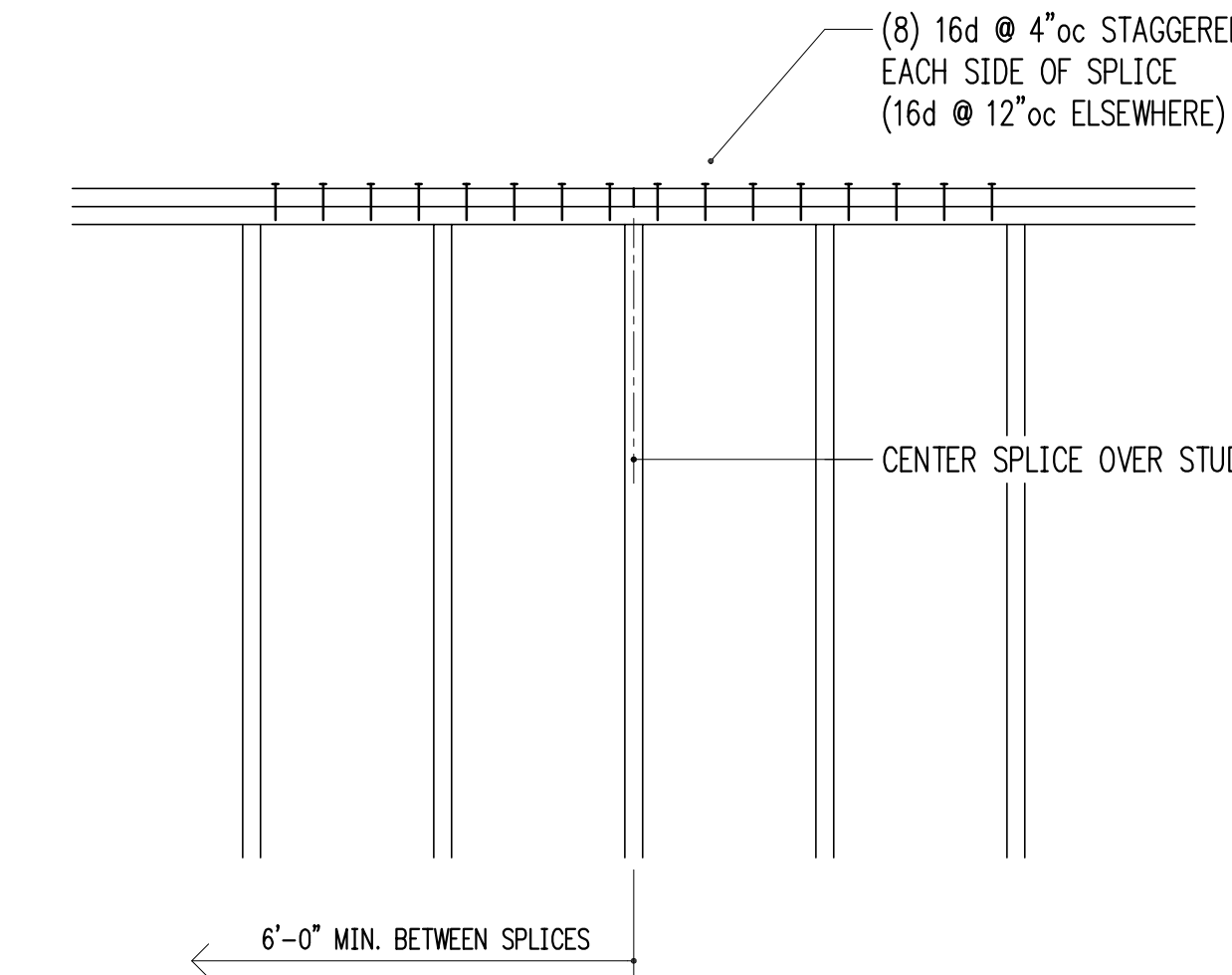
TYPICAL HOLDDOWN AT CONCRETE

3/4" = 1'-0"



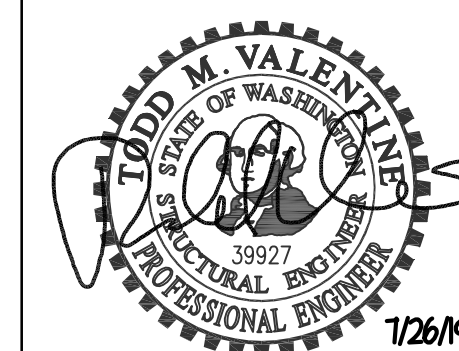
TYPICAL MULTIPLE-STUD POST CONSTRUCTION

3/4" = 1'-0"



TYPICAL TOP PLATE SPLICE CONSTRUCTION

3/4" = 1'-0"



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Building Department Approval

Drawing Title
STRUCTURAL DETAILS

Drawing Number

S4.0